

DESIGN REVIEW BOARD WORK SESSION

**Design Review Board Case # 2020-XXXX
Block P – 765 John Carlyle – South Tower**

Application	General Data	
Project Name: 765 John Carlyle – South Tower Location: Block P – Carlyle CDD Applicant: Carlyle Plaza, LLC c/o McGuireWoods LLP	DRB Date:	October 22, 2020
	Site Area:	Block P – Carlyle CDD
	Zone:	CDD #1
	Proposed Use:	Senior Living
	Gross Floor Area:	246,223GFA
Purpose of Application: Final review of general architecture and program for a proposed Continuum of Care tower, located in Block P, Carlyle CDD.		
Staff Reviewers: Robert M. Kerns, AICP robert.kerns@alexandriava.gov Thomas H. Canfield, AIA tom.canfield@alexandriava.gov Nathan Imm Nathan.imm@alexandriava.gov Carson C. Lucarelli carson.lucarelli@alexandriava.gov		
DRB COMMENTS OF AUGUST 27, 2020 WORK SESSION – SUMMARY: Following a vote to approve the final submission package for the north tower and podium, which has been submitted under separate cover, the applicant delivered their first formal presentation of the proposed senior housing, south tower. The south tower represents a change in use from the previously approved office design and requires approval of an SUP amendment by City Council at a later date. There was extensive discussion regarding Staff’s comments on improving the penthouse level of the building. Staff sought a more individualistic expression of each tower at the roof level. With a motion by Lewis and a second of Pepper, the design was approved as submitted, save and except any further recommendations regarding the expression of the roofline at the penthouse level as may be recommended at the next DRB meeting. A final approval and recommendation to Planning Commission and City Council is required as the next step, to occur subsequent to City Staff review and commentary on the SUP amendment application for the project.		

Block P – DRB Work Session

Background

This project was first presented before the DRB during 2006 and 2007, receiving approval for the Design Concept in May 2007 with a number of conditions. Additional approvals were obtained in July and September 2007, for final design of materials with conditions, and for treatment of parking garage and building top accordingly. Further design modifications were

proposed and accepted in 2008 and 2015. The project recently resurfaced earlier this year under a new use and architectural program – Senior Housing.

The development of Block P has proceeded as two separate DRB submissions. The North Tower and Podium and the South Tower. The northern office tower and common podium received final approval last month and will proceed to the development Final Site Plan process in the coming months. The subject site, the South Tower, requires final architectural approval as well as a recommendation to the Planning Commission and City Council regarding an associated Special Use Permit (“SUP”) amendment, described more in detail and attached herein below.

The Applicant’s complete submission package, along with the City staff report, are available online through the [DRB website](#). The project received unanimous approval by the DRB on August 27, 2020 on the conceptual architecture, scale, form and massing. Given that this is the last submission on an accelerated timeline, a final recommendation on the project is required. As previously noted, the project is associated with an SUP application (SUP#2020-0065) which will go to hearings next month. This makes the application somewhat unique from a regulatory framework point-of-view.

Proposal

The applicant, Carlyle Plaza, LLC, proposes to construct a 17-story senior housing tower on the southern portion of Block P, in Carlyle. This is a change in use from the previous, office/retail approval. The tower will share 4-levels of above-ground parking integrated atop the ground-level with the adjacent office building. The proposed building is approximately 2,600’ from the Eisenhower Metro Station and is the second of two towers of varying height proposed for the block. The northern office tower and common podium received final approval by the DRB on August 27, 2020. The subject 186-unit senior housing south tower requires Final DRB design approval. In order to make the proposed changes to the building’s use, form and function – the Applicant must also amend their existing SUP approval via City Council/Planning Commission.

Regulatory Approval Trajectory

The applicant presents their final architectural submission for the South Tower in Block P. It is worth noting that the tower – as proposed – also requires Planning Commission/City Council approval via the Special Use Permit (“SUP”) amendment process. More specifically, an amendment to the existing SUP approval (SUP#2018-0039) that runs with the site is required in order:

- A. To change the use from office and retail to residential;
- B. To increase the gross square footage allowable for Block P within the allowed maximum for the Carlyle District.; and
- C. To amend the Design Guidelines for Block P, which includes an increase in height from 200’ to 210’.

Therefore, the DRB shall also include in their final recommendation a mention of their support/disapproval of the SUP amendments aforementioned – which as noted are tethered to this application and necessary in order to leverage the changes proposed to the building and

program. A copy of the applicant's SUP application is attached to the end of this report.

Parking

As discussed previously, site constraints and previous approvals for the block have dictated that the parking for Block P be constructed within an above-grade podium that unites the two building along the first five levels. The podium is vehicularly accessible via curb-cuts along Hoofs Run Drive, in the same locations as previously approved. As noted in the April 2020 memo, the applicant proposes one (1) fewer level of garage, or approximately 125 fewer spaces – which is furtherance of the City's goals to "right-size" parking, particularly when the development site is within a transit-rich environment such as Eisenhower/Carlyle, in proximity to two Metro stations.

Staff Discussion

All comments, critiques and recommendations pertain only to the South Tower submission package, which was received through an electronic link, delivered via email on 9.24.2020, and not to any other iteration or design of the building. More specifically:

- The roof level of the building has matured into a handsome and functional element of the tower. The decision to celebrate the top of the building with a narrower massing and expressed verticality adds a stately and engaging presence to the Alexandria skyline. This is further enhanced by high-quality materials and finishes used to accent the expressed structural overhangs, all of which help stitch together a unique and memorable piece of architecture. As noted previously, staff aspires to see the roofline at the penthouse level modified slightly to individualize the towers. This comment was discussed at length during the August meeting and there are an array of opinions and preferences between all three parties.
- There are however some concerns about the proposed materials and their integration with the parking garage. As delivered from the project's inception, Staff find the use of a perforated screening material well-intentioned but unsuccessful, particularly from the viewpoint of the pedestrian. Put simply, the screening approach does not possess the same richness of materials as the previously approved system – an array of louvers, expressive mullions and metal panel. Each materiality in the previously approved design is employed to emphasize vertical or horizontal planes. When combined, the system creates a visually interesting and layered application with strong shadow and texture. Further, the attempt to mimic the effect of a mullion pattern through variation in the density perforations is visually unconvincing, and given the flatness of the overall assembly, will likely be even more so when seen in person. The Applicant is urged to work with Staff during the forthcoming site plan review process on reverting the materials to the original approval, or treatment with similar degree of detail, to the greatest extent possible

Therefore, beginning with the first site plan submission, the applicant shall:

- **REPEAT COMMENT:** Provide more information on green building systems and approaches, pursuant to the controlling document, SUP#2018-0039, and more specifically Condition #70A.m. Incorporate green systems and approaches into the overall landscape and site design, too.
- **REPEAT COMMENT:** Additional information on considerations of the on-structure landscape plantings/design.
- **REPEAT COMMENT:** Improved floorplans at street and parking level(s) that are fully dimensioned and complete with information call-outs, in order to facilitate Staff's review. Additionally, include information regarding loading and drop-off/pick-up of residents and workers.
- **REPEAT COMMENT:** Consider ways in which to integrate eCommerce services within the site/building itself and/or in coordination with the City of the curbside area for such deliveries and pick-up/drop-off while preserving the integrity of adjacent/future bicycle paths, roadways and sidewalks.

A. Architectural Comments

General Comments

Page No	Comment
#3	Approved plan (shown) does not reflect layout or location of senior living lobby entrance – provide updated hardline plan of ground floor that accurately depicts locations of all entries, exits and corridors and functional areas as currently proposed
#.’s 10, 12, 15	Study degree to which upper penthouse enclosure could be reduced in height or modulated – i.e., have its middle section step down slightly in height vis-à-vis the ends – it appears overwhelmingly massive in certain views. There is an expression of a slightly recessed center section (most easily seen on page 15) that could be carried up into the penthouse and would result in pushing the two center penthouse bays slightly in and down to better reflect the bipartite form (Illustration A, below).



Illustration A: Modulation of Building Penthouse

#17 Material arrows and callouts are misplaced

#22 The fabric awnings shown in the current design, while proposed to be fixed on stationary metal frames, still have the appearance of retractable ones in the rendering; further, they appear to be located very high relative to the pedestrian scale. In the interests of scale, weather protection, and opening up the views through the significant transom glass shown, staff suggests lowering the awnings to the next lower building element, a substantial horizontal that separates the storefront glass and transom. An added benefit of this adjustment would be to clearly show the hierarchy that separates these awnings from the metal and glass canopy at the main lobby entrance (Illustration B, below).



Illustration B: Height of Retail Canopies – Current Proposal

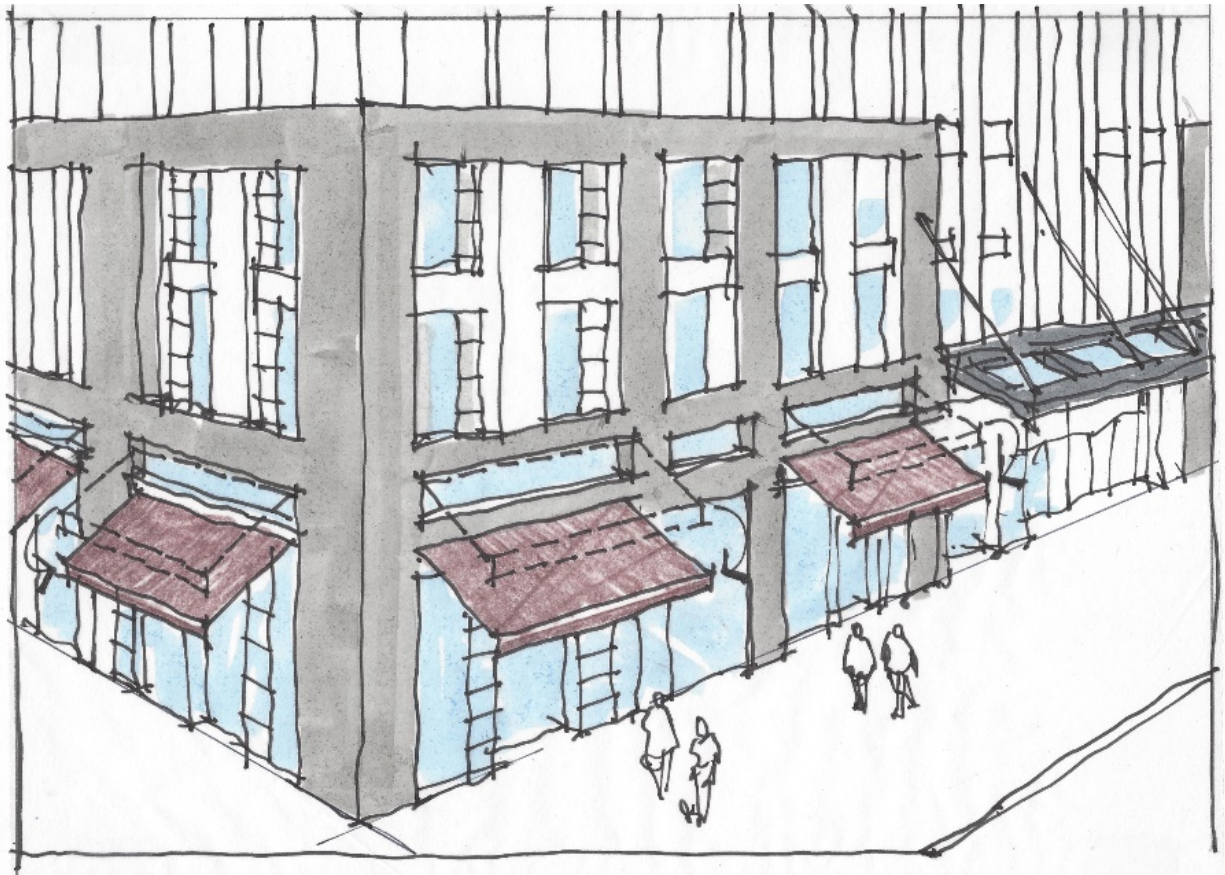


Illustration B: Height of Retail Canopies – Staff Proposed Adjustments

- #23 Use of perforated metal patterns to mimic mullions is not acceptable – see additional comments below
- #25 Note extensive plan area available for use in screening of parking, where extra depth is shown outside of the area required for parking spaces:
- West façade: between column lines A-C and E-G
- South façade: between column lines 1-6
- East façade: between column lines A-C and E-G
- In addition to screening comments below, subject to open ventilation analysis, some or all of these portions could include glazed or “shadow-box” treatment, to further screen the above-grade parking from view.

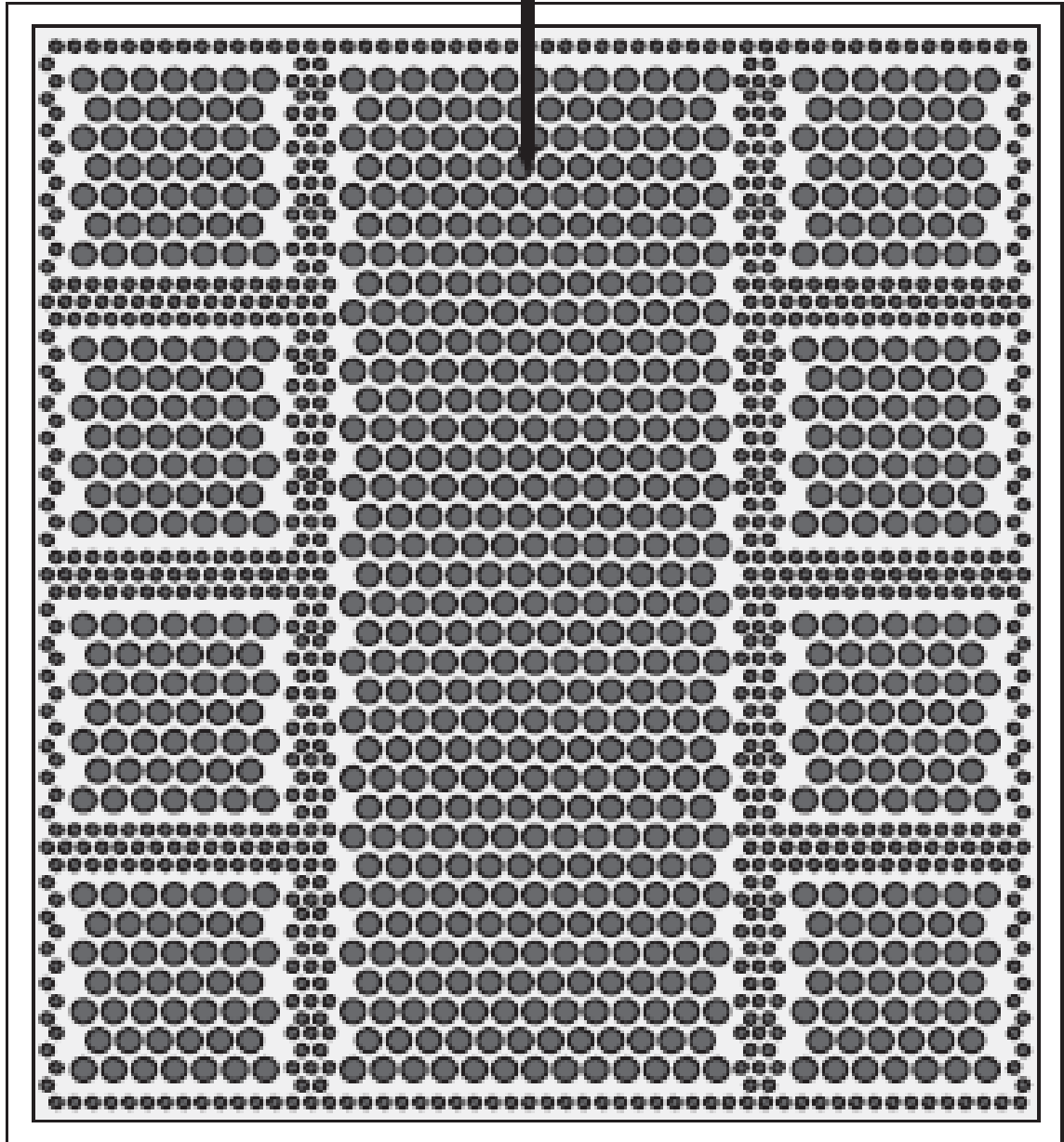
Screening of above-grade parking levels

While the previous design was approved with above-grade, naturally-ventilated parking, the screening as approved (and as still proposed for the revised north tower) incorporated a richly-detailed combination of glass, custom louvers, and mullion framing that mitigated the visual impact of the parking (Illustration C, below). Staff does not support the current proposal for the parking screening of the south tower, which proposes to mimic the mullion pattern in the tower above through varying the density of perforations in a large surface of what appears to be flat, perforated metal (Illustration D, below).

Illustration C: Approved Garage Screening at North Tower



Approved Grille Design at Parking Levels



PREFORATED METAL FORMING PATTERN OF WINDOW MUNTINS

Illustration D: Screening as Proposed

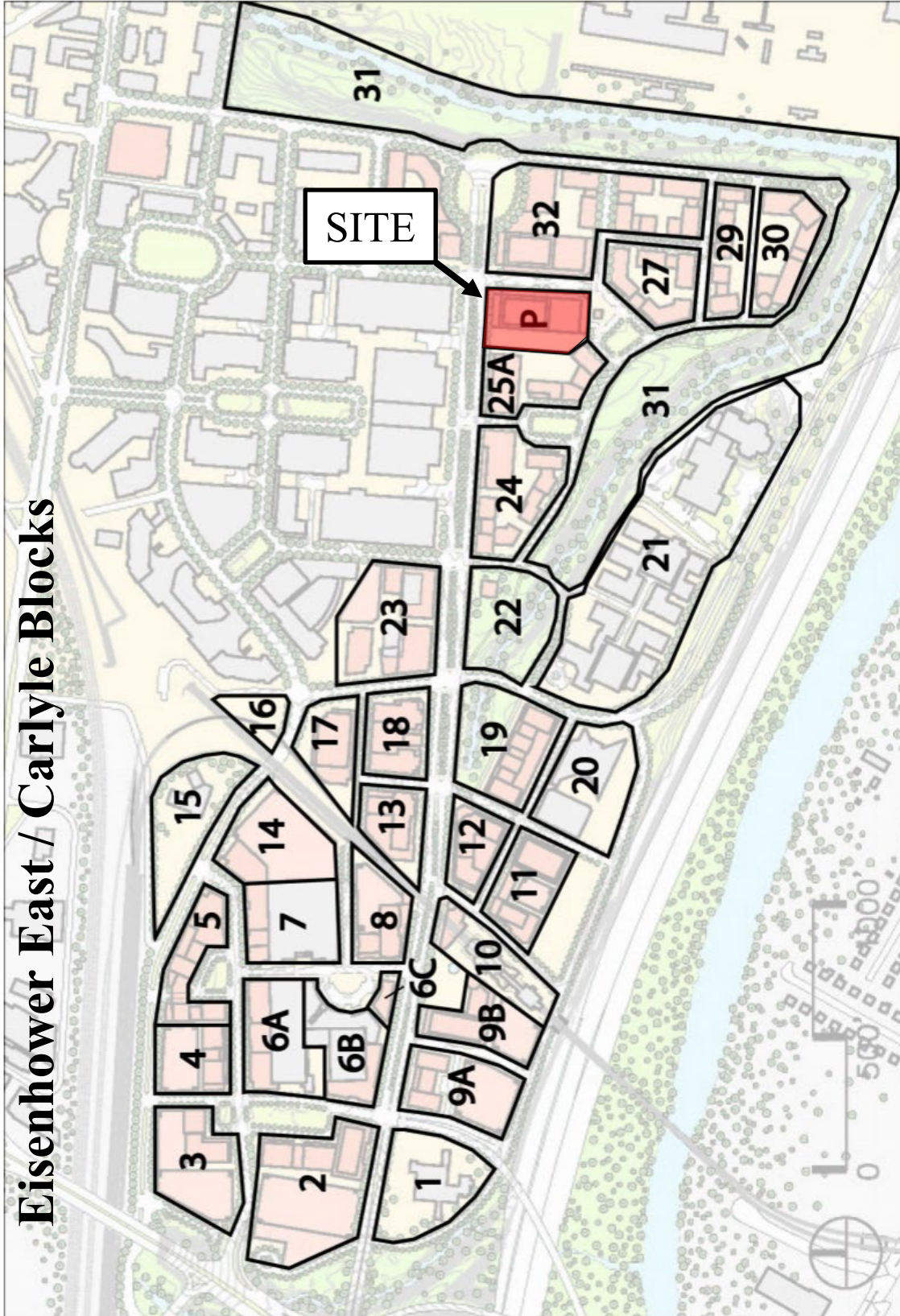
Staff does support the idea of carrying the subdivision pattern from the glazed openings above down into the parking levels, and differentiating the south tower screening from that in the north

tower, but requires a solution that incorporates a variety of depths, along with a variety of materials (preferably including glass) for some portions of the enclosure. A similar solution was proposed and approved by the DRB for the above-grade parking levels of the WMATA Virginia Headquarters building, currently under construction along Mill Road in Eisenhower East. As in the case of the North Tower, elements of the occupied floors enclosure system above are carried down through and incorporated into, the parking screening system (Illustration E, below).



Illustration E: Garage Screening Approved for WMATA VA HQ

Eisenhower East / Carlyle Blocks



Attachments:

Carlyle/Eisenhower East Design Review Board (DRB) Application

PROJECT NAME: Carlyle Block P - South Tower BLOCK: P

ADDRESS OF PROJECT: 765 John Carlyle Street and 1900 Eisenhower Avenue

APPLICATION FOR REVIEW OF: (Check one)

- Building Concept Final
 Sign
 Awning
 Other: _____

APPLICANT Name: Jonathan P. Rak, McGuireWoods LLP, on behalf of Carlyle Plaza LLC

Address: 1750 Tysons Boulevard, Suite 1800, Tysons VA 22102

Phone: 703-712-5411 Email Address: jrak@mcguirewoods.com

ARCHITECT/DESIGNER Name: Perkins Eastman

Address: _____

Phone: _____ Email Address: _____

PROPERTY OWNER Name: Carlyle Plaza LLC

(if different from APPLICANT)

Address: 300 Chapel Hill Lane PO Box 797 Berryville, VA 22611

Phone: 202-682-8733 Email Address: skaufmann@jnzell.com

DESCRIBE THE REQUEST BRIEFLY: Recommendation of approval of SUP application to amend portions of the Carlyle SUP related to development of Block P.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

Note: Per condition #67 of the Carlyle SUP #2253, as amended by SUP #2007-0094, all applicants will be responsible for the costs associated with DRB review of the application. Fees are determined based upon the number of applicants per hearing. Applicants will be notified by Planning and Zoning staff of the amount owed after the filing deadline has passed and the agenda for the hearing has been finalized. Payment is expected prior to the request being acted upon by the DRB.

Applicant Signature: p.p. Steven M. Mikulic Date: 09/24/2020

Applicant Printed Name: Jonathan P. Rak

Carlyle/Eisenhower East Design Review Board (DRB) Filing Instructions

Filing Deadlines

- Applications for DRB review must be submitted no later than thirty (30) calendar days prior to the scheduled DRB meeting.
- Contact the DRB staff at the number below at least a week prior to filing to coordinate submissions by the filing deadline. DRB staff will request that PDFs of draft submissions be emailed to P&Z for pre-review and comment. Staff will notify applicants of any suggested design/content revisions to submissions to be made by the filing deadline.
- A schedule of submission dates is maintained in the Department of Planning and Zoning and is also posted at: <http://alexandriava.gov/planning/info/default.aspx?id=43130>
- All applications are due by 5:00 p.m. on the day of the application filing deadline.
- If no applications are received by the submission deadline for a given hearing, that hearing will be cancelled.

Application Support Materials

- All supporting materials (see attached checklist) must be submitted by the **filing deadline (see above)**. **New material may not be submitted or presented at the DRB hearing.**
- Applications without the required supporting materials are deemed incomplete and will not be heard by the DRB.

**For assistance with any of these procedures contact P&Z
Development Staff at (703) 746-4666.**

Carlyle/Eisenhower East Design Review Board (DRB)

Application Checklist for Buildings in CONCEPT REVIEW*:

N/A Physical massing model at minimum 1"=30', showing existing and proposed buildings for all adjacent properties

Submit the following plan copies containing all of the information on this checklist:

N/A **Twelve (12) 11"x17" collated, stapled color sets**

N/A **One (1) 24"x36" collated, stapled, color sets, and**

One (1) 11"x17" 120 dpi PDF file

Number all sheets in plan set

Zoning tabulations (for each element, list zoning ordinance requirement and number proposed):

Zoning of the site

Existing uses on the site

Proposed uses for the site

Lot area(s) (and minimum lot area required under zoning, if applicable)

Number of dwelling units (list by number of bedrooms for multifamily)

Units per acre for residential

Gross square feet (GSF) of building area, total and listed by use (with area devoted to parking included and listed separately)

Net square feet (NSF) of floor area, total and listed by use

Existing and proposed floor-area-ratios

Open space total provided and broken down by ground-level space and usable space provided

Average finish grade for each building

Height of each building above average finish grade

Building setbacks with required and proposed listed separately

Frontage with required and proposed listed separately

Parking spaces (listed by compact, standard, handicapped size and total)

Loading spaces (number required and number proposed)

Site plan/architecture:

Color Site plan at appropriate scale, showing approved uses & heights for adjacent properties

Color Landscape concept plan showing hardscape and planting areas, trees, street furniture, etc.

Color typical floor plans at min. 1/16" = 1'-0" for all levels including roof

Building elevations in color at min. 1/16" = 1'-0" of all building faces with materials labeled, rendered with shadows and keyed to plans

Building/site sections showing grade changes in relationship to buildings and/or retaining walls, rendered with shadows and keyed to plans and showing average finish grade line and heights, including penthouses

Enlarged details (plan/section/elevation) of typical bays at pedestrian level as required

Street-level perspective views in color

Building solid/void area ratio calculation drawings and tabulations

Carlyle/Eisenhower East Design Review Board (DRB)

Application Checklist for Buildings in FINAL REVIEW*:

- _____ Detailed physical building model at appropriate scale
- _____ **Submit the following plan copies containing all of the information on this checklist:**
- _____ **Twelve (12) 11"x17" collated, stapled color sets**
- _____ **One (1) 24"x36" collated, stapled, color sets, and**
- _____ **One (1) 11"x17" 120 dpi PDF file**
- _____ **Number all sheets in plan set**

Zoning tabulations (for each element, list zoning ordinance requirement and number proposed):

- _____ Zoning of the site
- _____ Existing uses on the site
- _____ Proposed uses for the site
- _____ Lot area(s) (and minimum lot area required under zoning, if applicable)
- _____ Number of dwelling units (list by number of bedrooms for multifamily)
- _____ Units per acre for residential
- _____ Gross square feet (GSF) of building area, total and listed by use (with area devoted to parking included and listed separately)
- _____ Net square feet (NSF) of floor area, total and listed by use
- _____ Existing and proposed floor-area-ratios
- _____ Open space total provided and broken down by ground-level space and usable space provided
- _____ Average finish grade for each building
- _____ Height of each building above average finish grade
- _____ Building setbacks with required and proposed listed separately
- _____ Frontage with required and proposed listed separately
- _____ Parking spaces (listed by compact, standard, handicapped size and total)
- _____ Loading spaces (number required and number proposed)

Site plan/architecture:

- _____ Color Site plan at appropriate scale, showing approved uses & heights for adjacent properties
- _____ Color Landscape concept plan showing hardscape and planting areas, trees, street furniture, etc.
- _____ Color typical floor plans at min. 1/16" = 1'-0" for all levels including roof
- _____ Building elevations in color at min. 1/16" = 1'-0" of all building faces with materials labeled, rendered with shadows and keyed to plans
- _____ Building/site sections showing grade changes in relationship to buildings and/or retaining walls, rendered with shadows and keyed to plans and showing average finish grade line and heights, including penthouses
- _____ Street-level perspective views in color
- _____ Building solid/void area ratio calculation drawings and tabulations
- _____ Landscape details, referenced to Color Landscape plan
- _____ Enlarged details (plan/section/elevation) of all building setbacks with dimensions
- _____ Wall sections with enlarged details indicating different conditions at building setbacks
- _____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

**Color and material boards and samples to be provided at Board hearing*

- _____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

Carlyle/Eisenhower East Design Review Board (DRB) Application Checklist for Signs, Awnings, Other:

_____ **Submit twelve (12) 11"x17" (minimum size) collated, stapled color sets (w/pages numbered) and one (1) 11"x17" 120 dpi resolution PDF file of the following:**

_____ Color Site plan at a measurable scale showing:

- location(s) of proposed element(s)
- dimensions of storefront and building widths [FOR SIGNS & AWNINGS ONLY]

_____ Large-scale elevations and sections with enlarged details

_____ Elevations in color at min. 1/16" = 1'-0", with materials labeled, rendered with shadows and keyed to plans

_____ Street-level perspective photomontages in color (daytime view)

_____ Street-level perspective photomontages in color (nighttime view) [FOR SIGNS ONLY]

_____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

Design guidelines (provide information needed to assess compliance):

_____ If located within the Carlyle CDD, information required by the *Carlyle Design Guidelines* and the *Carlyle Streetscape Design Guidelines*

_____ If located in the Eisenhower East CDD, information required by the *Eisenhower East Design Guidelines*



APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: _____

TAX MAP REFERENCE: _____ **ZONE:** _____

APPLICANT:

Name: _____

Address: 300 Chapel Hill Lane, PO BOX 797 Berryville, VA 22611

PROPOSED USE: _____

THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Print Name of Applicant or Agent

p.p. Steven M. Mikulic _____
Signature Date

Mailing/Street Address

Telephone # Fax #

City and State Zip Code

Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of _____, I hereby
(Property Address)
grant the applicant authorization to apply for the _____ use as
(use)
described in this application.

Name: _____ Phone _____

Please Print

Address: _____ Email: _____

Signature: p.p. *Steven M. Mikulic* _____ Date: _____

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (*check one*):

Owner

Contract Purchaser

Lessee or

Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 765 John Carlyle Street and 1900 Eisenhower Avenue (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Steven M. Mikulic

p.p. *Steven M. Mikulic*

Date
Printed Name
Signature

Ownership and Disclosure Attachment
SUP Amendment for Carlyle SUP, Block P

Tax Map Parcels: 079.01-01-17; -18

Owner & Applicant: Carlyle Plaza, LLC

1. OWNER & 2. APPLICANT

Carlyle Plaza, LLC

Name	Address	Percentage of Ownership
Exceedingly LLC	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	69.14% (See breakdown A below)
Alder Branch Carlyle LLC	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	15.43% (See breakdown B below)
JM Zell Carlyle LLC	2900 K Street NW, Suite 525 Washington D.C. 20007	15.43% (See breakdown C below)

A. Exceedingly, LLC

Name	Address	Percentage of Ownership
Alder Branch Management, LLC	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	50% (See breakdown D below)
Alexander C. Wright	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	10%
Campbell R. Wright	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	10%
Duncan K. Wright	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	10%
Mary E. Wright	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	10%
Thomas W. Wright	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	10%

B. Alder Branch Carlyle, LLC

Name	Address	Percentage of Ownership
Joseph W. Henderson III	300 Chapel Hill Lane P.O. Box 797	65%

	Berryville, Virginia 22611	
Reagan C. Duncan	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	35%

C. JM Zell Carlyle, LLC

Name	Address	Percentage of Ownership
JM Zell Partners, Ltd.	2900 K Street NW, Suite 525 Washington D.C. 20007	100% (See breakdown E below)

D. Alder Branch Management, LLC

Name	Address	Percentage of Ownership
Joseph W. Henderson III	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	66.35%
Henderson Family Trust	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	19.40%
Reagan G. Duncan	300 Chapel Hill Lane P.O. Box 797 Berryville, Virginia 22611	6.75%

E. JM Zell Partners, Ltd.

Name	Address	Percentage of Ownership
Jeffrey M. Zell	2900 K Street NW, Suite 525 Washington D.C. 20007	66.35%
Samuel Zell	2900 K Street NW, Suite 525 Washington D.C. 20007	21.67%

3. DISCLOSURES

NO BUSINESS OR FINANCIAL RELATIONSHIPS TO DISCLOSE

Narrative Statement
SUP Amendment for Carlyle SUP, Block P

By way of background, the Carlyle SUP, originally approved on April 18, 1990 (“Carlyle SUP”) permits a multi-phase, mixed-use development project of up to 6,907,000 gsf of floor area. Block P, the final phase of the Carlyle SUP to be developed, is subject to SUP #2018-0039, which permits a total of 372,000 gsf. of floor area, spread across a shared above-grade parking garage, and the North and South Towers.

Final design of development on Block P is further governed by the Block P Design Guidelines, last revised and approved on November 19, 2009 (the “Design Guidelines”). A copy of the Design Guidelines are enclosed with this SUP Amendment package.

With this application, the Applicant requests the following amendments to SUP #2018-0039:

1. Increase in Total Approved GSF

The Applicant seeks an increase in the total approved development for Block P of 15,664 gsf, devoted to an office use. This increase of the overall approved development from 371,886 gsf to 387,550 gsf would increase the overall approved development of the Carlyle SUP from its current 6,888,222 gsf to 6,903,886 gsf.

This increase remains consistent with the approved Carlyle SUP. Per Condition 60, the maximum approved for the Carlyle SUP shall not exceed 6,907,000 gsf. The new gsf would be applied to the existing approved office total.

2. Conversion of Approved Uses

The Applicant requests a conversion of 17,699 gsf of approved retail, and 219,324 gsf of approved office, to a residential (elderly housing) use. This would result in a total of 237,023 gsf of residential (elderly housing) on Block P.

In conjunction with the above, the Applicant requests amendment of the conditions as follows:

- a. *Amend Condition 62 to reflect the conversion of 219,324 office gsf, and 17,699 retail gsf, to residential (elderly housing). The below changes further reflect the additional 15,664 office gsf added per amendment 1 above. The table in Condition 62 would therefore be amended as follows:*

USE	GSF
office.....	3,988,917 3,785,257
courthouse	400,000
residential*	2,036,508 2,273,531
hotel	230,000

retail and health club..... ~~228,297~~ 210,598
 day care center..... 4,500
 Total..... ~~6,888,222~~ 6,903,886

* Residential includes elderly housing Lipnick or other entity approved by the City)

- b. *Amend Condition 70A(e) to reflect the Applicant’s proposal to construct 12,025 gsf for retail use on the ground floor of Block P.*

3. Amendment to Carlyle Land Use Allocation Table

The Applicant requests changes to the Carlyle Land Use Allocation Table as shown on the Attachment titled “Proposed Carlyle Land Use Allocation Table.”

4. Amendment of Design Guidelines

The Applicant also requests the following changes to the Design Guidelines, which are also shown on the attachment titled “Block P Design Guidelines – Proposed Changes”:

- a. *Amend the “Program Permitted Use” to reflect the following: 237,023 SF of residential (elderly housing), 138,502 SF office, and 12,025 SF of retail, for a total permitted use of 387,550 SF.*

- b. *Change the descriptive paragraph on page 2 of the Design Guidelines as follows:*

“The ground floor areas of Block P shall be developed with **active and/or** retail uses at this major gateway. . .”

- c. *Amend Maximum Heights as follows:*

West of John Carlyle Street: 175 Ft at north end (Eisenhower Avenue) and ~~200~~ 210 Ft maximum at the south end.

Requested Amendments Permitted via Section 12-600

As the Carlyle SUP governs Block P, any amendment must satisfy the unique requirements set out per Sec. 12-600 of the Zoning Ordinance, which states in pertinent part that a change to the development authorized under the Carlyle SUP is “permitted by an amendment to the special use permit authorizing the development that is in effect on January 24, 1998,” provided that the change to the development complies with the following:

- (i) ***Does not cause the maximum floor area of the development to exceed the floor area authorized in the permit in effect on January 24, 1998;***

As previously noted, as of January 24, 1998, the Carlyle SUP is authorized for a maximum density of 6,907,000 gsf across the various blocks, inclusive of Block P. Individual approvals for development of the Blocks, including SUP #2018-0039, have allocated a total of 6,888,222 gsf of density, leaving 18,778 gsf unassigned.

As proposed in this SUP Amendment, Block P's total allocated floor area would be increased by a portion (15,664 gsf) of that unassigned 18,778 gsf, permitting an overall development of 387,550 gsf on Block P. Therefore, the Applicant's requested SUP amendment is consistent with the requirement that it not cause the maximum floor area of the development to exceed the floor area authorized in the permit in effect on January 24, 1998.

(ii) Does not cause the development to contain any uses that are (a) not approved by the permit in effect on January 24, 1998, or (b) not permitted uses or special uses under the regulations applicable to the zone in which the development is situated; and

As originally approved, and in effect on January 24, 1998, the Carlyle SUP included approval for a variety of uses including office and elderly housing, per Condition 62 “*Residential includes elderly housing (Lipnick or other entity approved by the City).”

The request to convert 237,023 gsf of approved office and retail use to a residential (elderly housing) use does not result in the development containing a use “not approved by the permit in effect on January 24, 1998,” and does not allow on Block P a use that is neither permitted or a special use applicable to the zone in which the development is situated. Therefore, the Applicant's request is consistent with this requirement.

(iii) Otherwise does not cause the development to be noncompliant or inconsistent with the regulations applicable to the zone in which the development is situated, which regulations, in the case of a development located in a coordinated development district, shall be the CDD special use permit provisions in section 5-602(A) of this ordinance, except that the requirement for compliance with such zone regulations may be modified pursuant to clauses (i) and (ii) above.

As proposed, the development of Block P is either compliant and/or consistent with the regulations applicable to the zone in which the development is situated, or requires modifications as discussed above. Because none of the proposed modifications are inconsistent with clauses (i) and (ii), Applicant's proposed modifications are consistent with this requirement.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

a new use requiring a special use permit,

an expansion or change to an existing use without a special use permit,

an expansion or change to an existing use with a special use permit,

other. Please describe: _____

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Hours:

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

B. How will the noise be controlled?

8. Describe any potential odors emanating from the proposed use and plans to control them:

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

C. How often will trash be collected?

D. How will you prevent littering on the property, streets and nearby properties?

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

ALCOHOL SALES

13.

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

- _____ Standard spaces
_____ Compact spaces
_____ Handicapped accessible spaces.
_____ Other.

Planning and Zoning Staff Only
Required number of spaces for use per Zoning Ordinance Section 8-200A _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where is required parking located? (*check one*)

- on-site
 off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? _____

Planning and Zoning Staff Only
Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where are off-street loading facilities located? _____

C. During what hours of the day do you expect loading/unloading operations to occur?

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? Yes No

Do you propose to construct an addition to the building? Yes No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be?

_____ sq. ft. (existing) + _____ sq. ft. (addition if any) = _____ sq. ft. (total)

19. The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: _____

an office building. Please provide name of the building: _____

other. Please describe: _____

End of Application



Development Plan
in
Alexandria, Virginia

BLOCK P DESIGN GUIDELINES

<p>APPROVED DESIGN REVIEW BOARD MEETING DATE:</p> <p>DEPARTMENT OF PLANNING & ZONING</p> <hr style="width: 100%;"/> <p style="text-align: center;">DIRECTOR DATE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Revision</th> <th style="text-align: left;">Date</th> </tr> </thead> <tbody> <tr> <td>First Draft</td> <td>12/07/2005</td> </tr> <tr> <td>Revised</td> <td>12/13/2005</td> </tr> <tr> <td>PNZ Comments</td> <td>01/06/2006</td> </tr> <tr> <td>Revision</td> <td>01/13/2006</td> </tr> <tr> <td>Revision</td> <td>04/04/2006</td> </tr> <tr> <td><u>Revision</u></td> <td><u>11/19/2009</u></td> </tr> </tbody> </table> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>General comments:</p> <ol style="list-style-type: none"> All public right-of-ways and property lines shall correspond and be modified to reflect the right-of-way on all streets including Eisenhower Avenue. </div> <p style="font-size: small; margin-top: 10px;">Block P Design Guidelines are based on the Carlyle Special Use Permit #2253, as amended.</p>	Revision	Date	First Draft	12/07/2005	Revised	12/13/2005	PNZ Comments	01/06/2006	Revision	01/13/2006	Revision	04/04/2006	<u>Revision</u>	<u>11/19/2009</u>	<p style="font-size: 2em; font-weight: bold; margin-top: 0;">Block P</p> <p>Per SUP 95-0168 & 97-0157</p> <p>Site Area: 198,893 85,776 SF</p> <p>Program Permitted Use:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td>Retail</td> <td style="text-align: right;">53,991 29,724 SF</td> <td style="border: 1px solid red; text-align: right; font-size: small;">12,025 SF</td> </tr> <tr> <td>Residential</td> <td style="text-align: right;">0 SF</td> <td style="border: 1px solid red; text-align: right; font-size: small;">237,023 SF</td> </tr> <tr> <td>Office</td> <td style="text-align: right;">342,191 342,162 SF</td> <td style="border: 1px solid red; text-align: right; font-size: small;">138,502 SF</td> </tr> <tr> <td>Total Permitted</td> <td style="text-align: right;">396,182 371,886 SF¹</td> <td style="border: 1px solid red; text-align: right; font-size: small;">387,550 SF</td> </tr> </table> <p>Parking Provided: Per TMP (SUP 2254)</p> <p>Open and Usable Space: 44,750 24,281 SF (Minimum)</p> <p>Notes:</p> <ol style="list-style-type: none"> All program numbers refer to Gross Square Feet 	Retail	53,991 29,724 SF	12,025 SF	Residential	0 SF	237,023 SF	Office	342,191 342,162 SF	138,502 SF	Total Permitted	396,182 371,886 SF¹	387,550 SF
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**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**

Block P is the last remaining developable parcel in the Carlyle Master Plan Area. The approach from Holland Lane on the east and the adjacent African American Heritage Park across Holland Lane is a major gateway to the Carlyle Development. The rotary at the intersection of Holland Lane and Eisenhower Avenue is planned for a possible modification into a T- intersection with the remaining areas of the circle designated as public open space in two crescent-shaped open space-parks. The buildings proposed at this intersection should reflect this significance, the crescent shape and opportunity to create a “gateway” to Carlyle and Eisenhower East. The ground floor areas of Block P shall be developed with retail uses at this major gateway to create a lively and attractive entrance and provide a pedestrian activity anchor at this location. The extension of John Carlyle Street across Eisenhower Avenue through Block P will allow a public street connection to future residential development to the south, which is part of the Eisenhower East Small Area Plan. ~~This extension of the street will create two separate parcels within Block P.~~ Retail use along John Carlyle Street should respond to both the needs of office workers and local residents. To the south of Block P will be a new street and a public park. Additional retail development along the south facing wall of the building west of John Carlyle Square should provide an active retail use that takes advantage of this public amenity and creates a pedestrian activity node.

Insert: "active, and/or"



**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**

Category	Mandatory	Discretionary
Open Space	<p>The land remaining after the rotary is modified to a T-intersection shall be converted to a crescent shaped open space. The applicant will be responsible for the design and construction of the open space park. The design should compliment park on the north side of Eisenhower Avenue.</p> <p>The emergency vehicle easement adjacent to the proposed park on the southwestern portion of the site will be temporary, until the construction of the future park and streets. At the time of construction of the park the easement area will be converted to open space and landscaping.</p>	
Location of Easements	<p>John Carlyle Street shall be extended as generally depicted in the attached schematic site plan through a public access easement of 66 ft. wide right-of-way.</p> <p>The future southern street and sidewalk adjacent to the street shall be provided as generally depicted in the attached schematic plan through the provision of a public access easement of 30 ft. wide right of way.</p>	
Sidewalk	<p>All sidewalks shall also be within the public access easement.</p> <p><u>Eisenhower Avenue:</u> (West of John Carlyle Street) A 22-25 Ft wide Pedestrian - Bike - Landscape Zone (East of John Carlyle Street) A 22-35 Ft Pedestrian - Bike Landscape Zone (Hoofs Run Drive, Holland Lane, and the Future Southern Street) 14 ft wide sidewalk, consisting of a 10 ft wide unobstructed sidewalk with 4 ft. wide tree wells.</p>	

**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**

Attachment #3

Category	Mandatory	Discretionary
Ground Floor Summary Office	Primary entries shall be located on John Carlyle Street.	Public pedestrian access from East Parking Garage to John Carlyle Street may be provided through the building's retail frontage.
Retail	Storefront retail entries shall have primary access fronting Eisenhower Avenue, the rotary/crescent , portions of John Carlyle Street, Holland Lane and any public park or open space. The location, amount and depth of retail shall be consistent with the attached schematic site plan. Minimum 60 ft. retail depth on Eisenhower Avenue and minimum 40 ft. retail depth on John Carlyle Street.	
Parking and/or Service Access Zones	West Property Line: Two zones from Hooffs Run Drive at the north and south ends of the street shall be a maximum of 60 Ft wide and 60' from the perpendicular property line. East Property Line: A zone approximately 35 Ft wide from Holland Lane and 50-60 Ft linear zone to the south of the rotary/crescent.	A drop-off or lay by area may be permitted from Holland Lane to provide for short term parking and accessible access to the retail pavilion. South Property Line: A zone approximately 35 Ft wide adjacent to the east property line at the future southern right of way.
Emergency Egress Zone	22 ft. emergency vehicle easement which connects Eisenhower Avenue and Holland Lane. The emergency vehicle easement shall be within 15 ft. of the building	22 Ft minimum width along southern property line, until "Future Street" is constructed.
On Street Parking	John Carlyle Street and Hooffs Run Drive: Parallel parking on both sides of the street.	
At Grade Parking	Along southern edge of eastern block spur immediately to the south of the retail building on the rotary. Diagonal, perpendicular or parallel spaces.	

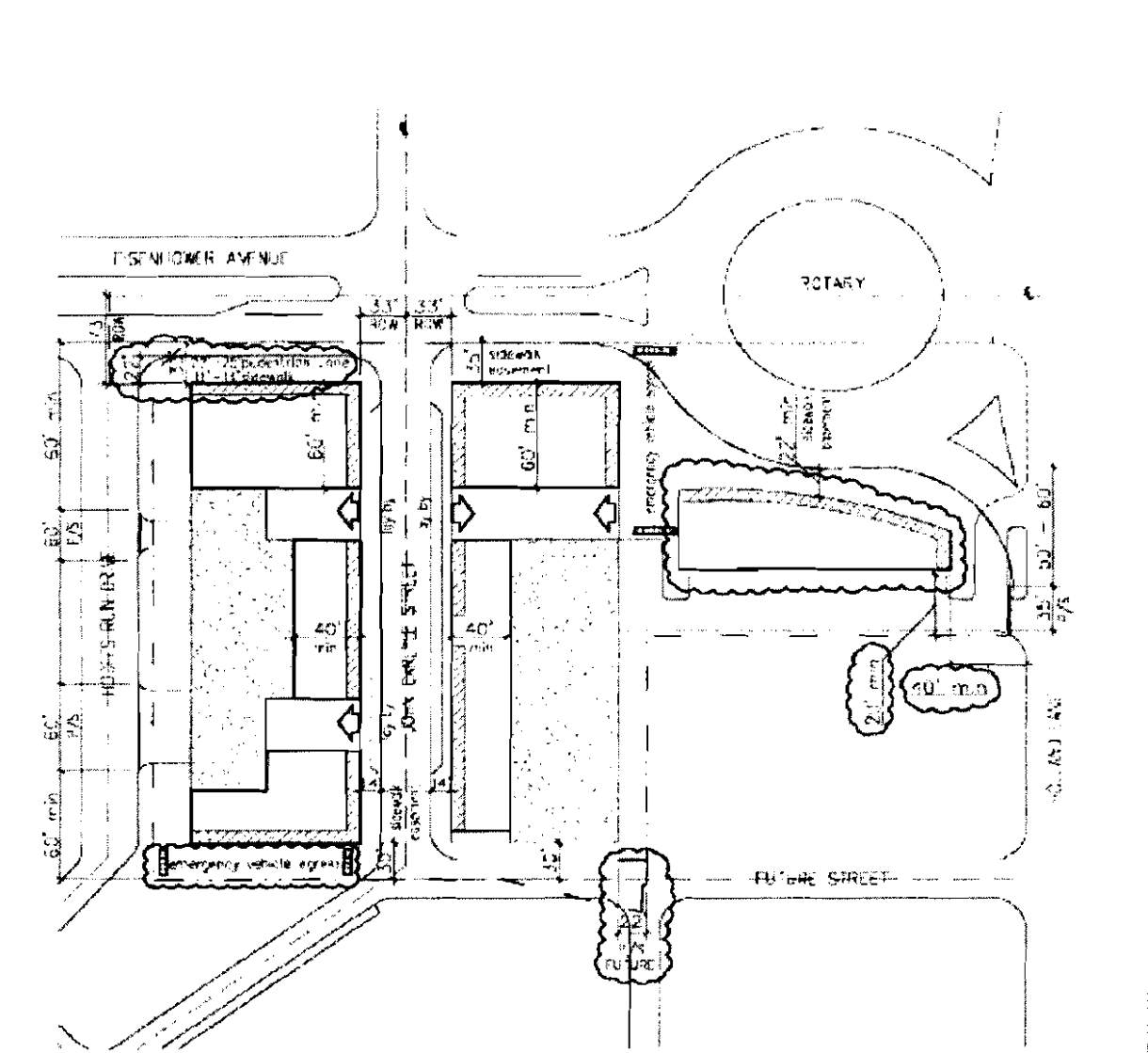
Category	Mandatory	Discretionary
<p>Parking above grade</p>	<p><u>West of John Carlyle Street:</u></p> <p><u>Below 20 Ft. Street Wall Line:</u> Located within area bounded within 90 feet from Eisenhower Avenue property line, 70 feet from centerline of John Carlyle Street, 60 feet from the south property line and 16 feet from Hooffs Run Drive property line.</p> <p><u>Above 20 Ft. Street Wall Line:</u> Located within area bounded within 33 feet from Eisenhower Avenue property line, 33 feet from centerline of John Carlyle Street, 30 feet from the south property line and 16 feet from Hooffs Run Drive property line.</p> <p><u>East of John Carlyle Street:</u></p> <p><u>Below 20 Ft Street Wall Line:</u> Located within area bounded within 120 Ft from Eisenhower Avenue property line, 70 Ft from centerline of John Carlyle Street, 30 Ft from south property line and 18 ft from eastern property line.</p> <p><u>Above 20 Ft Street Wall Line:</u> Located within area bounded within 120 feet from Eisenhower Avenue property line 33 feet from centerline of John Carlyle Street, 30 feet from south property line and 18 feet from the eastern property line.</p>	
<p>Bulk - Streetwall</p>	<p>Rotary/crescent: 25-30 Ft <u>John Carlyle Street:</u> 20 Ft <u>Eisenhower Avenue:</u> 60 Ft (west of John Carlyle Street) and 20 Ft (east of John Carlyle Street).</p>	<p>Architectural embellishments or parapets are exempt from this restriction.</p>

**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**







Category	Mandatory	Discretionary
Maximum Heights	<p><u>West of John Carlyle Street:</u> 175 Ft at north end (Eisenhower Avenue) and 210 Ft maximum at the south end.</p> <p><u>East of John Carlyle Street:</u> 80 Ft minimum and 120 Ft maximum at north end (Eisenhower Avenue) and 60 Ft maximum at south end.</p> <p><u>Rotary/crescent:</u> Minimum 25 Ft and maximum 30 Ft</p>	
Ground Floor Setbacks	<p><u>Eisenhower Avenue:</u> (West of John Carlyle Street) 22 to 25 ft. from property line. (East of John Carlyle Street) 22 to 35 ft.</p> <p><u>John Carlyle Street:</u> 14 Ft from curb line</p> <p><u>Rotary/crescent:</u> Minimum 22 Ft from the property line and 22 Ft from south edge of rotary spur.</p> <p><u>Holland Lane:</u> 40 Ft from curb.</p> <p><u>Future Street:</u> 30 Ft from southern property line parallel to Eisenhower Avenue</p>	No setback required along west property line or Hooffs Run Drive.
Upper Floor Setbacks	<p><u>West of John Carlyle Street:</u> 3 – 7 Ft maximum setbacks at a building height of 50-60 Ft. Additional 5 - 7 Ft minimum setback at a building height of 150-175 Ft along Eisenhower Avenue.</p> <p><u>East of John Carlyle Street:</u> 3 – 7 Ft maximum setback at a building height of 20 – 30 Ft.</p>	

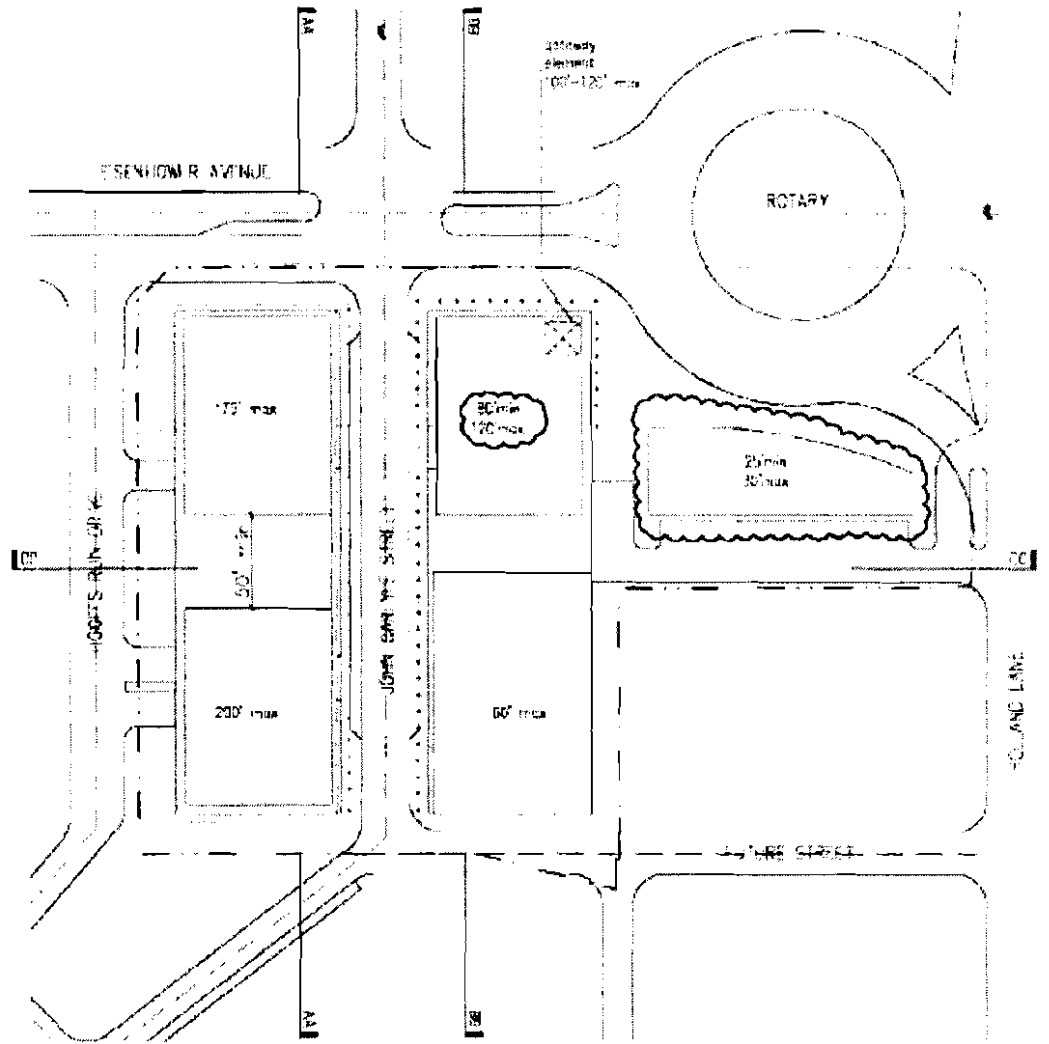
**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**

Category	Mandatory	Discretionary
<p>Architectural Expression and Lines</p>	<p>An expression line is required at the top of the required street walls.</p> <p>The exposed portions of the above grade parking structure on Hoofs Run Drive shall be consistent with the Eisenhower East Design Guidelines for "C" streets.</p> <p>The parking structure on the eastern portion of the site shall be shall be treated with high quality materials to appear as an extension of the buildings(s) and the openings — fenestration shall be comparable to the building.</p>	<p>Gateway element is encouraged at the rotary/crescent location with a signature building visible from the Holland Lane gateway at the intersection of John Carlyle Street and Eisenhower Avenue.</p>
<p>Minimum Distance Between Buildings</p>	<p>Multiple towers above 80 Ft in height must be placed 45 Ft apart</p>	



Ground Level Summary

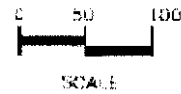
- | | | |
|---|---|--|
|  Parking/Service |  Curb Cut Zone | |
|  Required Retail |  Lobby Access |  Emergency Egress Zone |
|  Retail Frontage | | |



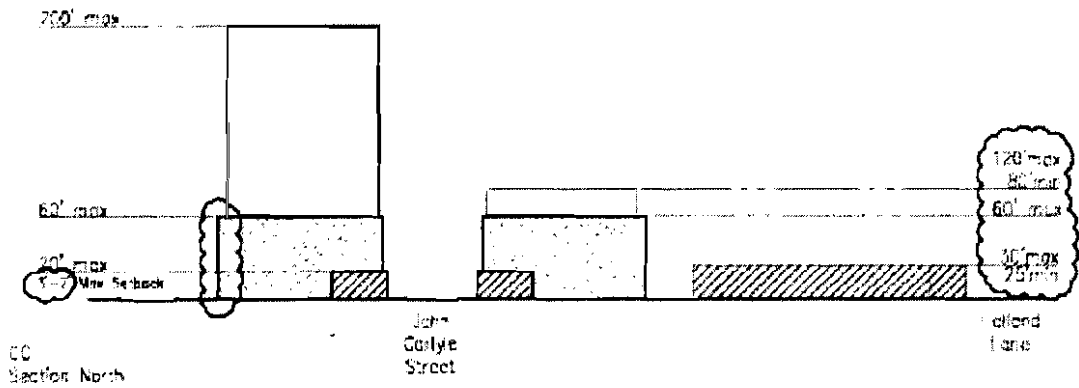
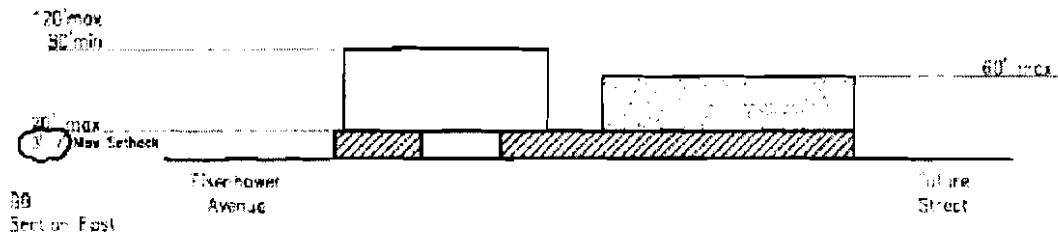
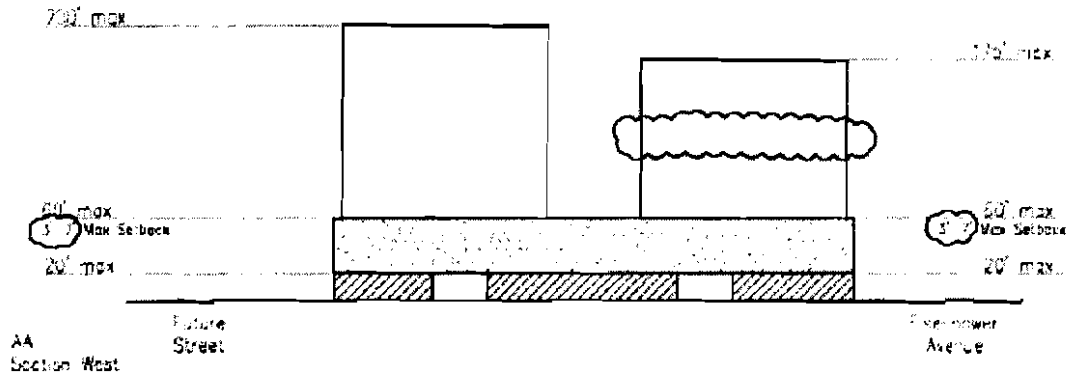
Block Summary

..... 20' street wall

60' street wall



**Carlyle Development Plan in Alexandria, Virginia
Block P Design Guidelines**



Section Diagrams



Proposed Carlyle Land Use Allocation Table (Revised 8/10/2020)

Block	Office	Residential	Hotel	Retail	GSA	Daycare	Total
A		814,419		4,245			818,664
B	290,000			7,000			297,000
C	460,700			19,600			480,300
D							0
E	163,216			24,522			187,738
F	399,493	102,704	230,000	5,500			737,697
G	501,679			70,000			571,679
H		436,000		4,000			440,000
I					400,000		400,000
J	447,629			14,137			461,766
K	414,432			29,205		4,500	448,137
L		340,490		20,364			360,854
M	484,803						484,803
N	484,803						484,803
O		342,895					342,895
P	342,162 138,502	0 237,023		17,669 12,025			371,886 387,550
Total	3,988,917 3,785,257	2,036,508 2,273,531	230,000	228,297 210,598	400,000	4,500	6,888,222 6,903,886

Floor Plan and Plot Plan Waiver Request
SUP Amendment for Carlyle SUP, Block P

Per the Conditions of the Carlyle SUP, inclusive of Conditions 67 through 73, the preliminary site plan for each individual building is approved by the Carlyle Design Review Board (“DRB”). Because the Planning Commission and City Council do not approve the preliminary site plan for buildings in the Carlyle SUP, there is no need to provide such with this submission.

Accordingly, consistent with the Carlyle SUP approval process, the Applicant requests a waiver for submission of a floor plan and plot or site plan. These items have been previously approved by the DRB, and any minor amendments to said items shall be subject to review by the DRB, and by Staff through the final site plan review process.

SEPTEMBER 24, 2020

DRB - CONCEPT REVIEW

765 JOHN CARLYLE - SOUTH TOWER

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- Design Goals 2
- Approved Site Plan 3
- Colored Site Plan 4
- Colored Landscape Plan 5
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- Zoning Tabulation 7
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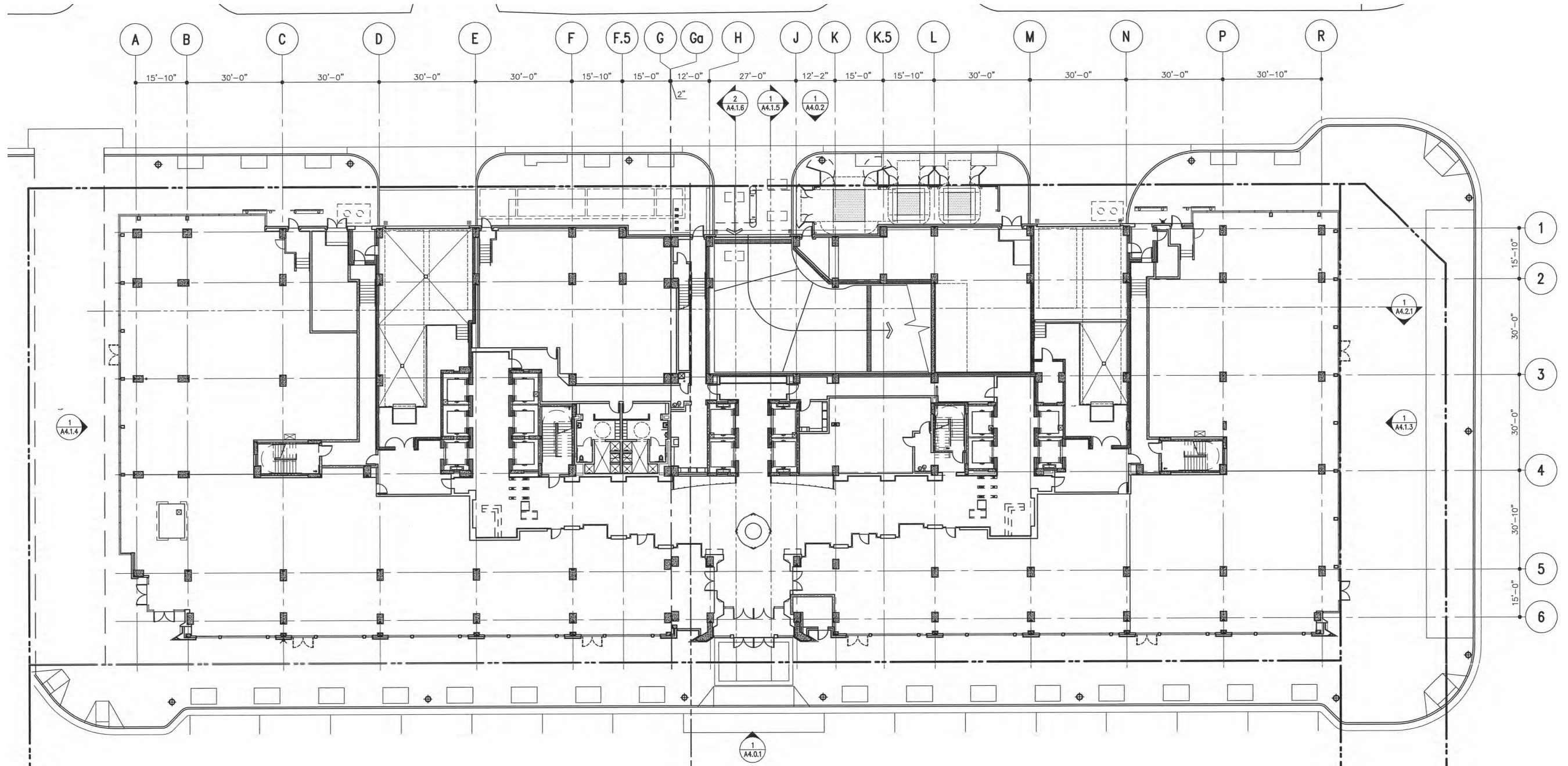
DESIGN GOALS

- Work within existing entitlements
- Enhance approved design with modifications related to Senior Living program
- Modify ground level to accommodate Senior Living program
- Maintain podium façade with subtle architectural changes for Senior Living use
- Adapt the existing floor plan to the needs of Senior Living
- Increase height to meet Senior Living requirements
- Provide design complement to adjacent office building
- Develop proportional system and material palette as part of the larger block
- Provide a rooftop design that adds to skyline features in Carlyle

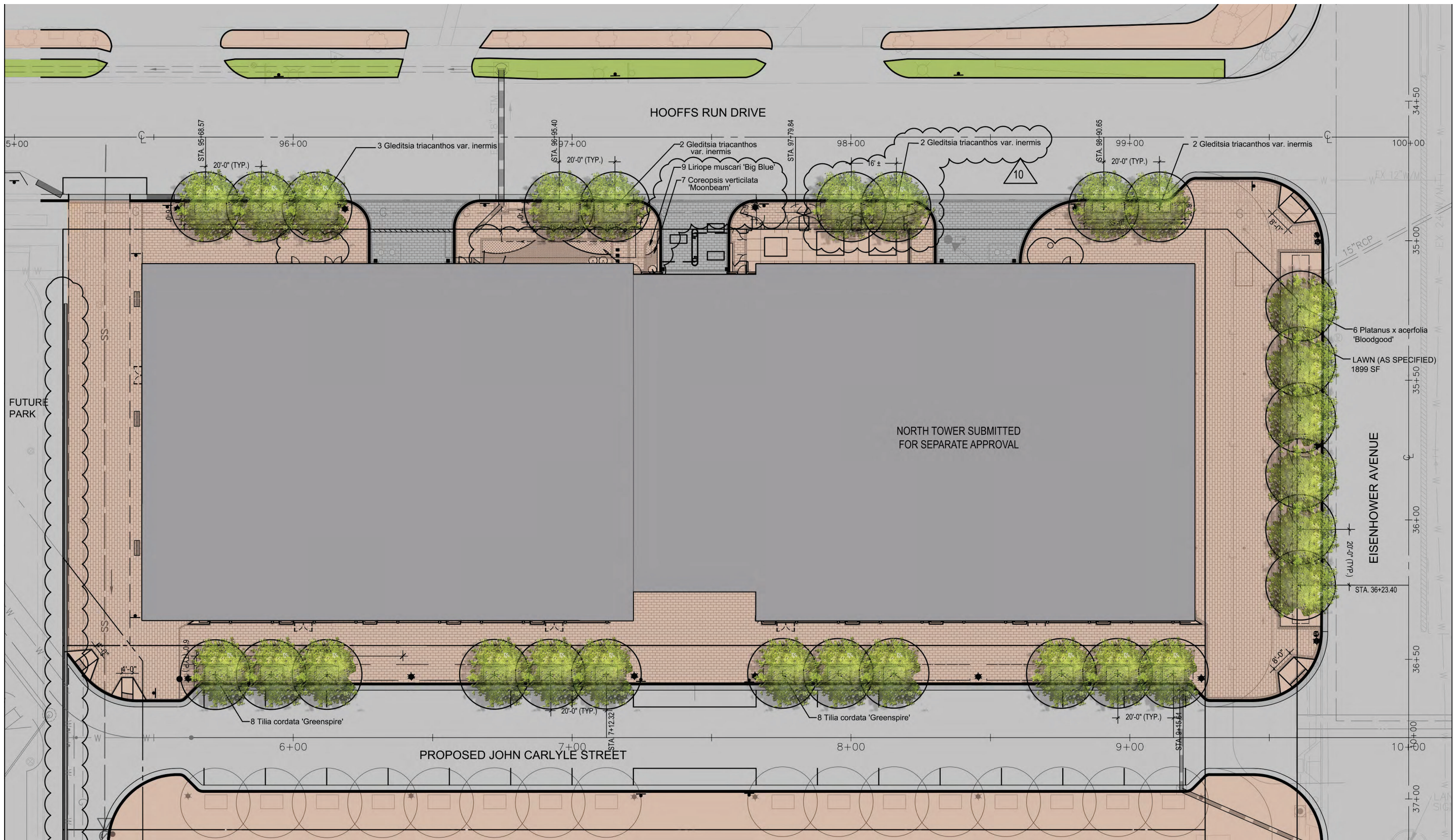
DESIGN REVISION SUMMARY

- Use: From Office to Senior Living
- Overall height: From 183.43' to 205.67'
- Stories: From 16 stories to 17 stories (excluding mechanical penthouse)
- Proposed Floor to floor heights:
 - 1st – 4th floors: Eliminated one garage floor, the floor to floor heights remained the same (19.08', 9.5', 8.67', and 8.67')
 - 5th floor (top floor of garage): 13.42' (added 4' for thicker slab and heated plenum)
 - 6th-7th floors: 14' to accommodate Senior Living program
 - 8th- 15th floors: 10.67'
 - 16th floor: 11'
 - 17th floor: 20'
- Shape/massing: From rectangle to U shape

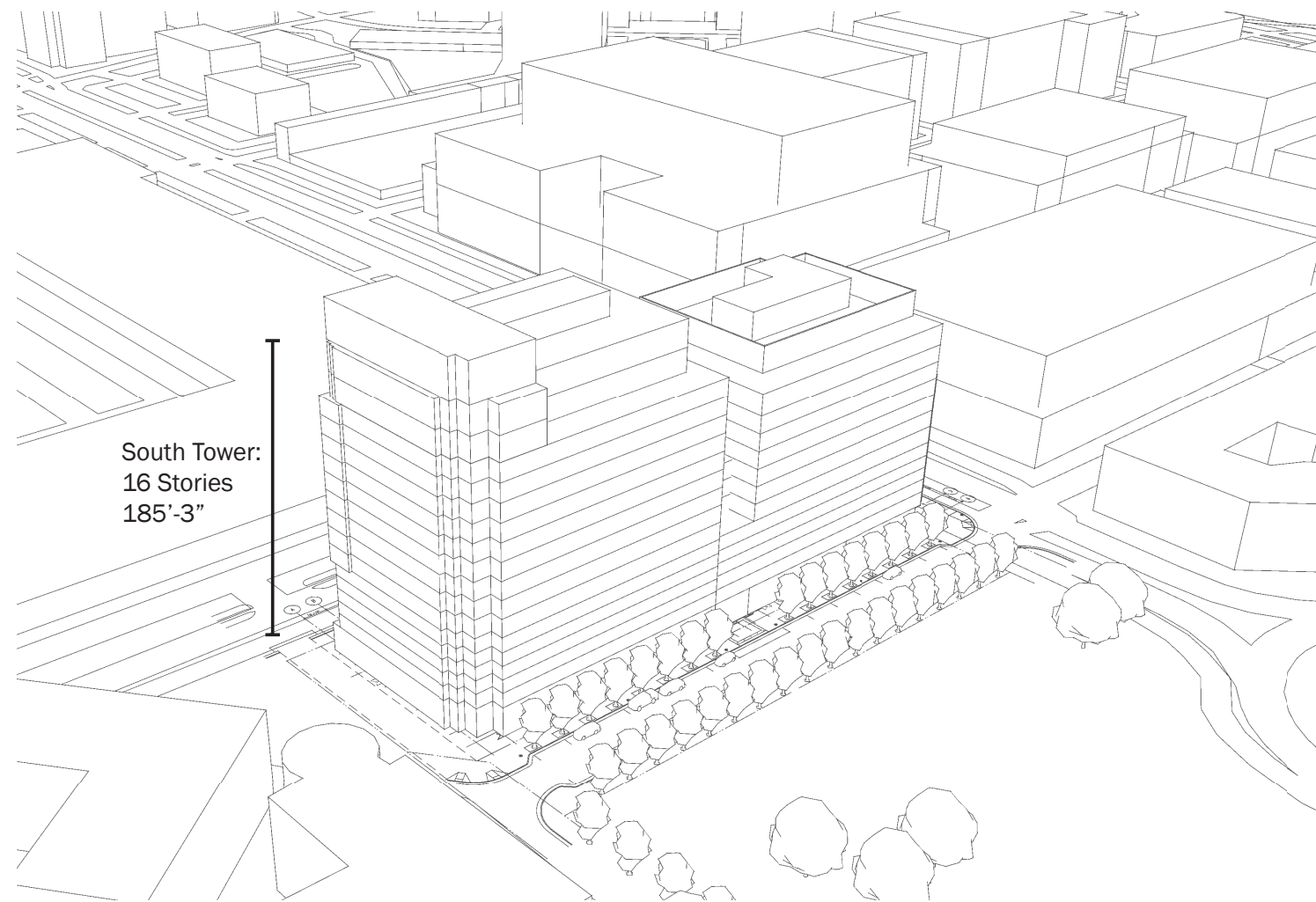
- Setbacks maintained as required and approved
- Loading dock and garage locations unchanged
- Building entrance at John Carlyle Street
- SE corner to be modified to accommodate the Senior Living design





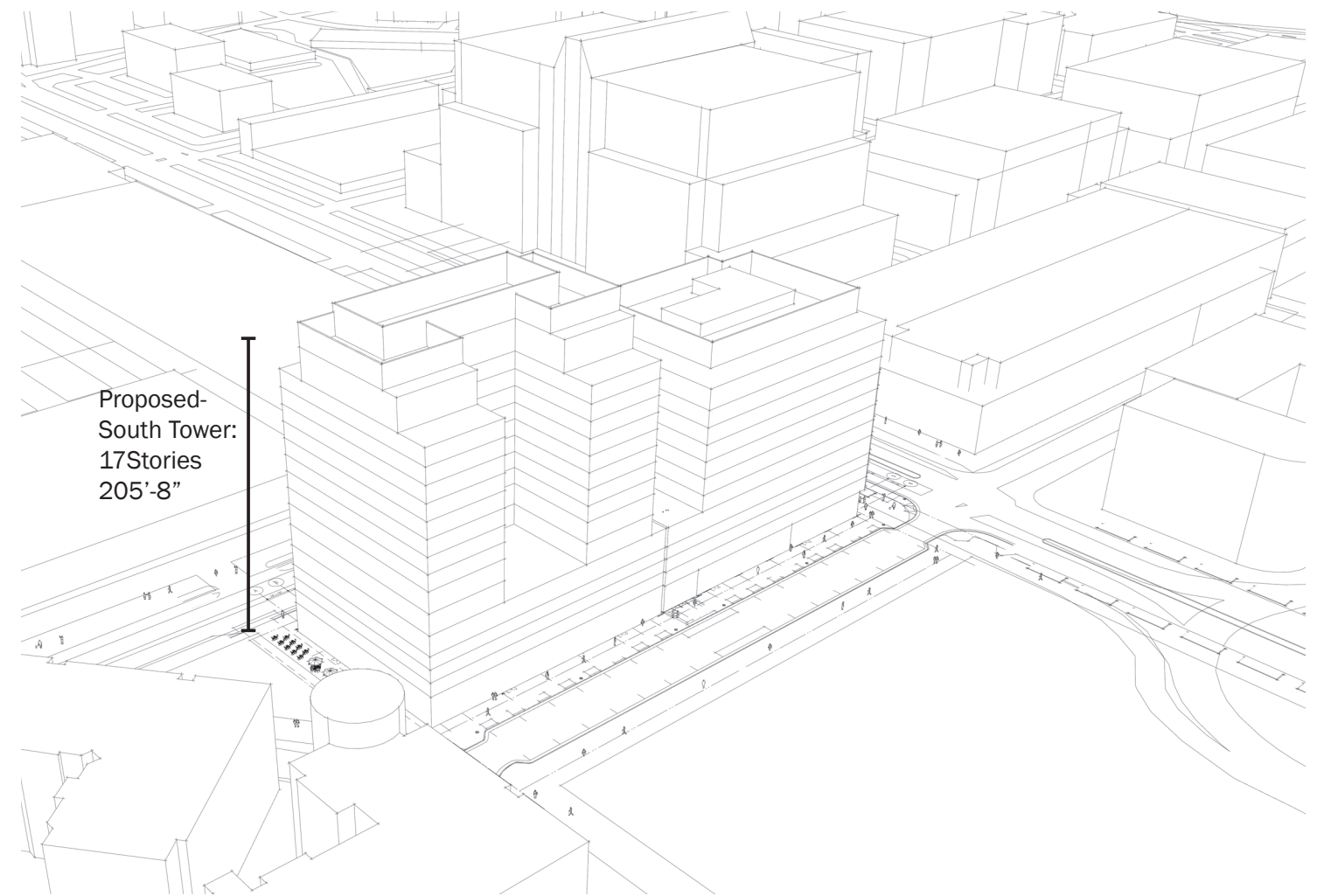


APPROVED MASSING



- APPROVED USE: Office, Retail
- ALLOWED AND APPROVED STORIES: 16 for south tower
- Ground, 5 levels of parking, and 10 levels of office
- APPROVED HEIGHT: 183.43' from average finish grade to the top of the 16th floor
- Mechanical Penthouse Tower: 26' above the roof
- APPROVED PARKING: 546 in the garage
- APPROVED AREA: 371,886 sf for two towers
- APPROVED FAR: 3.9
- APPROVED MASSING: Rectangle for the office building

PROPOSED MASSING



- PROPOSED USE: North Tower unchanged, South Tower Senior Living
- PROPOSED STORIES: 17 stories
- Ground, 4 levels of parking, and 12 levels of Senior Living
- PROPOSED HEIGHT: South Tower 205.67' from average finish grade to the top of the 17th floor (amenity penthouse).
- Mechanical Penthouse: 17' above the amenity penthouse (height and location of the mechanical penthouse to be modified based on the final system selection)
- PROPOSED PARKING: Maximum of 440 in the garage
- PROPOSED AREA: Proposed design including both buildings has a density of 387,550 sf
- PROPOSED FAR: 4.08
- PROPOSED MASSING: U shape for South Tower to accommodate the Senior Living layout

ZONING SUMMARY

PROJECT LOCATION

LOT 72, BLOCK - P

THE PROJECT IS BOUNDED BY EISENHOWER AVENUE TO THE NORTH, HOOFF'S RUN DRIVE TO THE WEST, AN APARTMENT BUILDING TO THE SOUTH, AND THE EXTENSION OF JOHN CARLYLE STREET TO THE EAST

AREA TABULATIONS

TOTAL SITE AREA = 2.18 AC (94,905 SF)*
 TOTAL EXISTING IMPERVIOUS AREA = 0.00 AC (00,000 SF)
 TOTAL PROPOSED IMPERVIOUS AREA = 2.14 AC (93,110 SF)
 TOTAL DISTURBED AREA = 3.77 AC (164,322 SF)

*INCLUDES BUILDING AND JOHN CARLYLE STREET

ZONING TABULATIONS

ZONE OF SITE: CDD#1 WITH CARLYLE SUP #2006-0042

USE: **EXISTING** VACANT **PROPOSED** OFFICE - SENIOR LIVING - RETAIL

LOT AREA: 85,693 SF

GROSS SQUARE FOOTAGE:

LEVEL	OFFICE	SENIOR LIVING	PARKING	RETAIL	PH	TOTAL
GROUND	13,364	22,662		12,025		48,051
P2		2,000	42,755			44,755
P3		2,000	44,566			46,566
P4			46,566			46,566
P5			46,566			46,566
6	22,496	19,720				42,216
7	19,265	18,566				37,831
8	19,265	18,566				37,831
9	19,265	18,566				37,831
10	19,265	18,566				37,831
11	19,265	18,566				37,831
12	15,400	18,566				33,966
PH-NORTH					3,933	3,933
13		18,566				18,566
14		18,566				18,566
15		18,566				18,566
16		18,566				18,566
17		14,181				14,181
PH-SOUTH					3,000	3,000
TOTAL	147,585	246,223	180,453	12,025	6,933	593,219

NET SQUARE FOOTAGE:

LEVEL	OFFICE	SENIOR LIVING	RETAIL	TOTAL
GROUND	10,467	20,062	12,025	42,554
P2		2,000		2,000
P3		2,000		2,000
P4				0
P5				0
6	20,946	18,920		39,866
7	18,028	17,766		35,794
8	18,028	17,766		35,794
9	18,028	17,766		35,794
10	18,028	17,766		35,794
11	18,028	17,766		35,794
12	14,171	17,766		31,937
PH-NORTH	2,778			2,778
13		17,766		17,766
14		17,766		17,766
15		17,766		17,766
16		17,766		17,766
17		13,381		13,381
PH-SOUTH		3,000		3,000
TOTAL	138,502	237,023	12,025	387,550

FLOOR AREA RATIO

EXISTING
N/A

PROPOSED
4.08 (FULL BLOCK P SITE)

OPEN SPACE

REQUIRED
40% = 26,277 SF

PROVIDED

GROUND LEVEL 13,114 SF
 SIXTH FLOOR 4,484 SF
 ROOF TERRACE 10,000 SF
TOTAL PROVIDED 27,598 SF = 42%

AVERAGE FINISHED GRADE

30.07'

HEIGHT

	STORIES	HEIGHT	AVERAGE FINISH GRADE
TOTAL HEIGHT ALLOWED UNDER CARLYLE SUP	10-15	200	
TOTAL HEIGHT PROPOSED			
NORTH TOWER	13*	140.26'	30.07
SOUTH TOWER	17*	205.67'	30.07
TOTAL PROPOSED SUBGRADE PARKING LEVELS	0		

* LAST OCCUPIED LEVEL

SETBACKS

	FRONT	PROPOSED AS REQUIRED BY CARLYLE SUP #2006-0042
	22'	JOHN CARLYLE STREET (TO FACE OF CURB)
	42'	EISENHOWER AVENUE (TO EX. ROW)
	30'	PROPOSED FIRE LANE (TO EX. PROPERTY LINE)
	NONE	HOOFF'S RUN (TO EX. FACE OF CURB)

FRONTAGE

REQUIRED N/A **PROPOSED** N/A

PARKING REQUIRED

WITHIN ENHANCED TRANSIT AREA					
	Min	Max	Area (GROSS)	Min Parking	Max Parking
Office	0.25/1000 SF	1.5/1000 SF	147,585	37	221
Retail	0.25/1,000 SF	3/1,000 SF	12,025	4	37
		<i>Office/Retail Sub-Total</i>		41	258
	Min	Max	# of Units	Min Parking	Max Parking
Senior Living	1 per 2 units	N/A	186	93	N/A
		<i>Senior Living Sub-Total</i>		93	N/A
Total Parking Requirements				134	N/A

PARKING PROVIDED

COMPACT	189
STANDARD	242
ADA	7
ADA VAN	2
TOTAL	440

LOADING SPACES

REQUIRED 2 **PROVIDED** 2

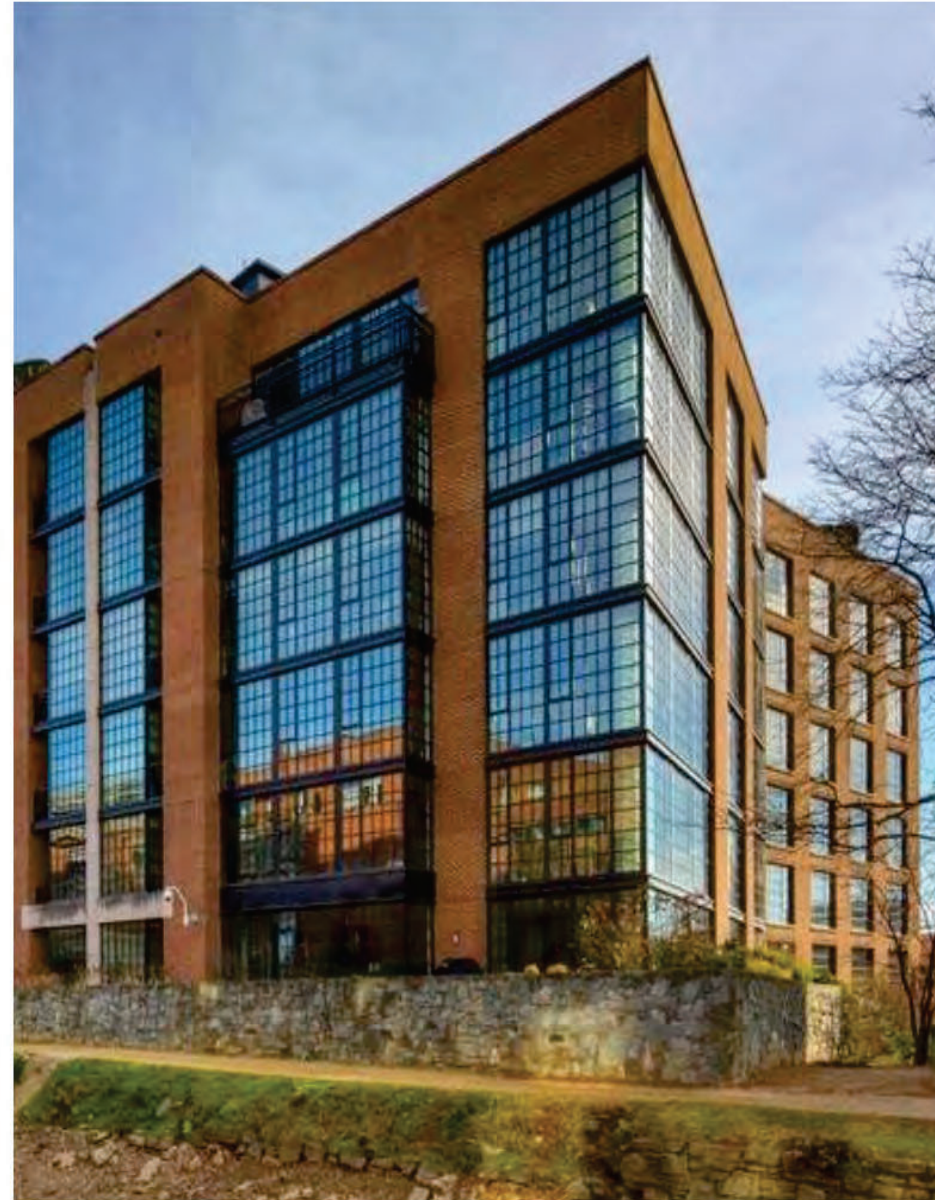
DWELLING UNITS

TOTAL UNITS 186
 UNITS PER ACRE 85.3211

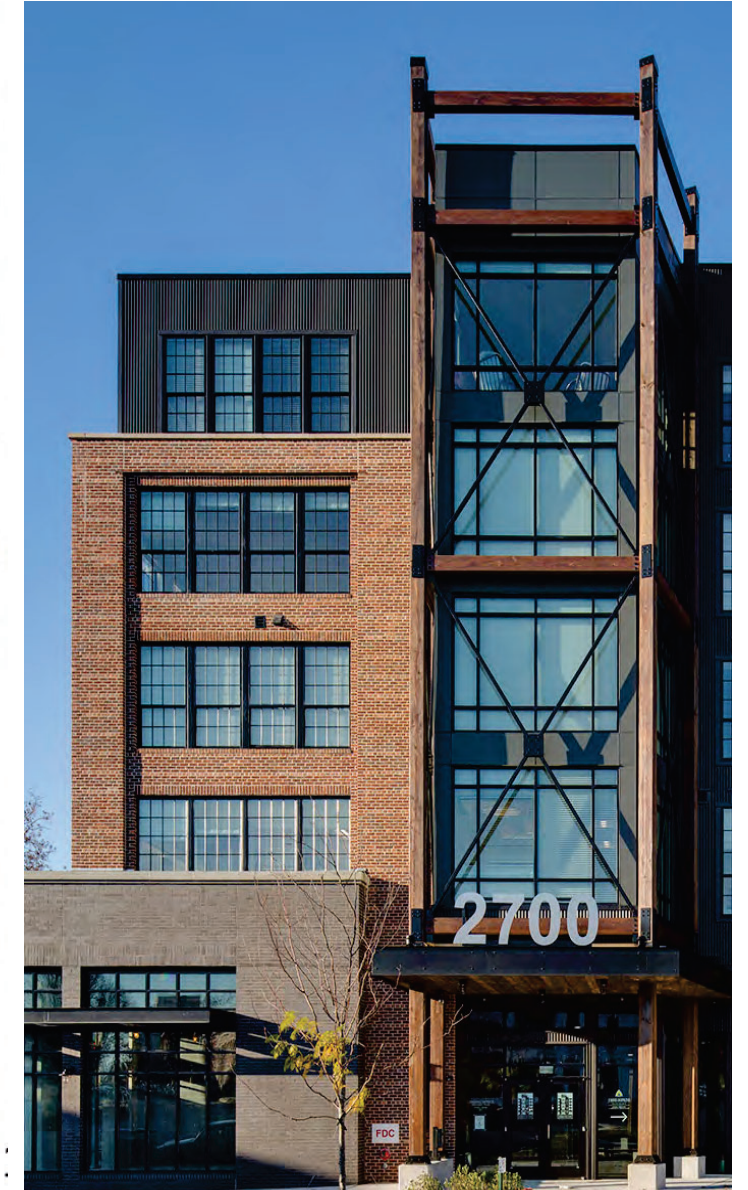
- Brick details and depth
- Window pattern
- Clean details



- Base and top concept
- Residential look
- Punched openings

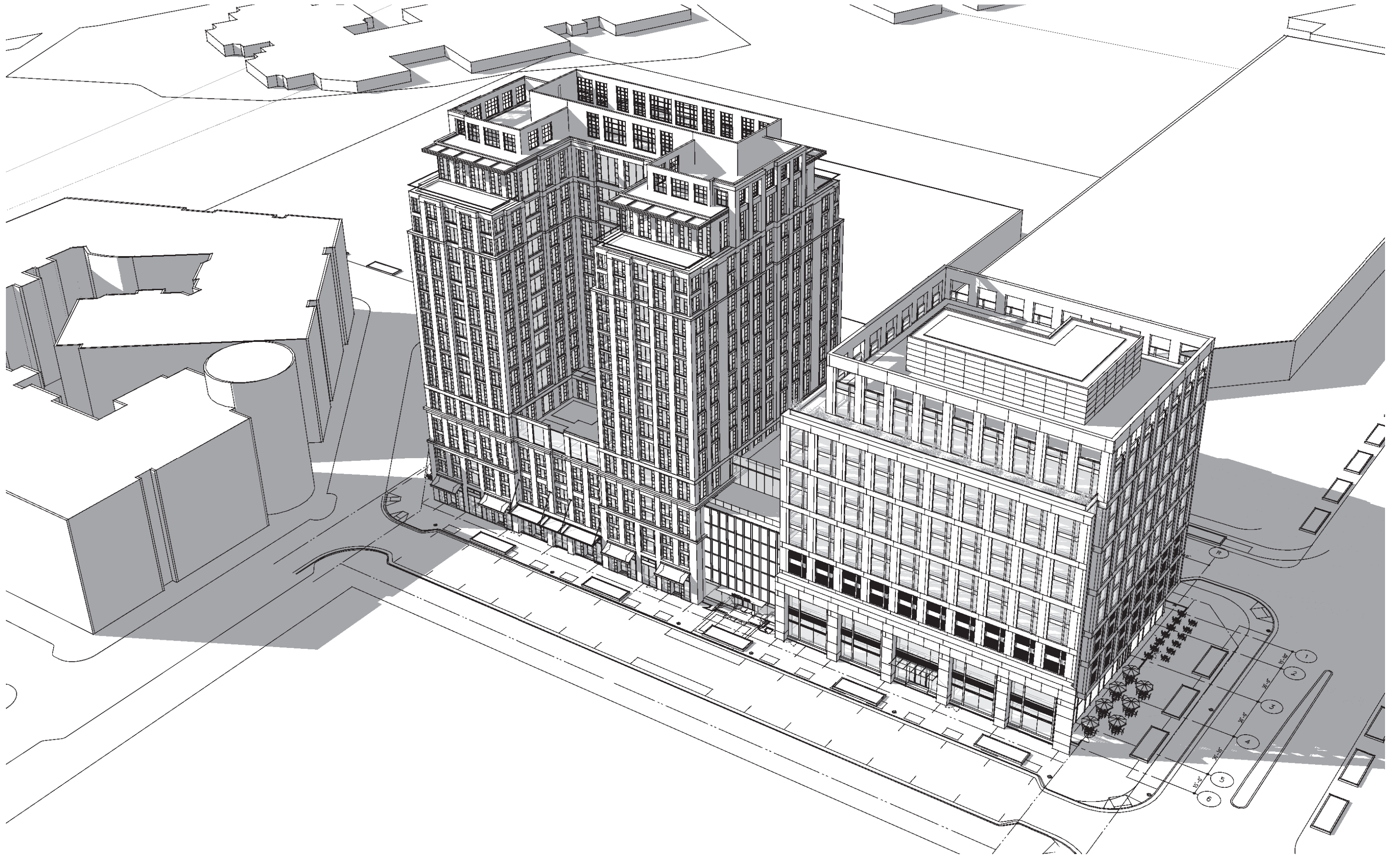


- Window pattern and corner window



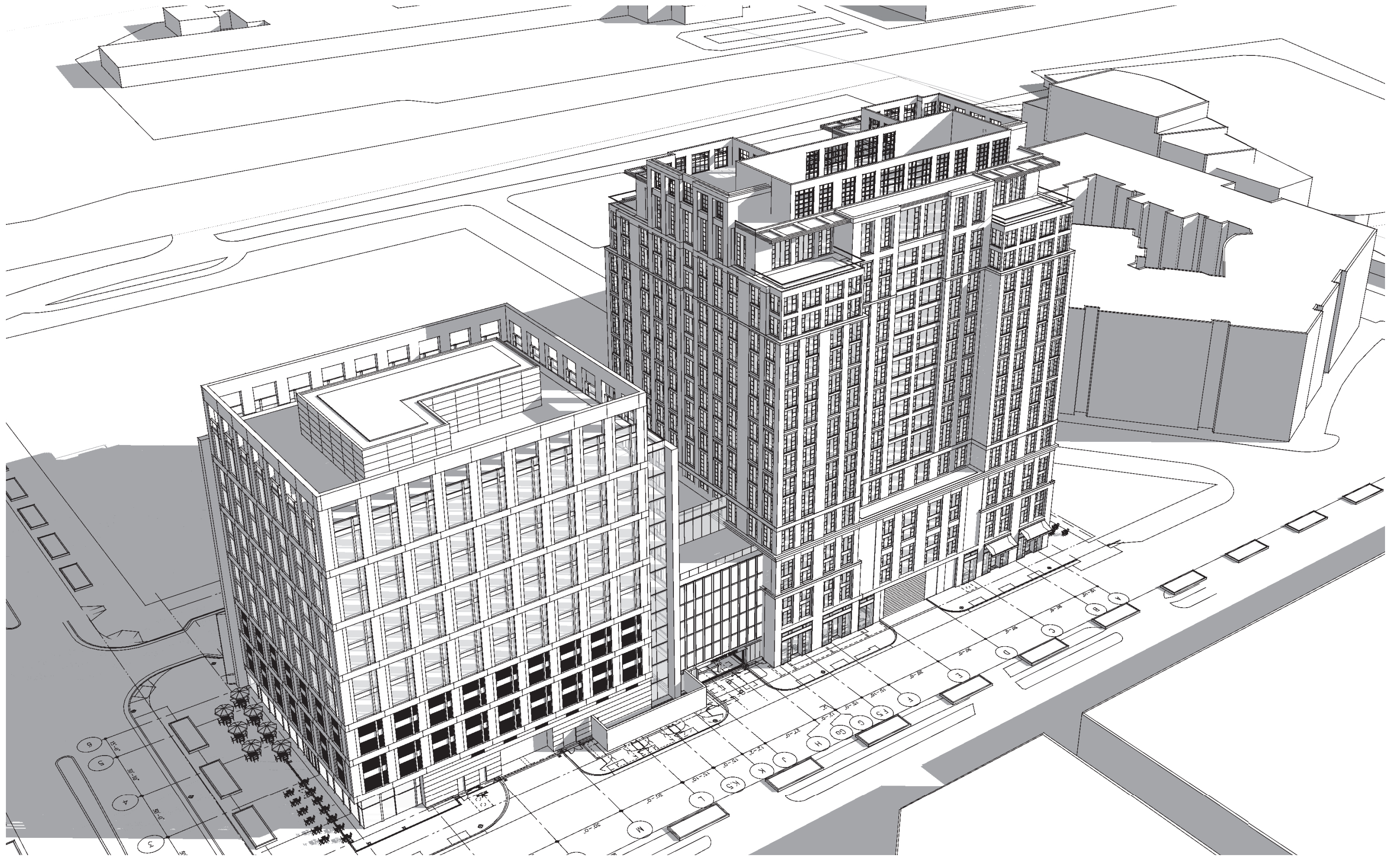
- Brick detailing and depth
- Top and base concept



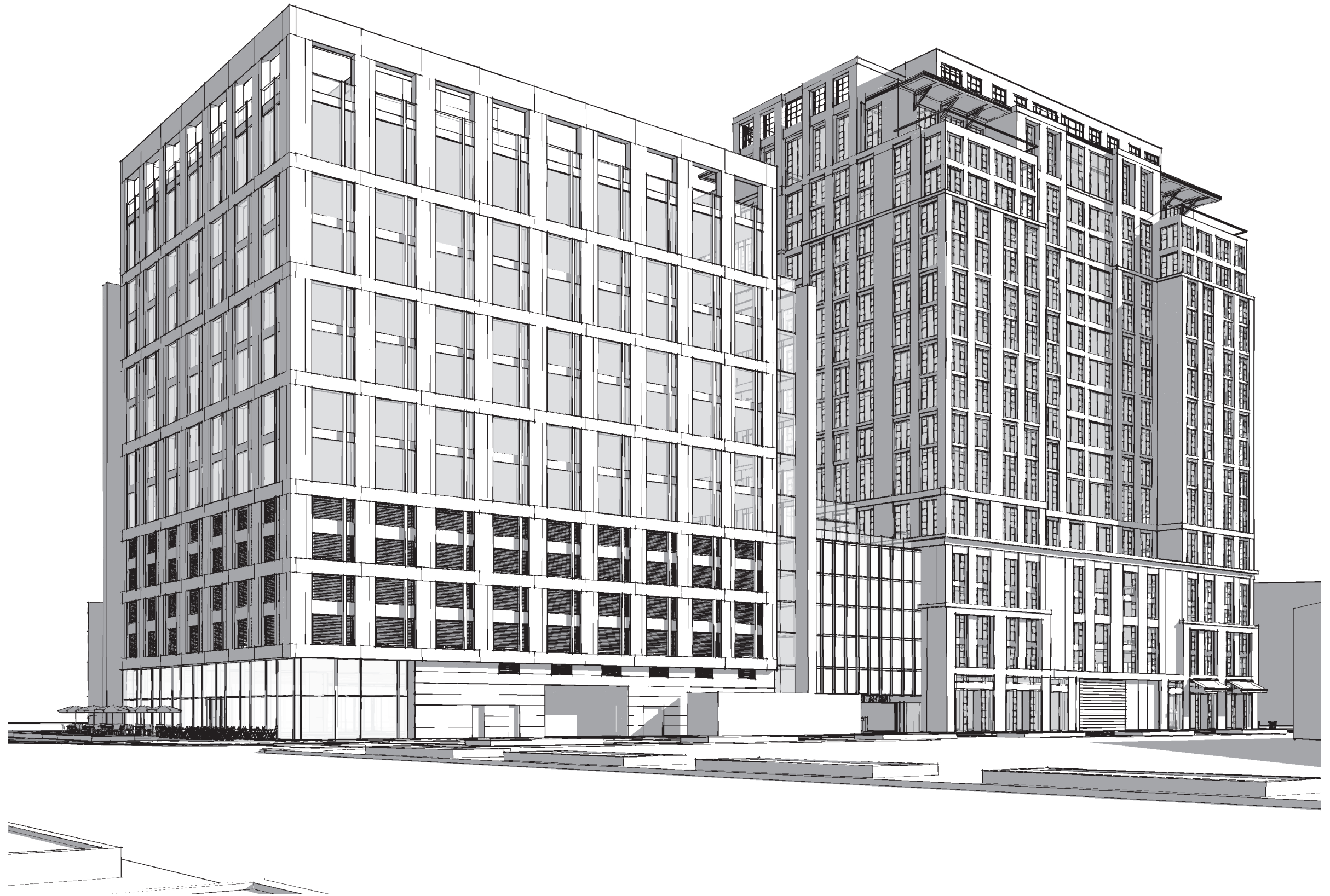


- SE corner has been modified to accommodate the Senior Living design
- Mechanical penthouse height and location to be modified based on the final system selection





- Activate streetscape with Senior Living (Retail-like) storefronts











Dark Metal Panel @
Amenity & Mechanical
Penthouse

Glass Railing @
Penthouse

Cornice

Dark Metal Panel

Aluminum Window
System

Light Brick

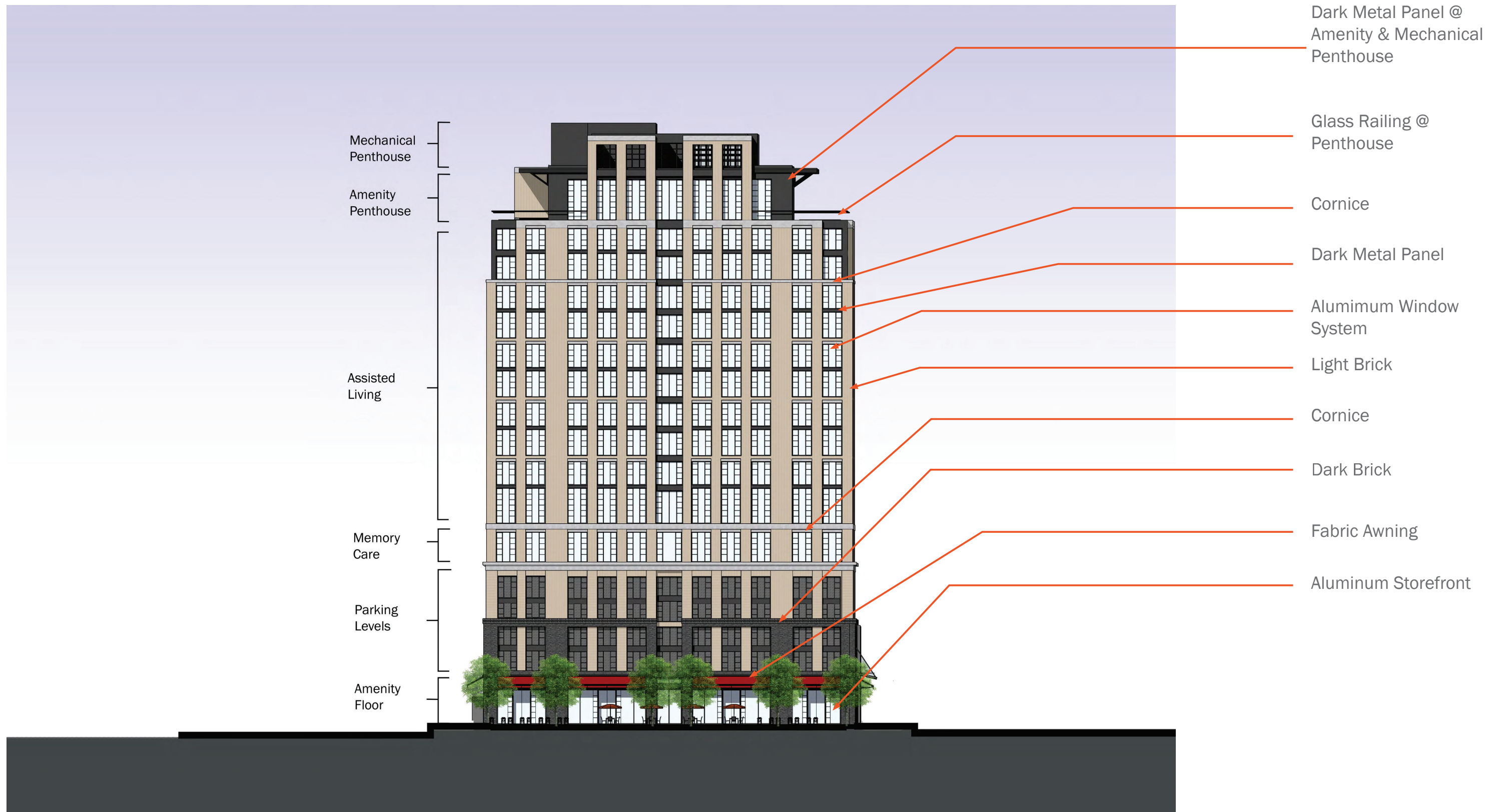
Cornice

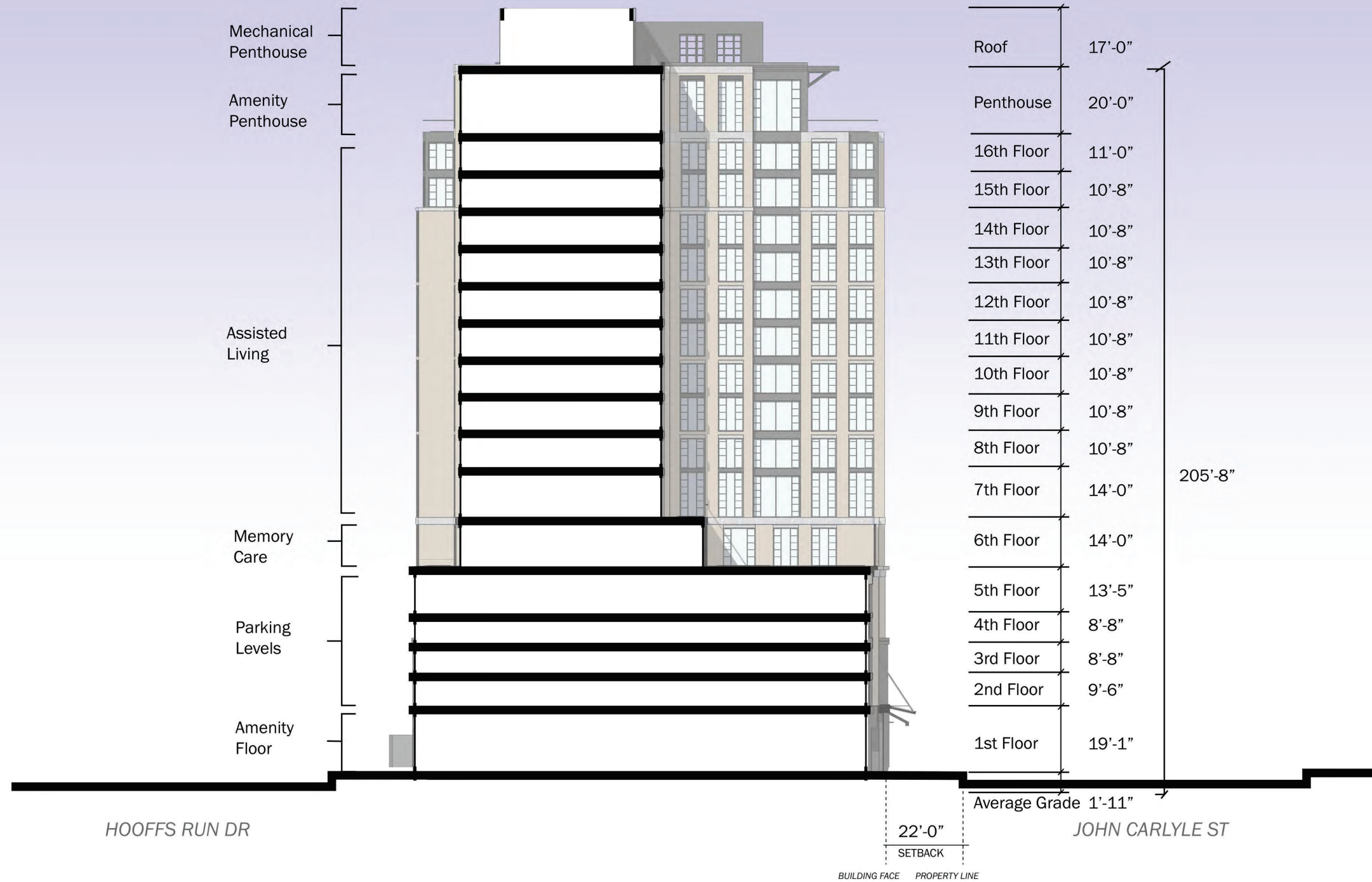
Dark Brick

Fabric Awning

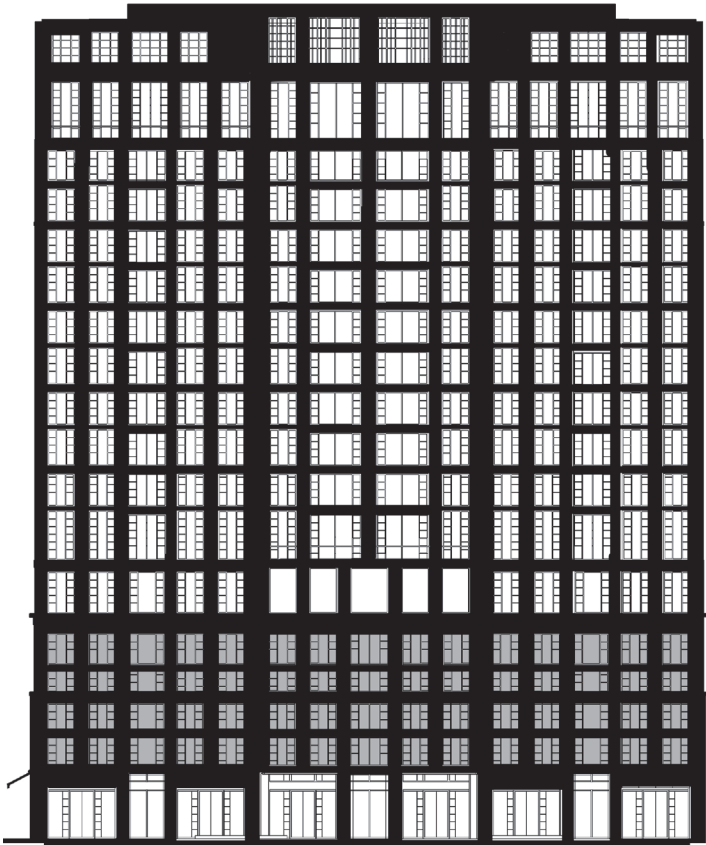
Aluminum Storefront





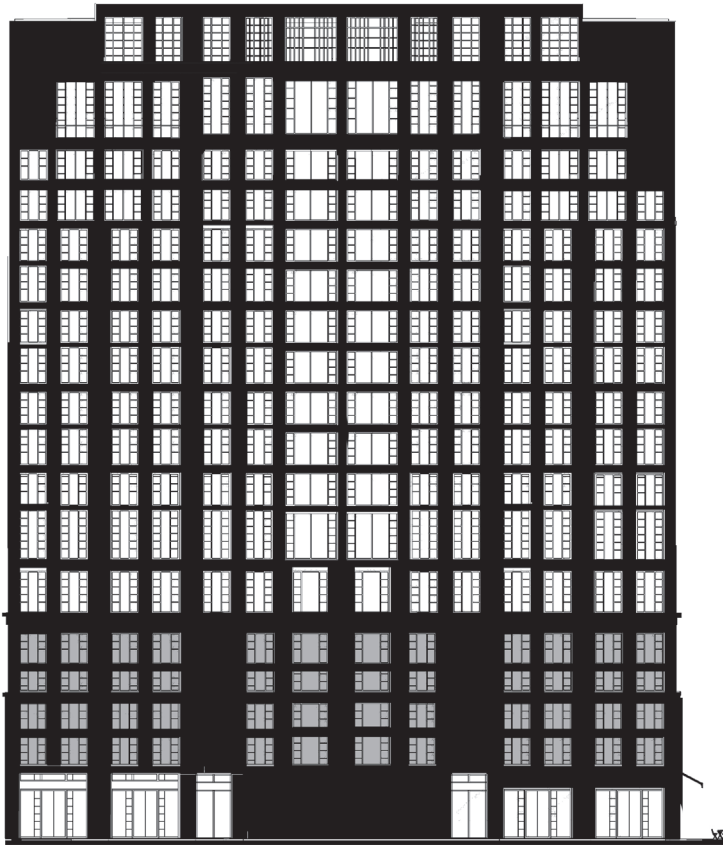


EAST FACADE
SOLID- VOID



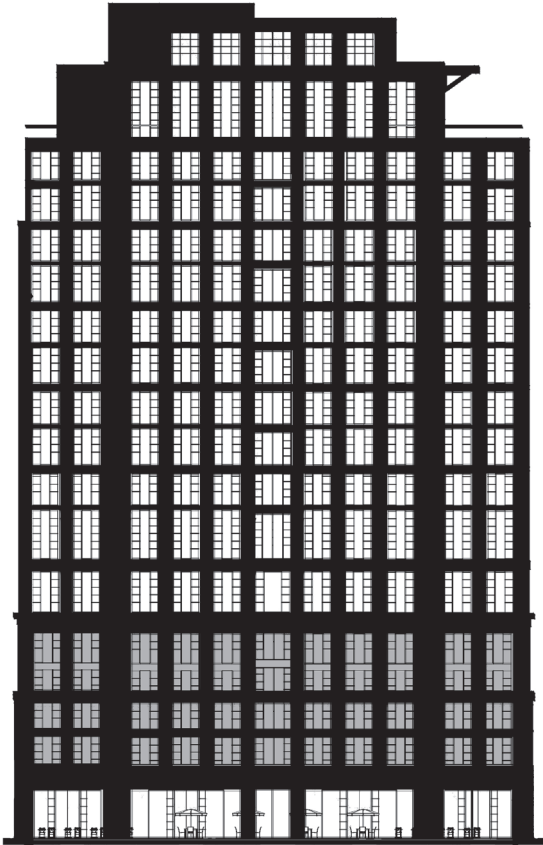
SOLID 52%
VOID 48%

WEST FACADE
SOLID- VOID



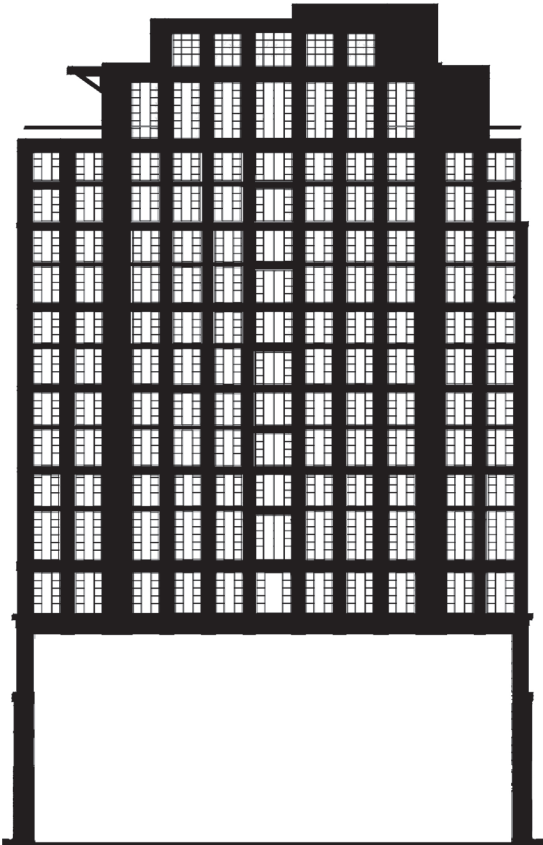
SOLID 56%
VOID 44%

SOUTH FACADE
SOLID- VOID



SOLID 49%
VOID 51%

NORTH FACADE
SOLID- VOID



SOLID 55%
VOID 45%

TOTAL BUILDING
SOLID
VOID

54%
46%

Dark Metal Panel @ Mechanical & Amenity Penthouse

Glass Railing @ Penthouse

Dark Metal Panel

Cornice

Alumimum Window System

Light Brick

Cornice

Dark Brick

Metal Canopy @ Building Entrance

Fabric Awning

Aluminum Storefront





CORNICE

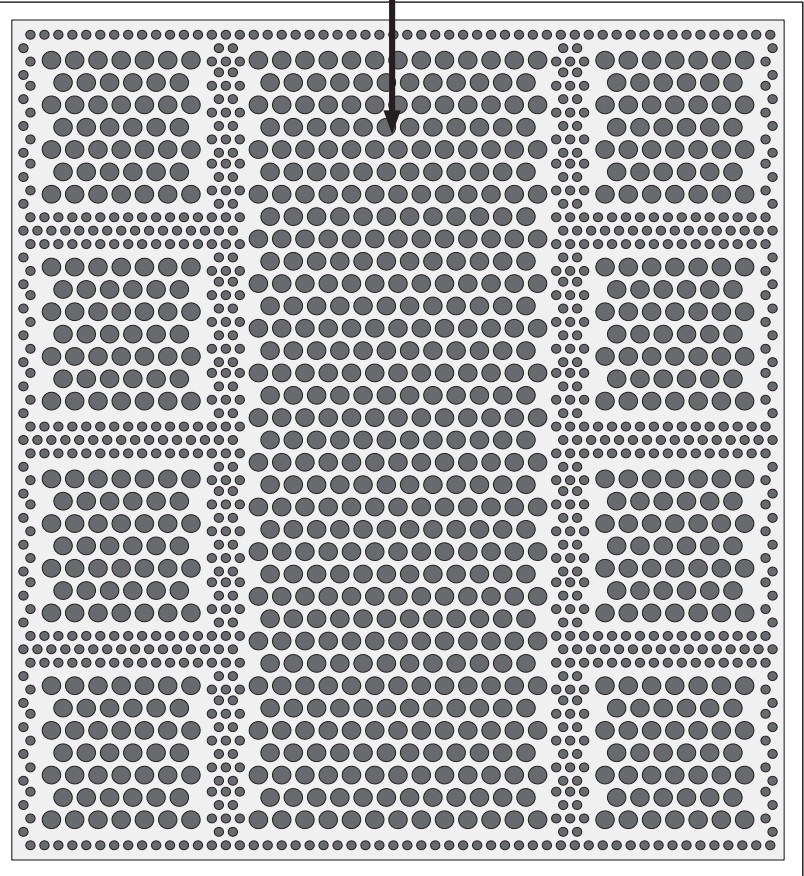
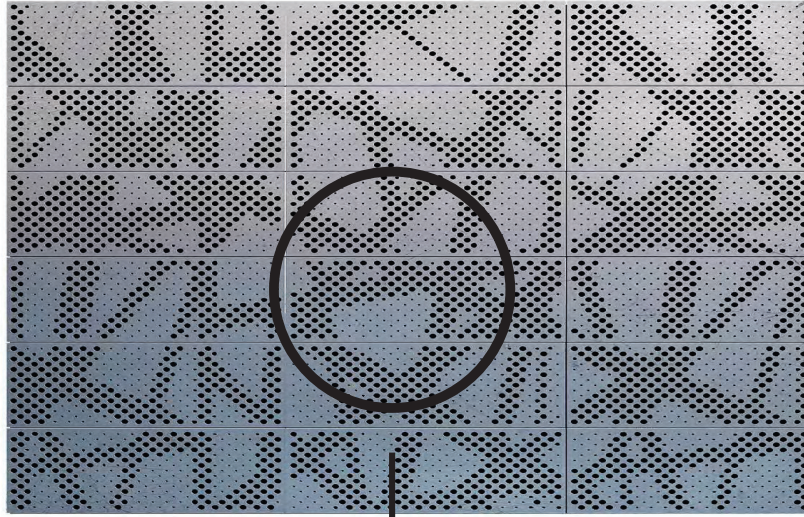


LIGHT BRICK

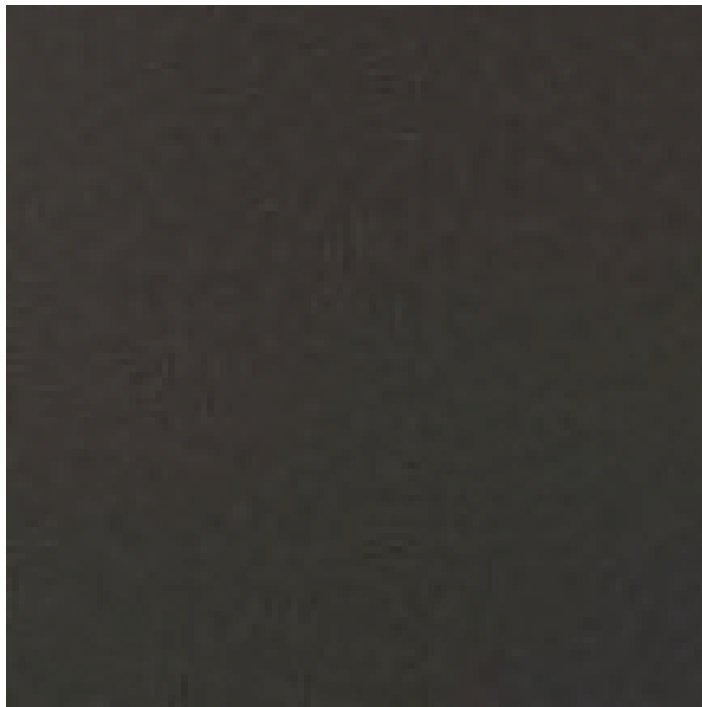


DARK BRICK (IRON SPOT)



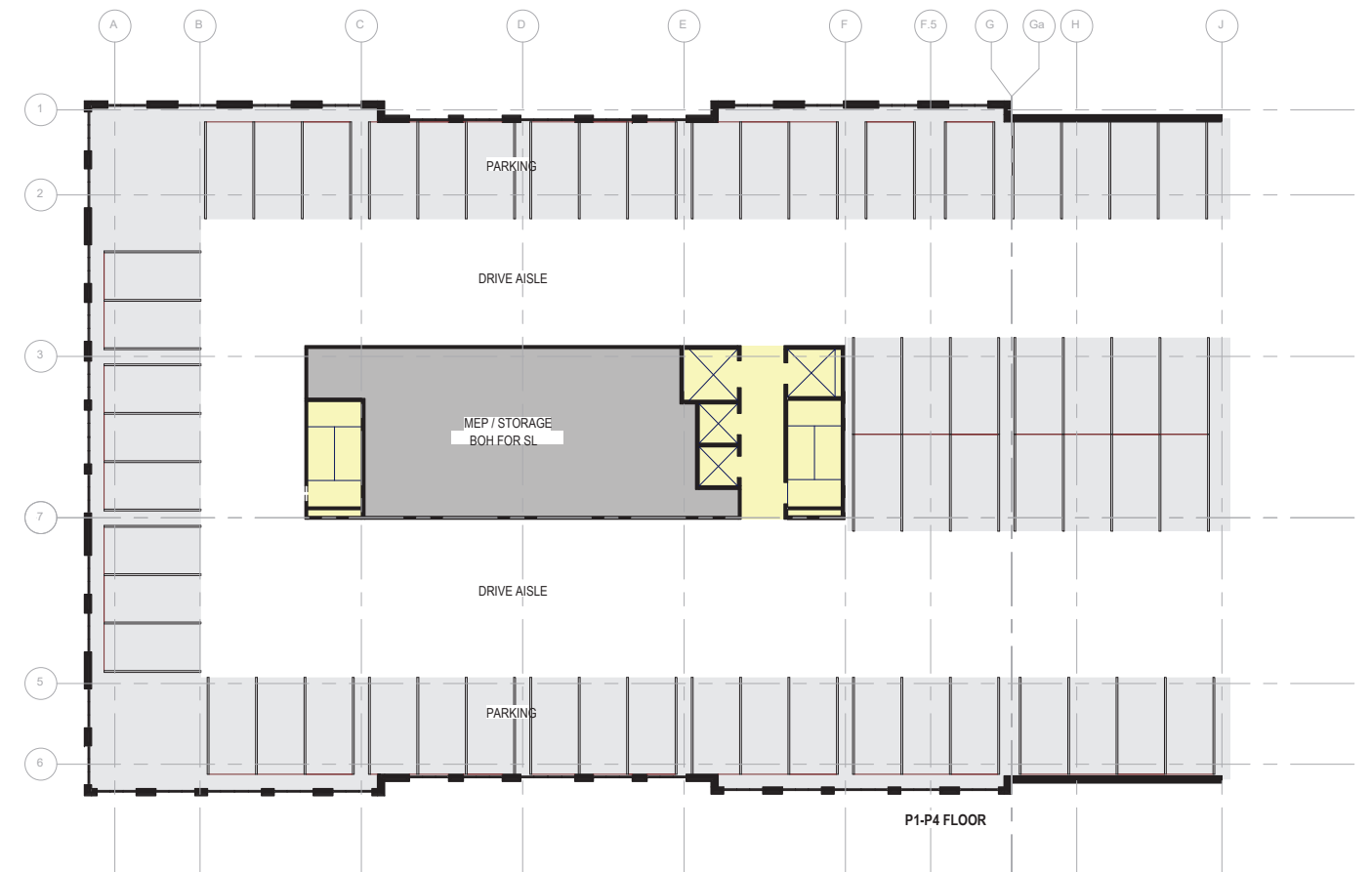
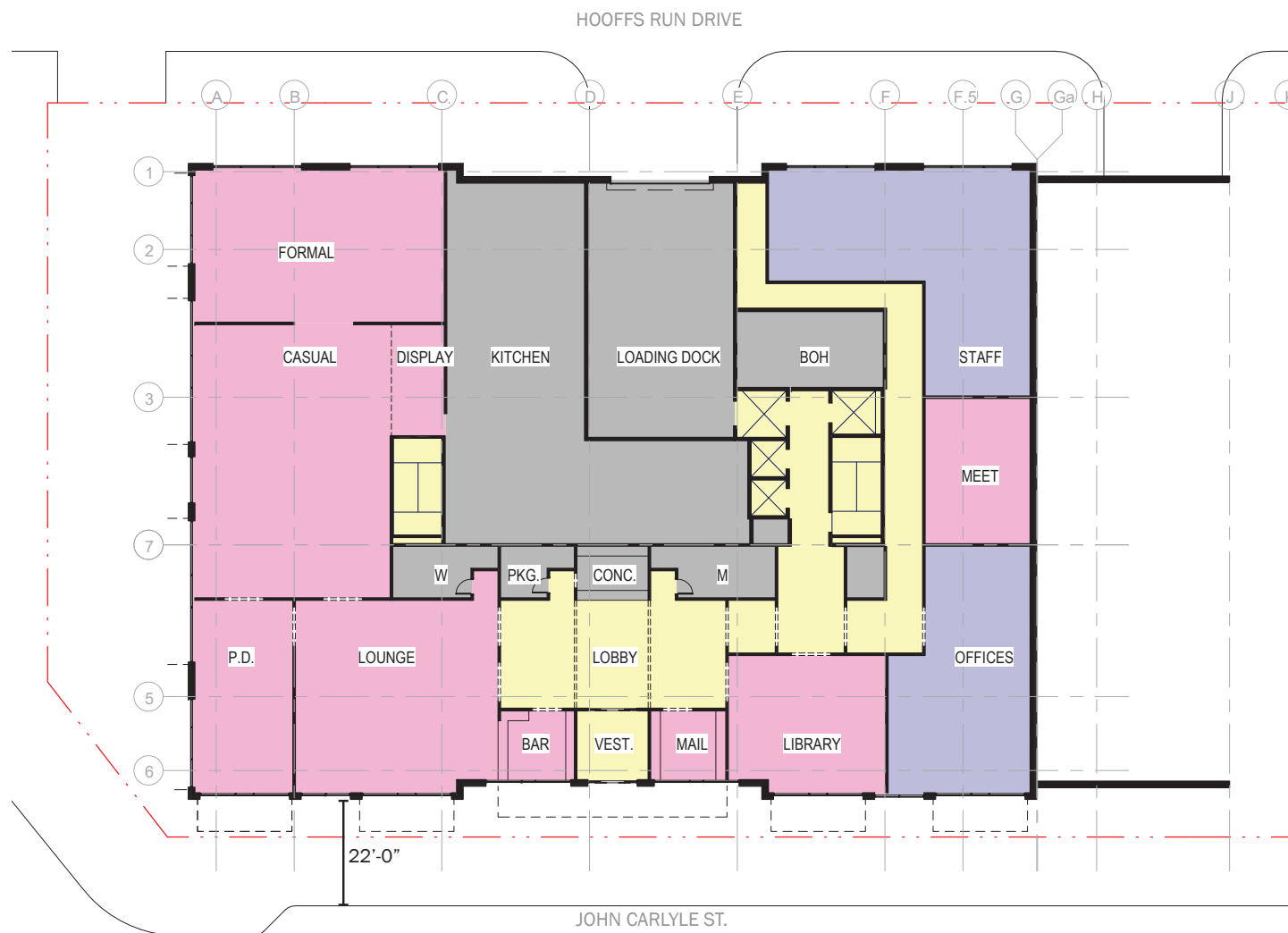


PREFORATED METAL FORMING PATTERN OF WINDOW MUNTINS



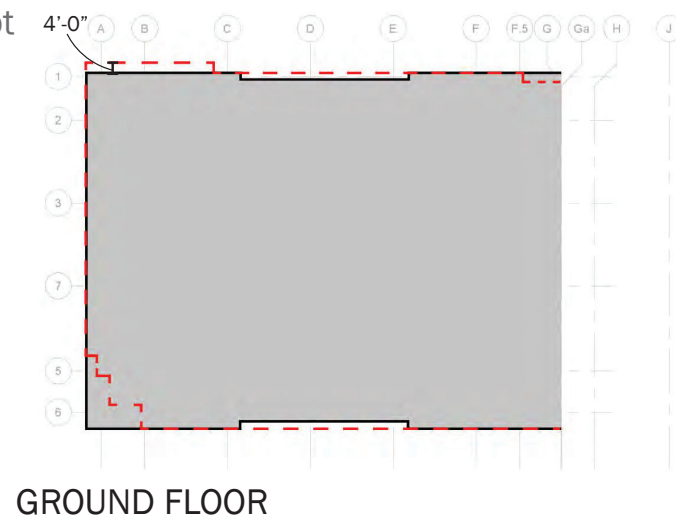
METAL PANELS, SLAB EDGE COVERS, AND WINDOWS





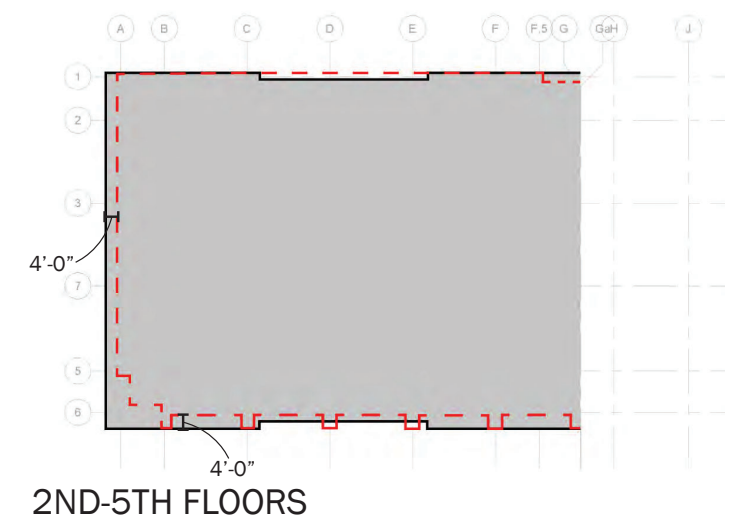
GROUND FLOOR: LOBBY & BACK OF HOUSE

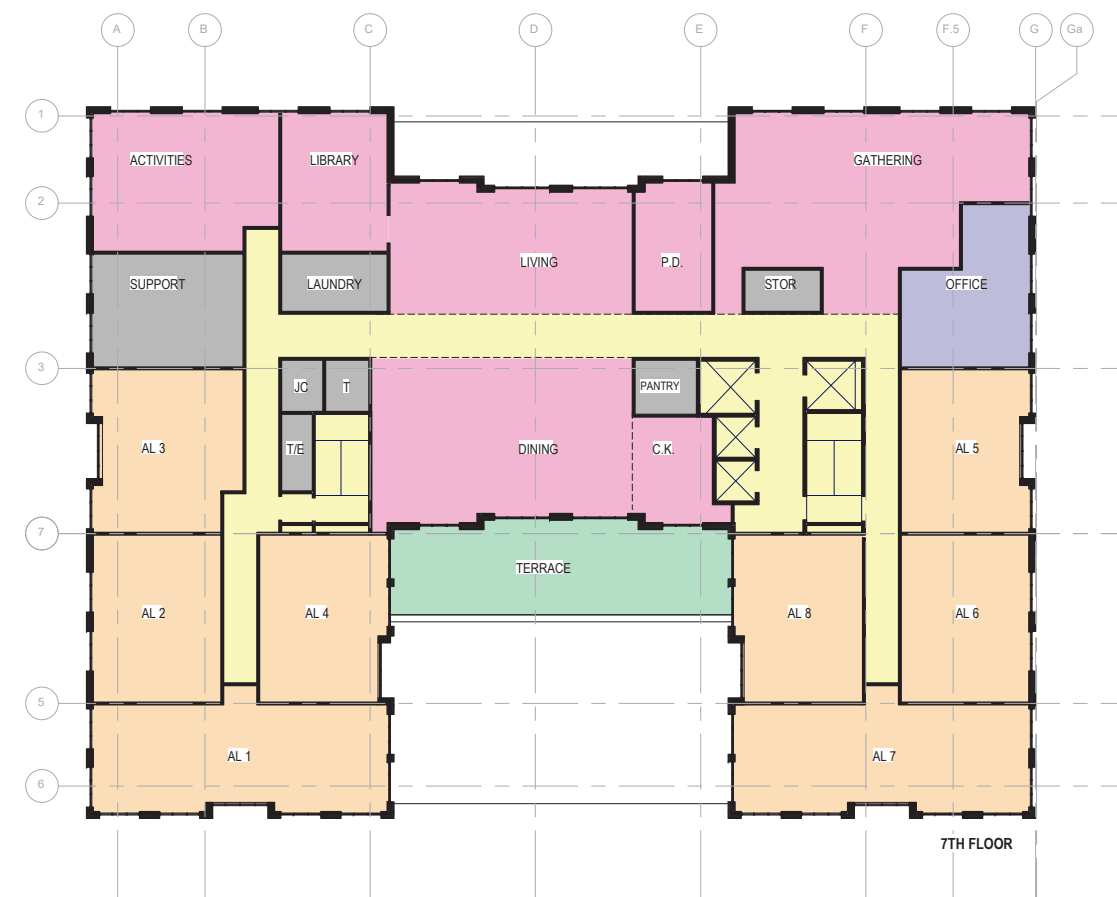
- No changes to the Ground level plan except SE corner
- Building entry at John Carlyle Street
- Services at Hooff's Run Drive as approved
- Loading dock location unchanged
- 22' Setback from the face of curb on John Carlyle Street to face of building is maintained



2ND-5TH FLOORS: PARKING

- Garage entrance, drive aisles and overall parking layout unchanged
- Eliminated Shuttle elevators

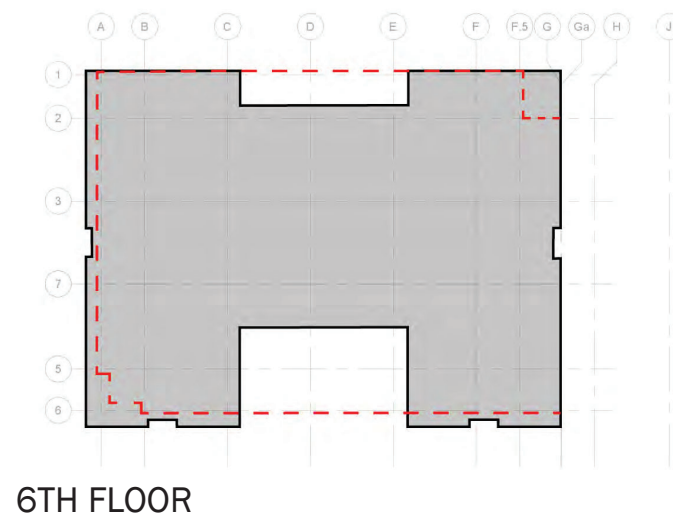




6TH FLOOR: MEMORY CARE

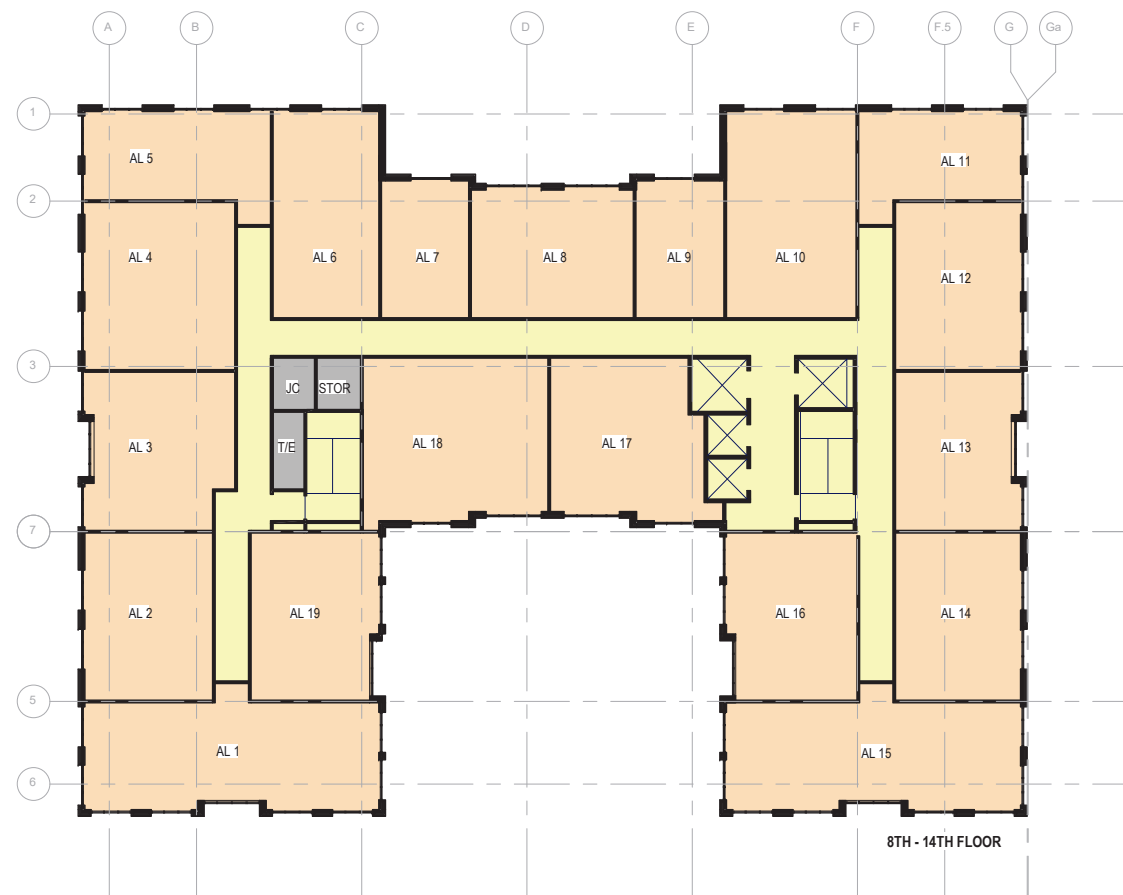
FLOOR PLAN:

- U shape for Senior Living in lieu of rectangle (old office plan)

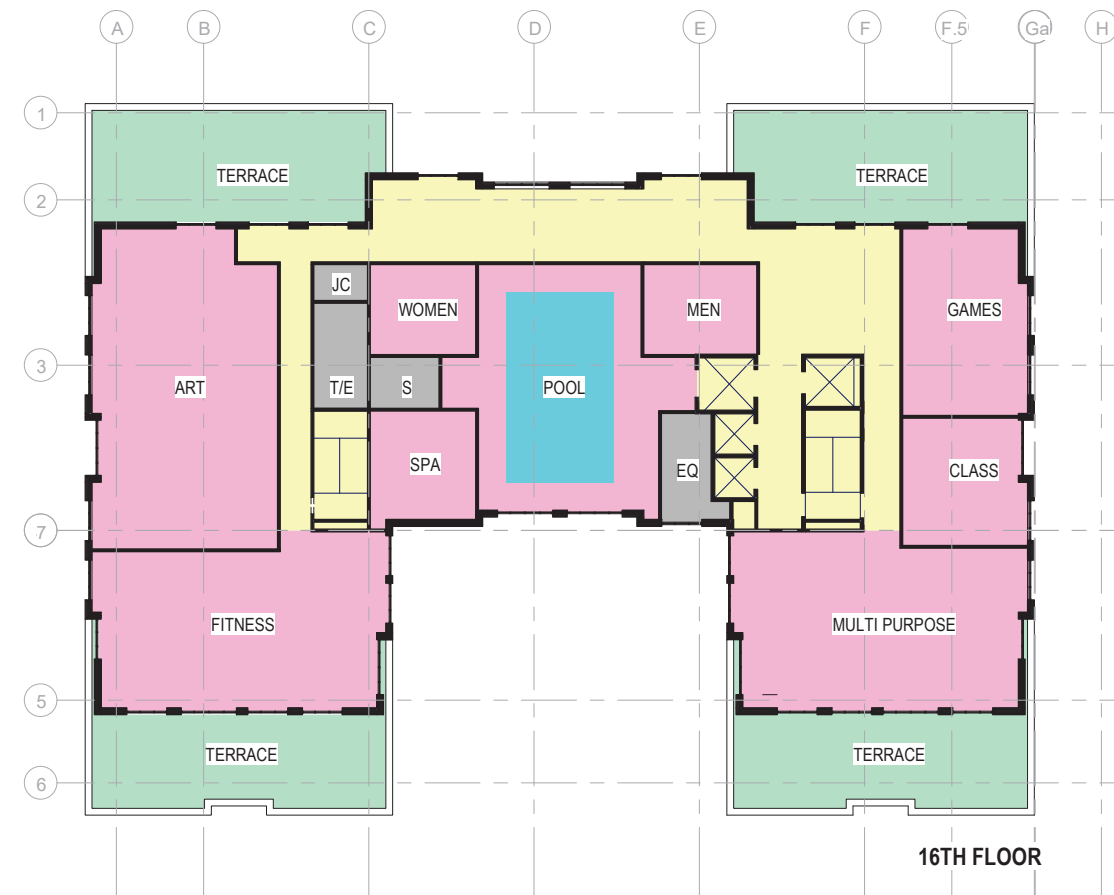


7TH FLOOR: ASSISTED LIVING AMENITY

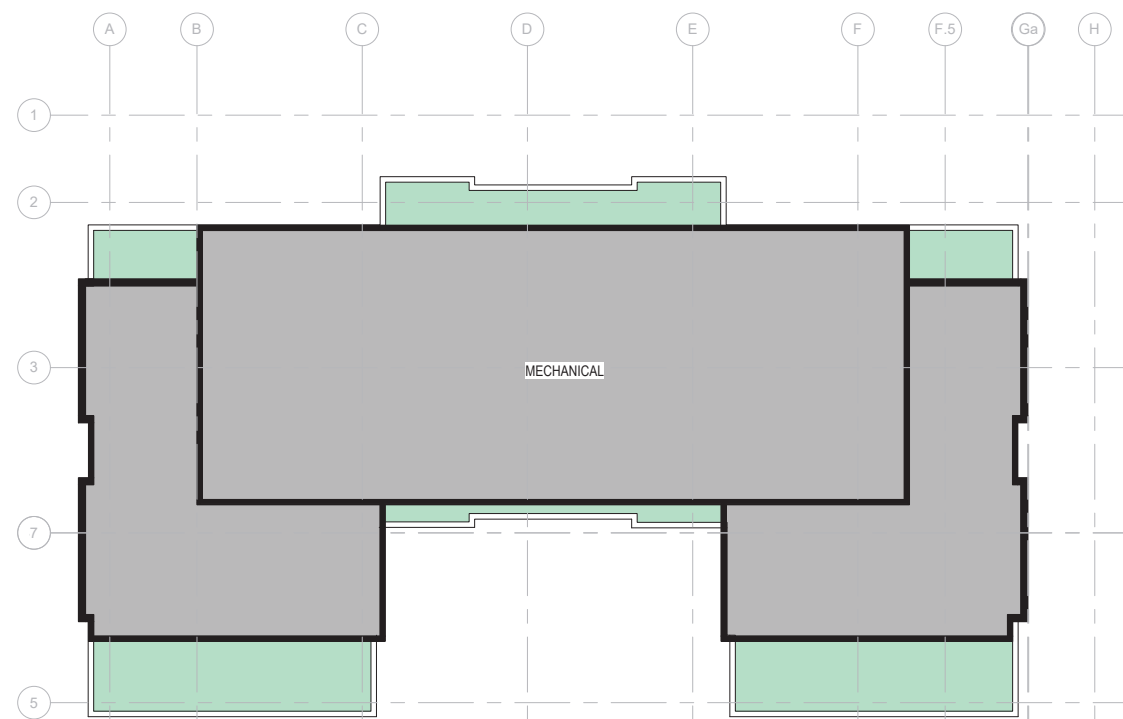




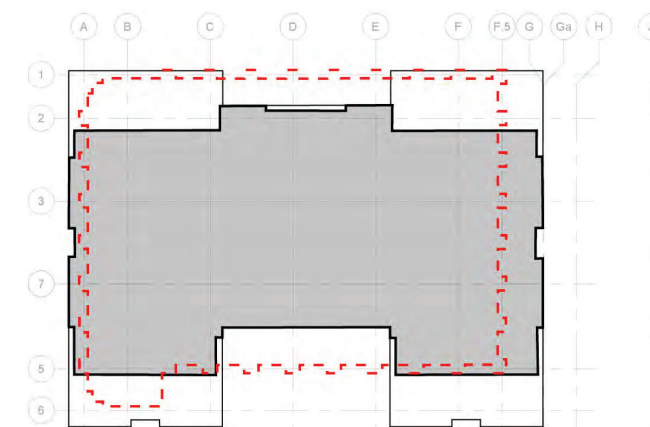
8TH-16TH FLOORS: ASSISTED LIVING



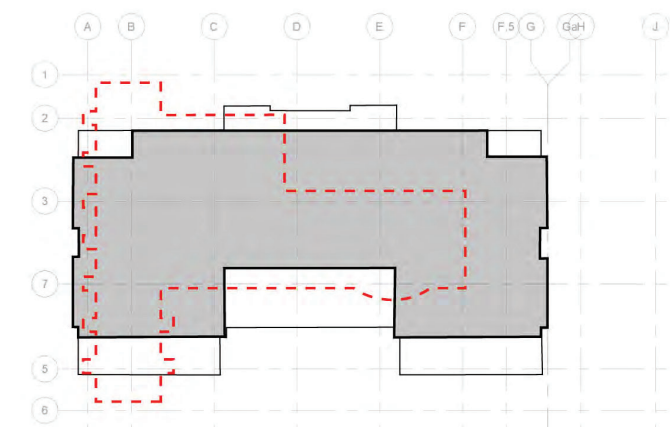
17TH FLOOR: PENTHOUSE AMENITY



18TH FLOOR: MECHANICAL PENTHOUSE



17TH FLOOR: PENTHOUSE



18TH FLOOR: MECHANICAL PENTHOUSE



Condition	Applicant Response
41. Each building to be constructed within the project area shall be included in a final site plan, meeting all applicable requirements of the city's then existing site plan ordinance and filed with the Department of T&ES, and no construction of any building may commence until a final site plan encompassing the building has been approved and released by the department.	Applicant acknowledges the need to comply with Condition 41. An existing Final Site Plan for Block P was approved and released on 6/28/2008, and will be amended consistent with the approved designs for Block P.
60. Upon issuance of this special use permit by city council under section 7-6-28(i) of the Alexandria City Code and so long as all conditions set out in this permit, including the conditions in ¶¶ III-62, -63, -64 and -65 below, and in the permit issued by council under section 7-6-25 of the City Code are satisfied, applicant shall be entitled to develop the project area in accordance with the following schedule of uses and "gross square footage," as that term is defined below:	The allocation of GSF in condition 60 reflects the original SUP approval and has not been revised to reflect the numerous subsequent amendments increasing office and reducing residential. Per SUP 2018-0039, the most recent approval for Block P, Block P is approved and planned for development of up to 371,886 gsf, consisting of 342,162 gsf of office, and 29,724 gsf of retail.
use office..... office with no more than one parking space per 1,000 gsf courthouse residential hotel retail and health club day care center total	Applicant's proposal for a revised design for both the South and North Towers of Block P, along with a corresponding approval by the City Council of an SUP Amendment to permit the conversion of approved office to an elderly housing use (classified as residential per the Carlyle SUP), shall result in a total level of development across the Carlyle SUP at or below the approved total maximum GSF.
"Gross square footage" shall mean the sum of all horizontal areas under a roof or roofs, measured from the exterior faces of walls or from the centerline of party walls, excluding (i) penthouses and other structures containing heating, cooling, ventilating and related equipment and not susceptible to storage or occupancy, (ii) areas used exclusively for the parking of motor vehicles and ancillary areas (e.g., elevator lobbies and shafts, and stairwells, serving such parking areas), whether above or below grade, (iii) attic space less than 7 feet, 6 inches in height, and (iv) areas dedicated solely to pedestrian	As proposed, Block P would be developed with 237,023 gsf of residential(elderly housing) development on the South Tower, and 138,502 gsf of office development with 12,025 gsf of retail on the North Tower, for a total of 387,550 gsf. This represents an increase of 15,664 gsf.
"skyswalks, arcades, tunnels and bridges" as identified on the preliminary plan for the PTO project, provided that all such connections across public streets shall be underground. In the event any of the conditions referenced above in this paragraph are not satisfied, this permit shall, unless otherwise provided by city council, become null and void as to all development	Per the Land Use Allocation Table (included as Attachment 1 to the Staff Report for SUP #2018-0039), the total allocated gsf for the entire Carlyle SUP is 6,888,222 gsf. Applicant's proposal would raise the total floor area allocated under the Carlyle SUP to 6,903,886 gsf, still below the 6,907,000 gsf originally approved.

within the project area on which construction has not commenced; provided, that it is understood and agreed that the United States of America (USA) as the owner of Lot 506 within the project area is not subject by law to the conditions herein, and that the failure of the USA as the owner of Lot 506 to comply with this Special Use Permit shall not void, nullify or otherwise invalidate the rights of the Applicant, its successors or assigns to develop the project area, in accordance with this Special Use Permit as amended. At such time, if ever USA conveys Lot 506 to a non-governmental entity, that the owner of the lot and the lot itself shall be subject to the provisions of this Special Use Permit, and the lot shall become a part of the owner's association for the lands subject to this Special Use Permit.	The gross square footage numbers in this condition are all maximum development levels and may be reduced on a block-by-block basis by the applicant as development progresses, notwithstanding the provisions of R-65, and so long as development remains consistent with the overall concept plan for the development and the block-by-block design guidelines, as determined by the Director of Planning and Community Development.
61. Upon the occurrence of any event identified in subparagraphs (a) through (g) below, applicant may request permission from city council to "transfer" gross square feet of development, up to the number of feet specified below for each "event," from the category of "residential" or "office with one parking space per 1,000 gsf" use (the "transferor use") to "office" use (the "transferee use"), subject to the provisions in ¶ III-62; provided, however, that no transfer may occur unless and until the "event" identified in subparagraph (a) occurs and Norfolk Southern has engaged in serious and constructive dialogue regarding the extension of the commuter rail line beyond Manassas as determined by the City Manager. Without council approval of a transfer request made under this paragraph, the transfer from "transferor" to "transferee" use shall not be undertaken. Council may deny a request made pursuant to this paragraph upon a finding that the increase in morning or afternoon peak hour traffic traveling to or from, respectively, the project area which will result from the requested transfer (i) exceeds the additional traffic-carrying capacity of the road system serving the project area which will result from the "event" and (ii) will have a significantly adverse effect upon the morning or afternoon peak	This condition was originally imposed to restrict the vehicle trip generation from office uses until certain improvements occurred. "Events" a through f and the USPTO development have occurred, so the restriction of this condition has become moot.

hour traffic conditions on that road system. In addressing the standard in the preceding sentence, council shall consider, in addition to all other evidence, a study, prepared by a qualified consultant who has been selected jointly by applicant and the city and who is compensated by applicant and the city or, at the city's discretion, solely by applicant, which analyzes and compares the traffic impacts of existing development within the project area and the "transferor" use without the "event," and the traffic impacts of such existing development and the "transferee" use with the "event." Council shall decide a request made pursuant to this paragraph within 60 days of the filing with the city of the consultant study and, if a decision has not been made within that period, the request shall be deemed approved, unless applicant consents to an extension of the 60-day period. "Events" and the maximum number of gross square feet which they will support are as follows:	
a. commencement of construction of the collector/distributor roadway described in III-40: 500,000 gsf	
b. commencement of construction of the Clermont interchange: 500,000 gsf commencement of construction of the widening of the Wilson Bridge: 500,000 gsf	
c. commencement of construction of the Clermont interchange: 500,000 gsf commencement of construction of the widening of the Wilson Bridge: 500,000 gsf	
d. commencement of construction of the extension of Metro to Springfield: 500,000 gsf	
e. commencement of construction of a flyover from westbound I-95 to Eisenhower Avenue at Stovall Street: 250,000 gsf	
f. initiation of commuter rail operations from Fredericksburg and Manassas to Alexandria: 250,000 gsf	
g. commencement of construction of Eastern Bypass to the Capital Beltway: 250,000 gsf	
This paragraph does not limit or affect in any other manner applicant's right to transfer "office" or "office	

with no more than one parking space per 1,000 gsf" use to "residential" use.	
Notwithstanding the foregoing, the applicant may transfer gross square feet of development, up to the number of feet specified for each event, from the category of residential or office with one parking space per 1,000 gsf use to office use, subject to the provisions in condition 62, provided that the General Services Administration selects Carlyle as the new location of the U.S. Patent and Trademark Office. Such transfers may occur regardless of whether the event identified in subparagraph a. above has occurred and shall not require further Council approval. (Amended SUP96-0092)	
62. Any transfer of square feet of development to "office" use pursuant to ¶ III-61 is subject to the following limitations and conditions:	We are not proposing any transfer of development to office use pursuant to ¶ III-61.
a. At the conclusion of all transfers authorized pursuant to R-61, the project shall not exceed the following schedule of uses and gross square footage:	For consistency, we can include in our SUP amendment application a request to adjust the maximum GSF as follows:
USE office..... courthouse residential* hotel retail and health club day care center Total.....	GSF office.....3,785,257 courthouse.....400,000 residential*.....2,273,531 hotel.....230,000 retail and health club.....210,598 day care center.....4,500 Total.....6,903,886 * Residential includes elderly housing Lipnick or other entity approved by the City)
* Residential includes elderly housing Lipnick or other entity approved by the City)	As discussed above, the overall development proposed for Block P is consistent with the original approval for the Carlyle SUP, and the increase of 15,664 sf is consistent with the provisions of 12-600(B)(5) governing an amendment to the Carlyle SUP.
63. Minor revisions to the project area's Plan of Development, as authorized by this special use permit, may be approved by the Directors of T&ES and Planning and Community Development. Major revisions to the Plan of Development may only be approved by city council. The determination whether a proposed plan revision is a "major" or "minor" revision shall be made by the Directors of T&ES and Planning and Community Development; provided, that neither a transfer, request made under ¶ III-61, nor the changes to applicant's original Plan of Development which are necessary to bring it into conformity with the schedule in ¶ III-60 shall be	The Applicant's proposed changes include a "significant change in the use of a building," therefore it may be deemed a "Major" revision and subject to review by City Council. This would be consistent with the intent to submit an application for an amendment to the existing SUP for Carlyle.
b. The penthouse may exceed 15 feet in height with the approval of the Design Review Board but shall not exceed 22 feet in height without an amendment to this special use permit, except that penthouses on the PTO buildings may be up to 22' in height.	
c. The penthouse must be limited in size to the minimum space required to house necessary mechanical equipment and to provide access for maintenance of such equipment; and	
d. No equipment may be placed above the roof of the penthouse to increase its height if such equipment could be located elsewhere on the building.	
101. Parking built above grade shall be set back a minimum of 30 feet from the exterior building walls of the first and second floor of the street frontage where commercial or retail uses are required at grade, except along John Carlyle Street and Elizabeth Lane, where the setback shall be a minimum of 22'. Where residential uses are required, the setback shall be the reasonable depth of a residential unit, as determined by the Director of P&Z. Blocks M, and N shall be exempt from this requirement along the Eisenhower Avenue street frontage in conjunction with the PTO project, if the garages facing Eisenhower Avenue are designed of high quality materials consistent with the other buildings in Carlyle, and with openings and other architectural treatments approved by the Carlyle Design Review Board.	Applicant proposes no changes to that portion of the building design previously approved by the DRB on May 9, 2007, which resulted in a determination (see Condition 5 of the May 9, 2007 DRB approval) that "the SUP requirement for parking setbacks along Eisenhower Ave and John Carlyle St will be deemed not to apply."

deemed a major revision under this paragraph. In making this "major or minor" determination, the Directors shall be guided by the following criteria:	
a. any significant change in the use of a building shall be a "major" revision	
b. any significant change to a building footprint, including one which reduces the footprint, shall be a "major" revision	
c. any significant increase to a building envelope shall be a "major" revision	
d. any significant increase to the square footage of a building shall be a "major" revision	
Notwithstanding any other provision in this permit to the contrary, in approving a "major" revision to the Plan of Development which is requested by applicant, city council may, in its sole discretion, adopt other revisions to the development plan, including to the terms and conditions in this permit; provided, that, prior to any council approval of a "major" revision, applicant shall have the opportunity to withdraw its request for the revision.	
68. For all blocks within Carlyle, the Design Review Board:	Acknowledged.
a. shall approve the final design of each building to be constructed on the blocks or portions thereof, including but not limited to materials, color and architectural elements, and, in so doing, shall ensure that the design meets all applicable design guidelines in Plan of Development and the urban design policies stated below in this paragraph; and	
b. may approve minor changes sought by applicant to the design guidelines applicable to the blocks or portions thereof, but may not approve any increase in the height or gross square footage of any building or buildings to be constructed on the blocks or portions thereof or any change in the use or the square footage of any use approved for the blocks or portion thereof.	
The urban design policies applicable under this paragraph are as follows:	

* buildings should be oriented toward the street and designed to have a human scale at street level;	
* building design should encourage street vitality by maximizing activity along the street and by creating many openings onto the street;	
* buildings should be articulated vertically, as well as horizontally, in order to break up their mass;	
* building entrances and lobbies should be given architectural prominence; and	
* each building shall be compatible with and enhance the design of adjacent buildings and all other development within the project area.	
70A. The development of Block P shall be consistent with the Design Guidelines dated 11/19/2009, the special use permit conditions contained herein, the approved transportation management plan, all applicable approvals and the following:	70A.I. The retail pavilion referred to in 70A.I. no longer exists; this was a proposed building that was shown across John Carlyle Street to the east on land that is now within Eisenhower East.
e. The amount of retail square footage shall continue to be 29,724 sq. ft. and the retail space shall comply with the following:	The Applicant's SUP Amendment proposal includes a reduction in potential retail for Block P, as the ground level of the proposed senior living building will be used for the senior living use on the South Tower, while being designed to mimic the appearance of active retail uses. 12,025 gsf of retail remains on the North Tower.
i. A minimum of 15 ft. clear interior heights.	Accordingly, Applicant will request an amendment to condition 70A.e. to reflect this revised number. There are no proposed changes to 70A.e. i through iii.
ii. A minimum depth of 40 ft. on John Carlyle Street and 60 ft. on Eisenhower Avenue.	Applicant shall comply with relevant provisions of Condition 70A.f through h. No changes are proposed to the existing approved garage screening. See also Condition 101 response below.
iii. A portion of the retail space shall incorporate venting systems required for food preparation, exhaust vent shafts and grease traps, service corridors/areas to not preclude the provision for retail and/or restaurant uses.	Condition 70A.I is no longer possible, as the proposed retail pavilion was planned for a portion of Block P that was transferred to Block 32 and the EESAP.
f. The above grade parking on Eisenhower Avenue shall be setback a minimum of 30 ft and John Carlyle Street shall be setback a minimum of 22 ft. from the exterior building walls of the first and second floor of the street frontage.	
g. The above grade parking on Hooff's Run Drive shall be architecturally treated to be in harmony with the overall building design and to screen interior lights, ceiling pipes, exposed row concrete etc.	
h. The screening of the parking garages on John Carlyle and Eisenhower Avenue shall	

be revised pursuant to Condition #102 contained herein.	
i. The height of retail pavilion shall be 30 ft. tall to comply with condition # 76 as contained herein.	
73A. Buildings shall be predominantly masonry (brick, stone, cast stone, precast) and predominantly with punched windows.	Acknowledged. Final DRB submission will demonstrate compliance.
76. At the build-to line, all buildings facing Duke Street, Holland Lane, Eisenhower Avenue, Second Street, Fountain Court and Retail Square shall be at least three stories. At the build-to line, all other buildings in the project area shall be at least two stories. The requirements of this paragraph shall not apply where the design guidelines are revised by City Council to modify streetwall requirements. (Amended SUP94-374).	Acknowledged. Submitted building designs comply with this requirement.
77. Within the project area, except along Eisenhower Avenue for the garages on the PTO property, the maximum uninterrupted streetwall length, without recesses or ground floor setbacks, shall be 150 feet, unless approved by the Director of Planning and Zoning.	Acknowledged. Submitted building design complies.
92. Prior to the release of any final site plan, applicant shall discuss with the city's Chief of Police, or his designee, any security concerns of the Police Department and shall implement all reasonable security measure recommended by the chief or his designee.	Police comments were reviewed and addressed as part of review of FSP released 06-22-2008 and amended 01-10-2012. Police comments will be solicited with final site plan amendment.
93. No final site plan for the project area shall be released until the Chief of Police has reviewed the adequacy of the security measures to be undertaken in conjunction with the development proposed in the site plan	Police comments were reviewed and addressed as part of review of FSP released 06-22-2008 and amended 01-10-2012. Police comments will be solicited with final site plan amendment.
94. Prior to the issuance of certificates of occupancy for 1 million gross square feet of development within the project area, applicant shall provide at least 800 net square feet of space within a building, which is located within the project area and is satisfactory to the Chief of Police, for use as a "store front facility" by the Police Department.	The Police Department has previously been offered and rejected the space, on or before issuance of certificates of occupancy for 1 million gross square feet. This Condition has not been a part of any previous approval for Block P.
97. Rooftop mechanical penthouses shall be permitted subject to the following limitations:	Acknowledged.
a. Only one penthouse is permitted for each building unless the number is increased by the Design Review Board, except that three separate penthouses shall be permitted for the main PTO building, one on the main tower and one on each wing of the tower.	