



Special Use Permit # \_\_\_\_\_

The following information must be furnished to the Department of Planning and Zoning to determine if the current use conducted on the premises complies with the special use permit provisions and all other applicable codes and ordinances.

1. Please describe prior special use permit approval for the subject use.

Most recent Special Use Permit # SUP2075

Date approved: \_\_\_\_\_ / 02/28/1988 / \_\_\_\_\_  
month                      day                      year

Name of applicant on most recent special use permit GOLDEN ARCH REALTY

Use EXTERIOR SITE CHANGES

2. Describe below the nature of the *existing* operation *in detail* so that the Department of Planning and Zoning can understand the nature of the change in operation; include information regarding type of operation, number of patrons served, number of employees, parking availability, etc. (Attach additional sheets if necessary.)

ADDING A DRIVE THRU AND CANOPY OVER THE THIRD DRIVE THRU WINDOW,  
UPDATING THE ADA ON SITE AND ADDING A NEW ADA SIDEWALK

\_\_\_\_\_  
\_\_\_\_\_  
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Special Use Permit # \_\_\_\_\_

3. Describe any proposed *changes* to the business from what was represented to the Planning Commission and City Council during the special use permit approval process, including any proposed changes in the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, any noise emitted by the use, etc. (Attach additional sheets if necessary)

**NO CHANGES TO THE NUMBER OF EMPLOYEES. PARKING WILL BE REDUCED FROM 30 TO 21 WITH 13 BEING THE REQUIRED AMOUNT**

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Special Use Permit # \_\_\_\_\_

4. Is the use currently open for business?  Yes  No

If the use is closed, provide the date closed. \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_  
month day year

5. Describe any proposed changes to the conditions of the special use permit:  
**ADDING A DRIVE THRU AND CANOPY OVER THE THIRD DRIVE THRU WINDOW,  
UPDATING THE ADA ON SITE AND ADDING A NEW ADA SIDEWALK**

6. Are the hours of operation proposed to change?  Yes  No  
If yes, list the current hours and proposed hours:

Current Hours:  
**EXISTING AND UNCHANGED**

Proposed Hours:  
**EXISTING AND UNCHANGED**

7. Will the number of employees remain the same?  Yes  No  
If no, list the current number of employees and the proposed number.

Current Number of Employees:

Proposed Number of Employees:

8. Will there be any renovations or new equipment for the business?  Yes  No  
If yes, describe the type of renovations and/or list any new equipment proposed.  
**YES, DURING THE INTERIOR REMODEL WE WILL BE UPDATING AND ADDING  
NEW KITCHEN EQUIPMENT TO THE STORE.**

9. Are you proposing changes in the sales or service of alcoholic beverages? \_\_\_\_\_ Yes  No  
If yes, describe proposed changes:

Special Use Permit # \_\_\_\_\_

10. Is off-street parking provided for your employees?  Yes  No  
If yes, how many spaces, and where are they located?

\_\_\_\_\_  
\_\_\_\_\_

11. Is off-street parking provided for your customers? \_\_\_\_\_ Yes  No  
If yes, how many spaces, and where are they located?

\_\_\_\_\_  
\_\_\_\_\_

12. Is there a proposed increase in the number of seats or patrons served?  Yes  No  
If yes, describe the current number of seats or patrons served and the proposed number of seats and patrons served. For restaurants, list the number of seats by type (i.e. bar stools, seats at tables, etc.)

Current:

Proposed:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

13. Are physical changes to the structure or interior space requested?  Yes  No  
If yes, attach drawings showing existing and proposed layouts. In both cases, include the floor area devoted to uses, i.e. storage area, customer service area, and/or office spaces.

14. Is there a proposed increase in the building area devoted to the business?  Yes  No  
If yes, describe the existing amount of building area and the proposed amount of building area.

Current:

Proposed:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. The applicant is the (check one)  Property owner  Lessee

other, please describe: \_\_\_\_\_

16. The applicant is the (check one) \_\_\_\_\_ Current business owner \_\_\_\_\_ Prospective business owner

other, please describe: **CURRENT BUSINESS OWNER**

Special Use Permit # \_\_\_\_\_

17. Each application shall contain a clear and concise statement identifying the applicant, including the name and address of each person owning an interest in the applicant and the extent of such ownership interest. If the applicant, or one of such persons holding an ownership interest in the applicant is a corporation, each person owning an interest in excess of ten percent (3%) in the corporation and the extent of interest shall be identified by name and address.

For the purpose of this section, the term "ownership interest" shall include any legal or equitable interest held in the subject real estate at the time of the application. If a nonprofit corporation, the name of the registered agent must be provided.

Please provide ownership information here:

**GOLDEN ARCH REALTY CORP - MCDONALDS CORPORATION PO BOX  
182571COLUMBUS OH 43218-2571**

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## FOR YOUR INFORMATION

### Special Use Permits Eligible for Administrative Approval

Certain uses of land that have potentially negative impacts on surrounding properties require special use permit approval from City Council. The City Council may impose conditions on the operation of the special use in order to protect the health, safety and welfare of the surrounding area. For new uses and for intensifications or amendments of existing uses, the Planning Commission and City Council conduct public hearings and decide whether to approve the request. The Director of Planning and Zoning, however, may approve a special use permit administratively if it is only a change in ownership or a minor amendment of a previously approved special use permit.

### Special Use Permit for Change of Ownership

If the existing special use permit for an operation restricts the ownership of the use, a prospective owner may not take ownership of the operation until he receives special use permit approval for the change of ownership. Pursuant to Section 11-503, the director may approve the change and transfer the special use permit to a new owner, if the following conditions apply:

- 1) The applicant is not requesting a change in the conditions of the special use permit;
- 2) there have been no substantiated violations of the special use permit conditions;
- 3) there are no changes proposed or anticipated in the operation of the use involved;
- 4) the director has concluded that no new conditions or no amendments to existing conditions are necessary; and
- 5) following notice of the application in a newspaper of general circulation in the City, no person has requested that the director forward the application to the Planning Commission or City Council.

If the application does not meet any one of the above conditions, it must be docketed for the next available Planning Commission and City Council public hearings. If the Director approves a special use permit for change in ownership, the new owner must sign an agreement stating that he/she will to continue to comply with the special use permit conditions.

### Special Use Permit for Minor Amendment

Pursuant to Sections 11-509 and 11-511 of the zoning ordinance, the director may approve minor amendments to approved special use permits. Only changes that constitute no more than a minimal enlargement or extension of the special use permit or that are so insignificant they will have little or no zoning impact on the surrounding neighborhood are eligible for administrative approval. If a change will intensify the use, it requires Planning Commission and City Council approval. Changes that intensify a use include any increase in the following:

- 1) Hours of operation;
- 2) number of seats;
- 3) number of employees; visitors of customers; or
- 4) number of vehicle trips generated.

The Director may not administratively approve minor amendments if any of the following apply:

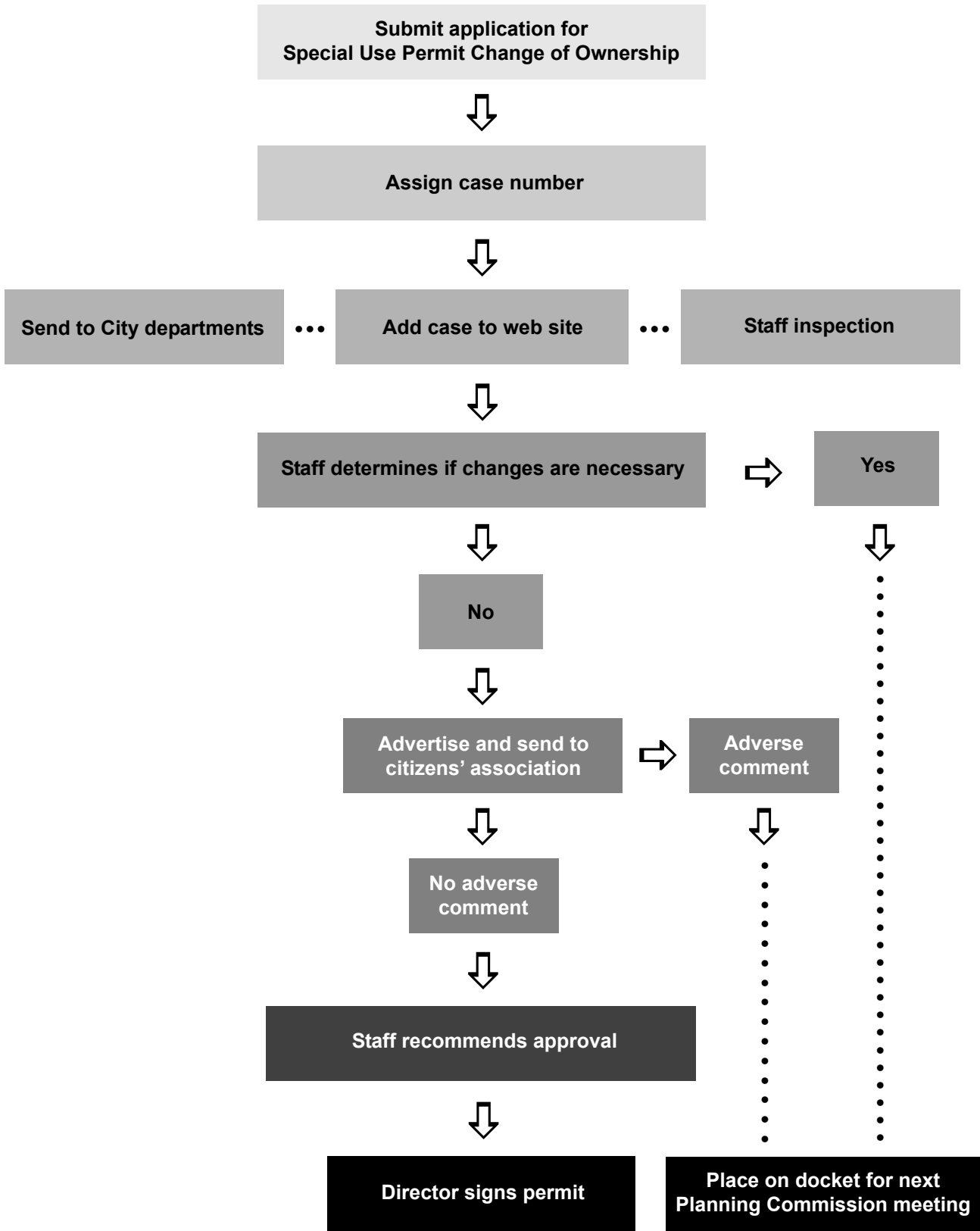
- 1) He/She has received written or oral complaints that the use is in violation of the zoning ordinance;
- 2) at the time the special use permit was approved, opposition was presented to the Planning Commission or City Council; or
- 3) new conditions or amendments to existing conditions are necessary.

Notice of the application is published in a newspaper of general circulation in the City and is sent to docket subscribers.

### Approval Process

For both change in ownership and minor amendment special use permits, the approval process generally takes between four and six weeks from the time an application is submitted. During that time, staff will review the application, inspect the subject property for compliance with special use permit conditions and advertise the proposed change in the newspaper to provide an opportunity for citizens to comment on the change and, in the case of minor amendments, send notice to the Planning Commission and City Council members. If the Director determines that the Planning Commission and City Council must consider the application, he/she will docket the application for the next available Planning Commission and City Council hearings. At that time, the Director may require additional information regarding the application.

# PROCESS FLOW CHART: Change of Ownership SUP

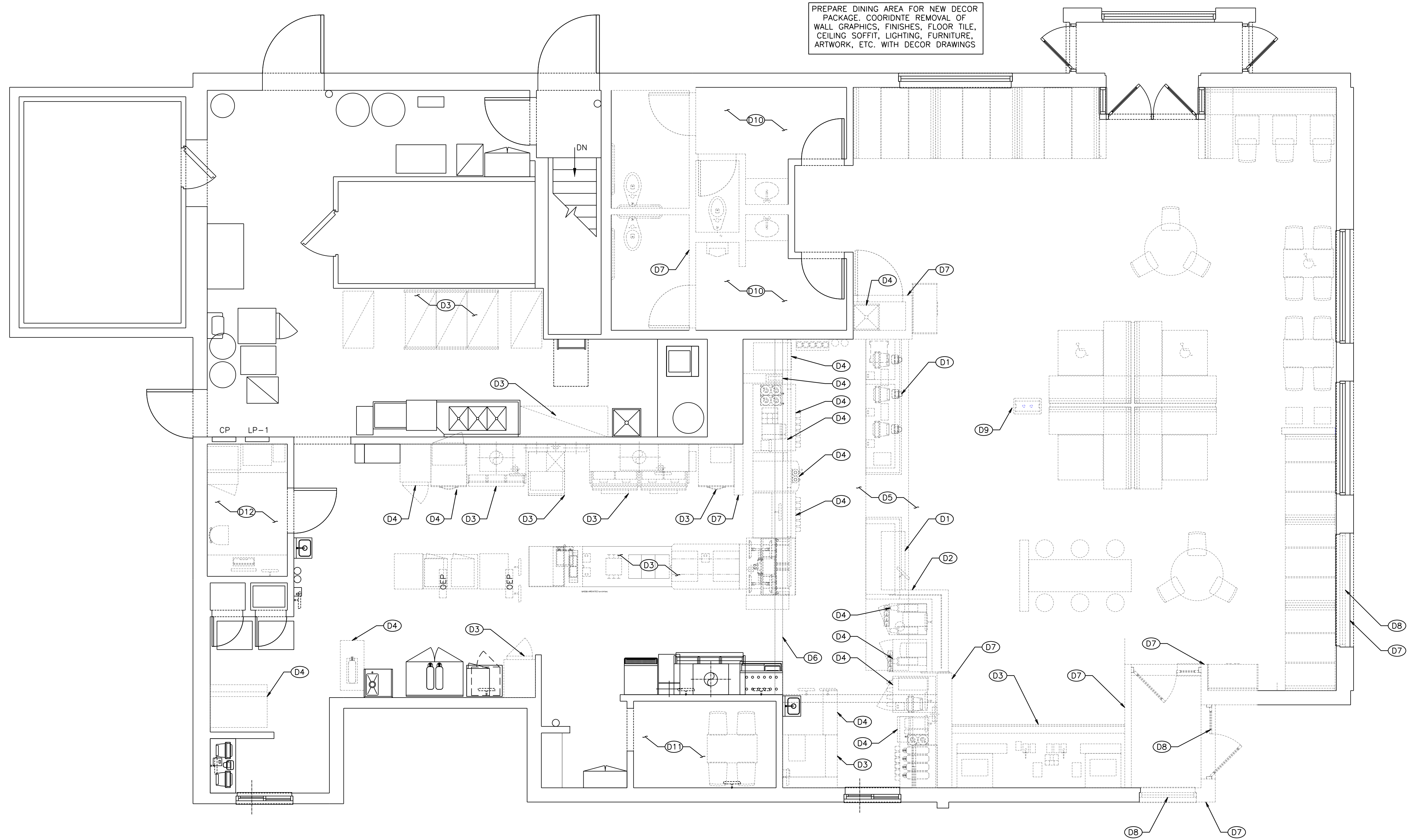






**DEMOLITION NOTES:**

- D1 REMOVE EXISTING FRONT AND PICK UP COUNTERS
- D2 REMOVE EXISTING CBB WALL/FINISHES AS REQUIRED
- D3 EXISTING EQUIPMENT TO BE REMOVED - VERIFY W/ OPERATIONS MANAGER AND KES PLANS
- D4 EXISTING EQUIPMENT TO BE RELOCATED - VERIFY W/ KES PLANS
- D5 REWORK EXISTING FLOOR TILE AS REQUIRED FOR NEW FRONT COUNTER LOCATION - SEE B1.0
- D6 EXISTING SOFFIT TO BE REMOVED AS SHOWN
- D7 EXISTING WALL TO BE REMOVED/REWORKED AS NEEDED- SEE B1.0
- D8 REMOVE EXISTING STOREFRONT AND GLAZING
- D9 EXISTING KIOSK TO BE RELOCATED - SEE B1.0
- D10 EXISTING RESTROOM FIXTURES AND FINISHES TO BE REMOVED
- D11 EXISTING CREW ROOM FURNITURE AND FINISHES TO BE REMOVED
- D12 PREPARE OFFICE FOR NEW OFFICE PACKAGE



1  
D1.0 DEMOLITION FLOOR PLAN  
1/4" = 1'-0"

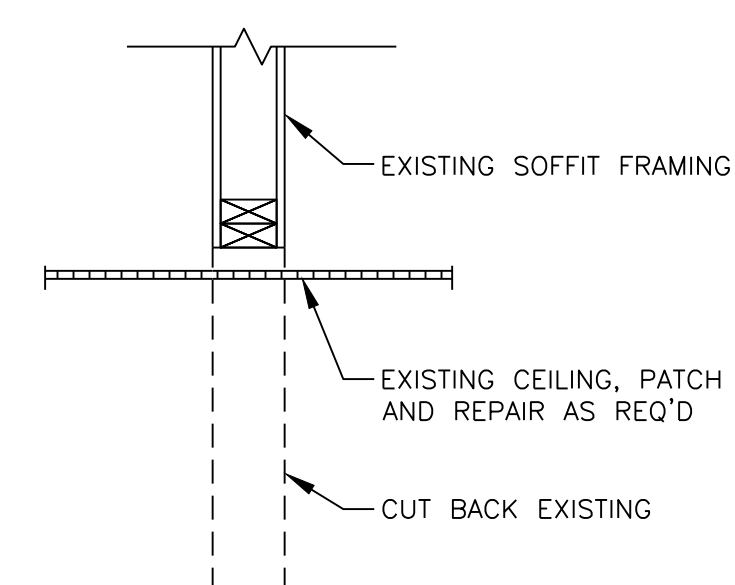
**GENERAL NOTES:**

1. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.

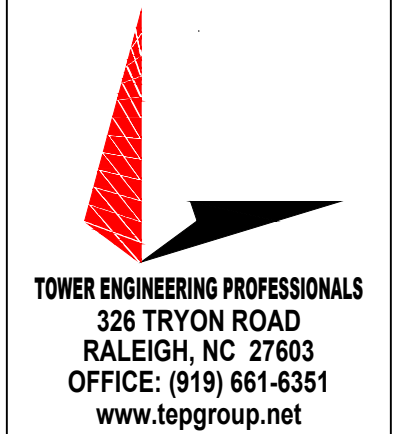
7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
11. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE MCDONALD'S AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.
12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

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15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

2  
D1.0 SOFFIT REMOVAL DETAIL  
1" = 1'-0"



REV	DATE	DESCRIPTION
0	04/09/2024	

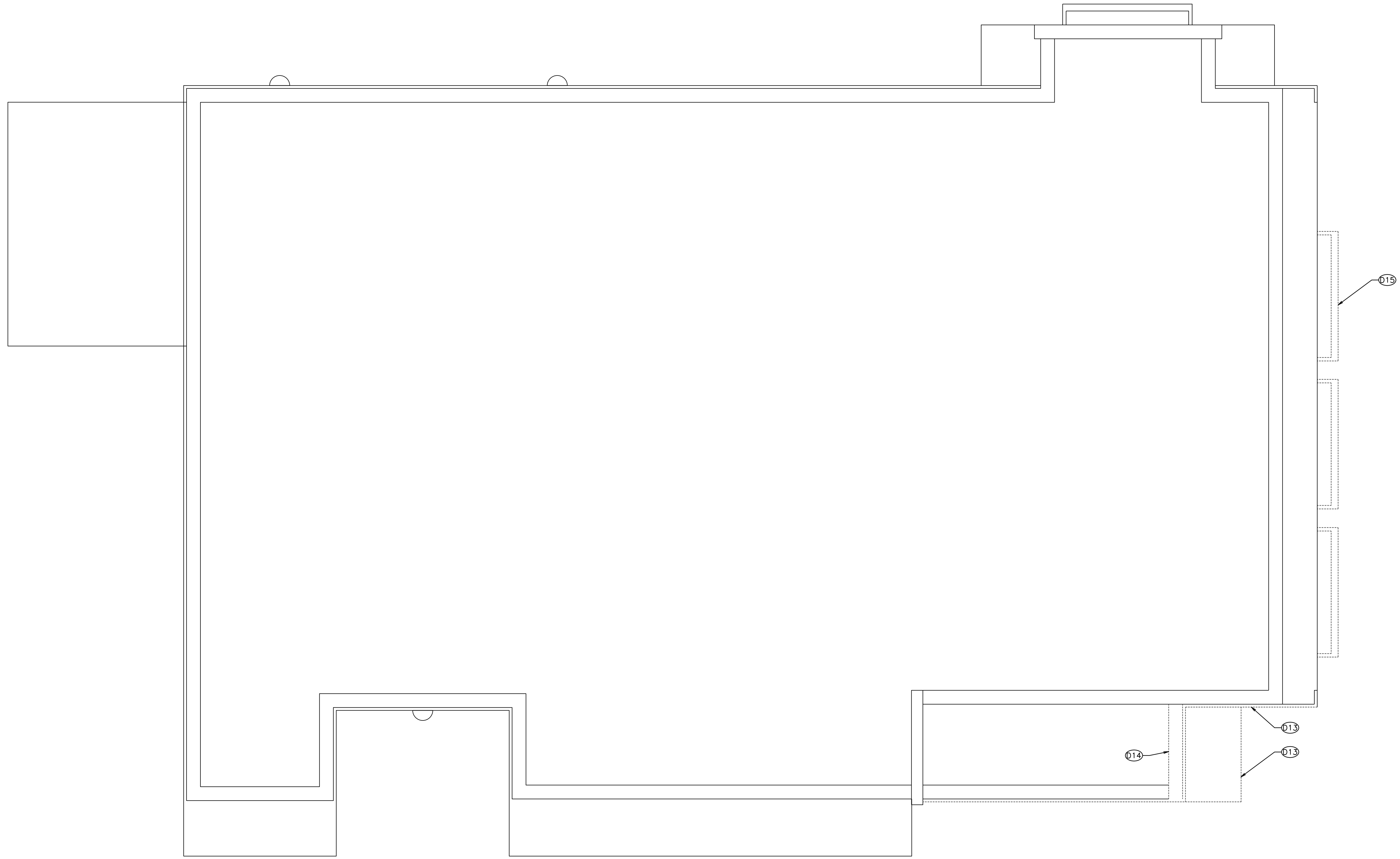


PREPARED FOR:  
**McDonald's USA, LLC**  
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DRAWN BY DJA	TEP PID NO. -	REVIEWED BY FTH	DATE ISSUED 04/09/2024
TITLE ALEXANDRIA - DUKE ST	DESCRIPTION CONSTRUCTION DRAWINGS	SHEET NO. D1.0	DEMOLITION FLOOR PLAN
SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304		45-0002	

DEMOLITION NOTES:

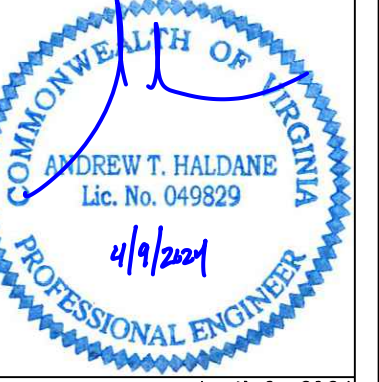
- 013 REMOVE EXISTING CANOPY AND TRELLIS BAND
- 014 REMOVE EXISTING PARAPET WALL
- 015 REMOVE EXISTING AWNING



1  
D1.0 DEMOLITION ROOF PLAN  
1/4" = 1'-0"

REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

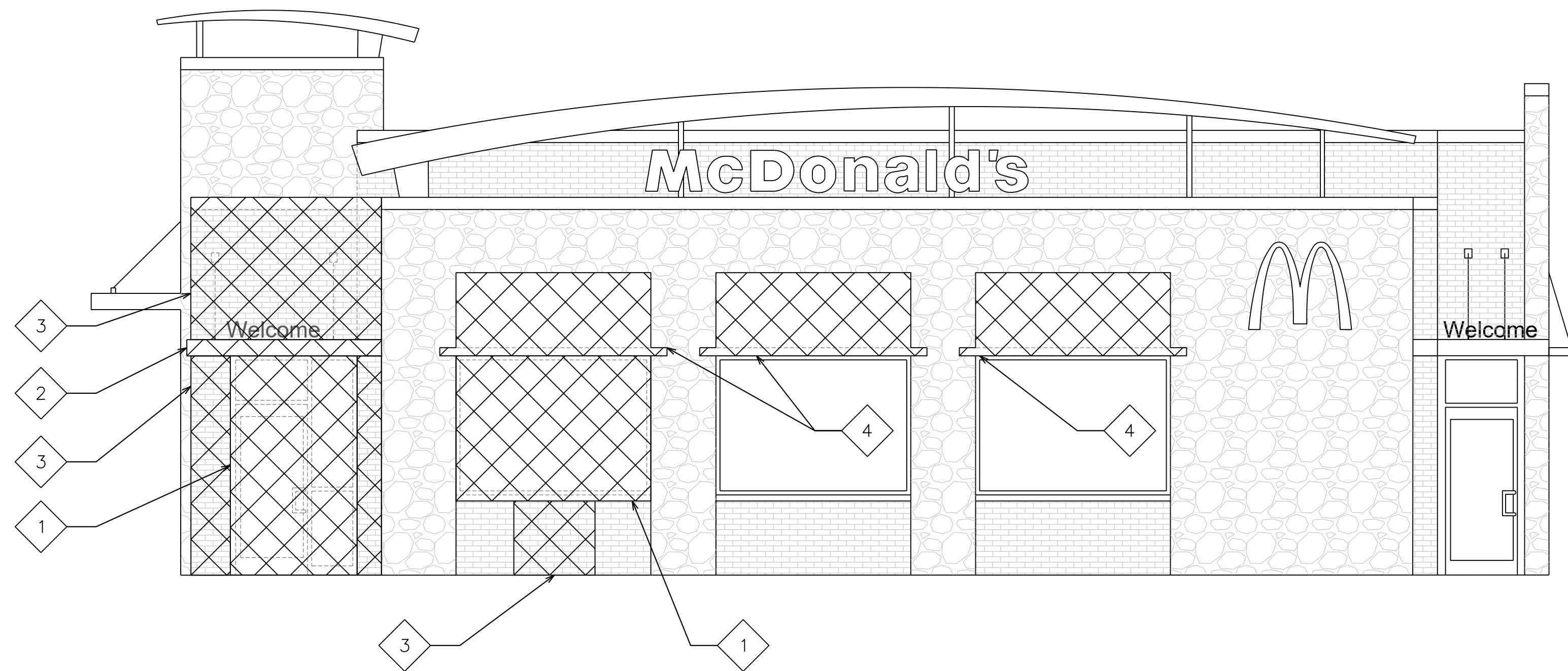
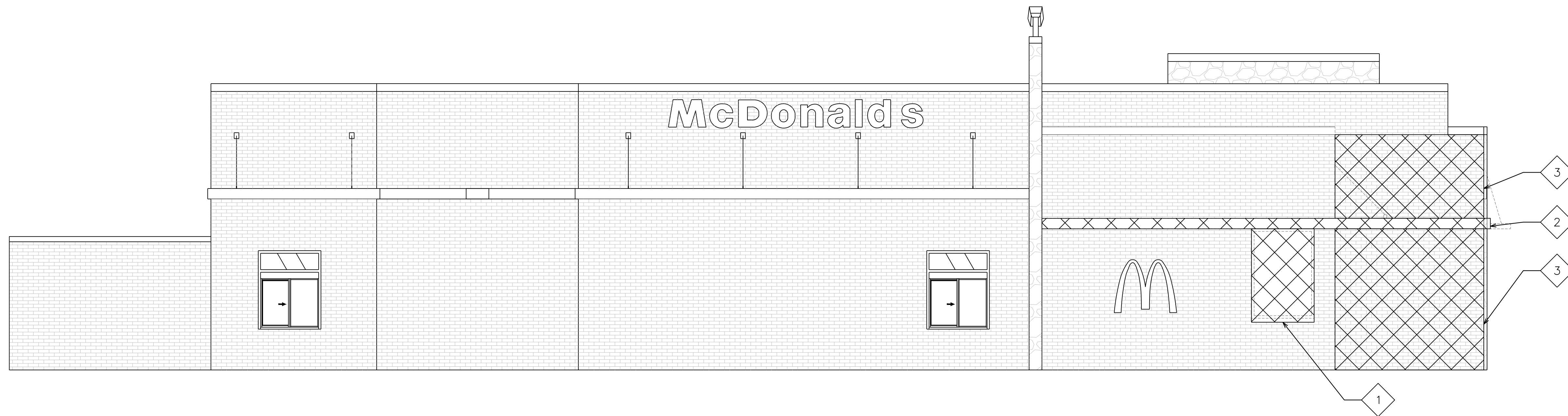
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net



April 9, 2024

PREPARED FOR:  
**McDonald's USA, LLC**  
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DRAWN BY DJA	TEP PID NO. -	REVIEWED BY FTH	DATE ISSUED 04/09/2024	TITLE
				ALEXANDRIA - DUKE ST
DESCRIPTION CONSTRUCTION DRAWINGS				SITE ID 45-0002
SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304				SHEET NO. D1.1
DEMOLITION ROOF PLAN				



1 DRIVE THRU ELEVATION  
D2.0 1/4" = 1'-0"

DEMOLITION NOTES:



DEMOLITION KEY NOTES:

- 1 REMOVE STOREFRONT AND GLAZING
- 2 REMOVE CANOPY/TRELLIS BAND
- 3 REMOVE EXISTING BRICK VENEER AND FRAMING
- 4 REMOVE EXISTING AWNING

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15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

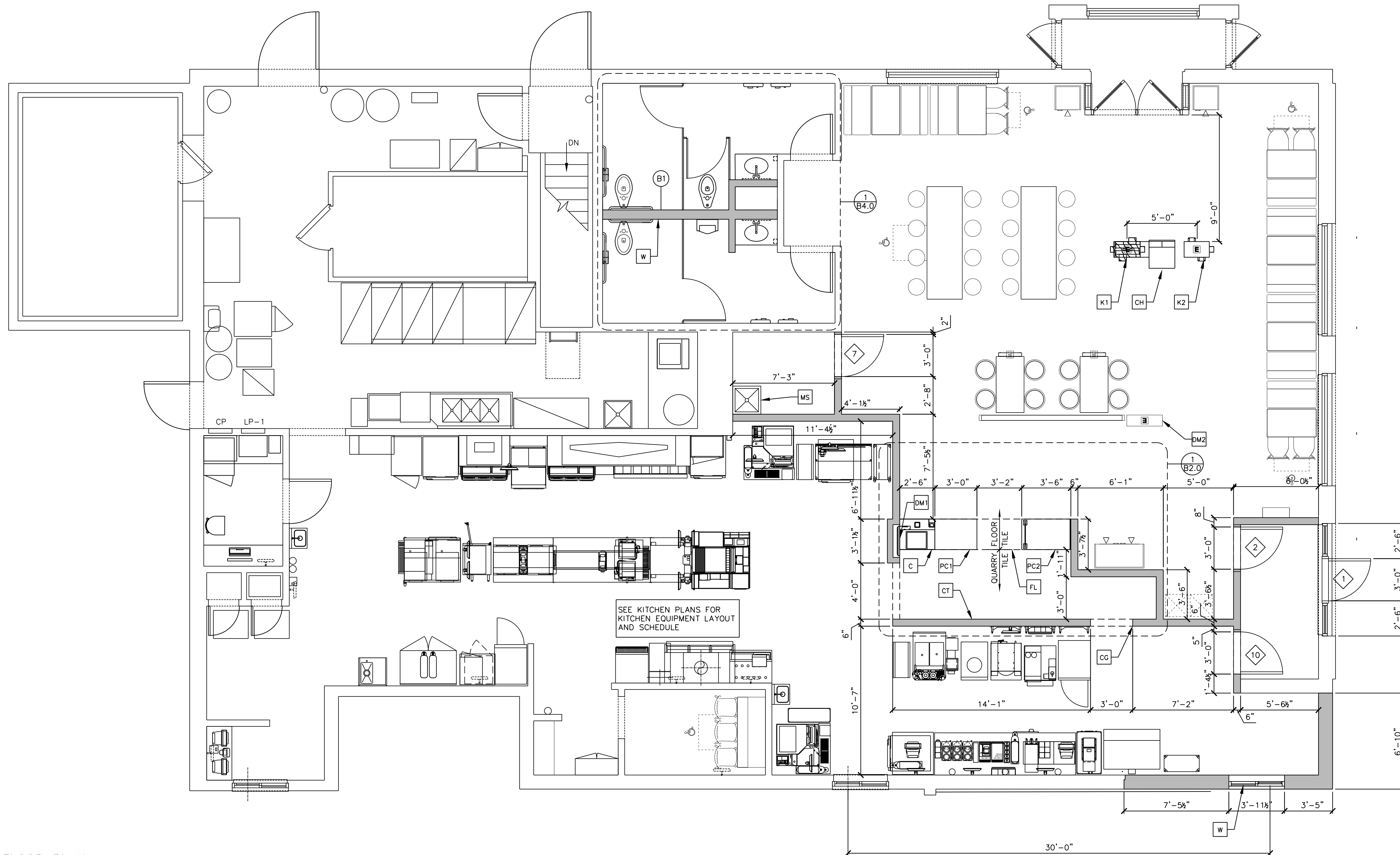
REV	DATE	DESCRIPTION
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**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net

COMMONWEALTH OF VIRGINIA  
ANDREW T. HALDANE  
Lic. No. 049829  
PROFESSIONAL ENGINEER  
4/9/2024

PREPARED FOR:  
**McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.

DRAWN BY DJA	TEP PID NO. -	REVIEWED BY FTH	DATE ISSUED 04/09/2024
TITLE ALEXANDRIA - DUKE ST		DESCRIPTION CONSTRUCTION DRAWINGS	
SHEET NO. D2.0		SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304	



1 FLOOR PLAN  
1/4" = 1'-0"

**GENERAL NOTES:**

- EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FOUNDATION UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
- SEE 2/B1.0 FOR INTERIOR PARTITIONS. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- SEE B4.0 FOR RESTROOM WALL PARTITIONS
- SEE CV SHEET AND DECOR PLANS FOR ROOM FINISH SCHEDULES
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 ,NEW ROCHELLE, NY 10802 www.forrestpermosigns.com
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVINGS, ETC. FOR PROPER INSTALLATION HEIGHTS.
- REFERENCE CURRENT ADA REPORT FOR ADDITIONAL ITEMS NOT SPECIFICALLY ADDRESSED WITHIN PLANS

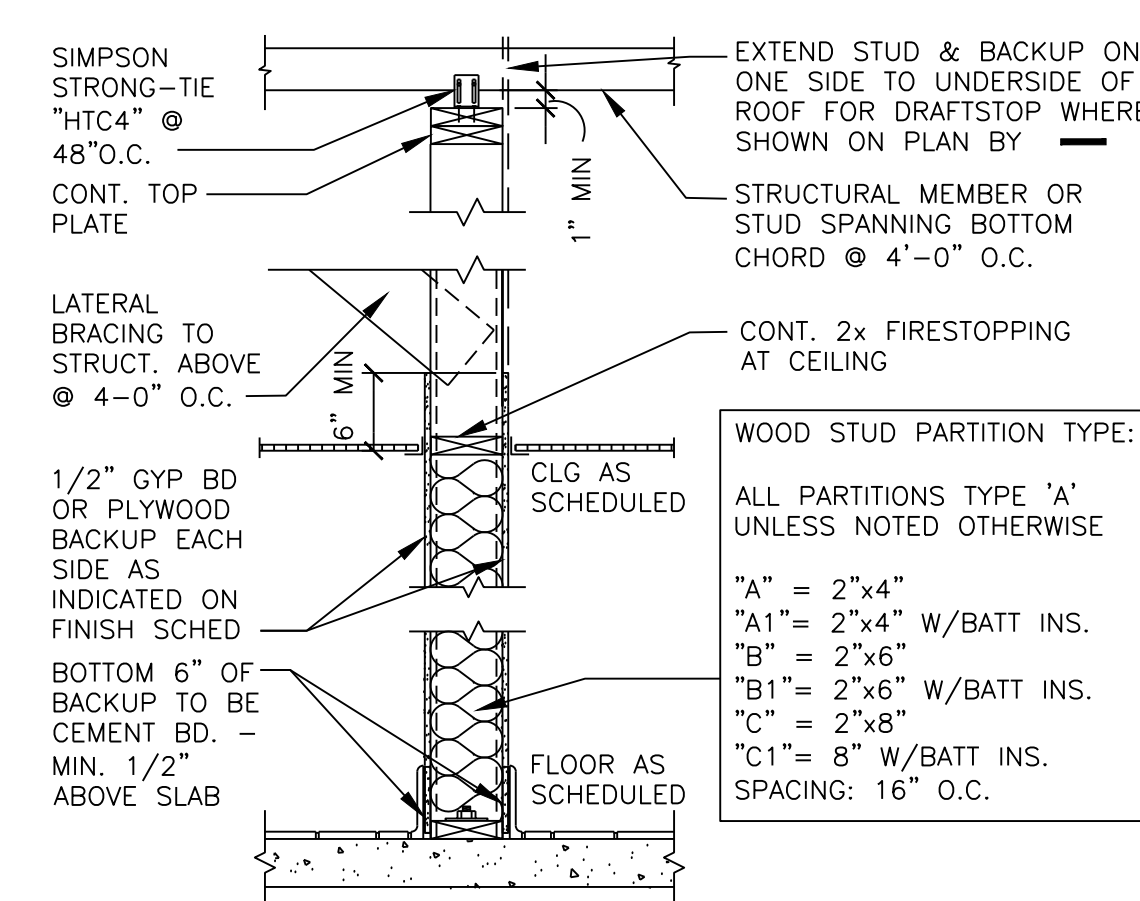
**KEY NOTES**

- \*\* COORDINATE ALL FINISHES WITH McDONALD'S ACM PRIOR TO INSTALLATION
- C NEW SAO SERVICE POD
  - CGC G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING. BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER
  - CT DARK PORCELAIN WALL TILE: EUROWEST  
COLOR: NOIR 4"x12" PATTERN: STACK BOND  
GROUT: MAPEI - ULTRACOLOR PLUS FA 47 CHARCOAL -JOINT TO BE 1/16" MAX.
  - DM1 NEW DIGITAL MERCHANDISER
  - DM2 NEW FREE STANDING DIGITAL MERCHANDISER
  - FL FLOOR LINE - CHANGE IN MATERIAL, MATCH EXISTING. VERIFY EXACT LOCATION WITH ACM.
  - PC1 NEW 3'-0" PICK-UP COUNTER
  - PC2 NEW 42" UNASSISTED PARTIAL INFILL PICK-UP COUNTER
  - W CONSTRUCT FULL HEIGHT WALL - MATCH EXISTING ADJACENT FINISHES

**SYMBOL LEGEND**

- (A) PARTITION TYPE TAG SEE 2/B1.0
- (X) KEY NOTE - NOT ALL APPLY
- DENOTES NEW WALL

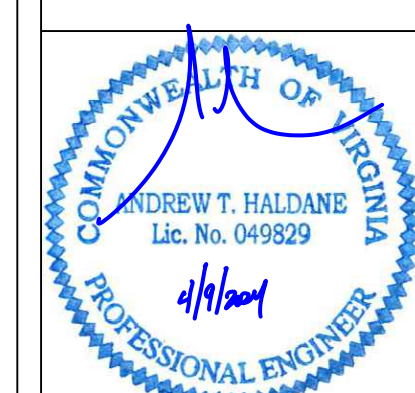
- K1 RELOCATE EXISTING KIOSK - VERIFY PLACEMENT PER USRO
- K NEW DS KIOSKS - VERIFY PLACEMENT PER USRO
- CH ESE CASH HANDLER



2 INTERIOR PARTITION  
3/4" = 1'-0"

REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

**TOWER ENGINEERING PROFESSIONALS**  
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RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
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April 9, 2024

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PREPARED FOR:	McDonald's USA, LLC
DRAWN BY:	DJA
TEP PID NO.:	
REVIEWED BY:	FTH
DATE ISSUED:	04/09/2024
TITLE:	ALEXANDRIA - DUKE ST
DESCRIPTION:	CONSTRUCTION DRAWINGS
SHEET NO.:	B1.0
FLOOR PLAN	
SITE ADDRESS:	3510 DUKE ST., ALEXANDRIA, VA 22304
45-0002	

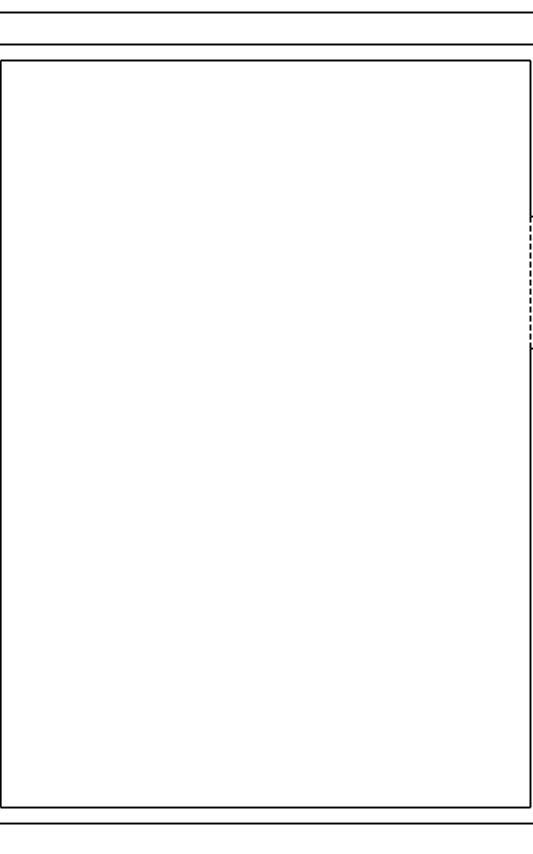
**GENERAL NOTES**

1. SEE DECOR PLANS FOR CEILING FINISHES.
2. GENERAL CONTRACTOR SHALL COORDINATE HVAC DIFFUSER LOCATION WITH DECOR & MECHANICAL PLANS AND REPORT ANY DISCREPANCIES TO ARCHITECT.
3. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR DIFFUSER AND LIGHTING INFORMATION.
4. PROVIDE USG V15 CEILING TILE RETENTION CLIPS IN ALL VESTIBULE AREAS
5. FIRE SPRINKLER PLANS BY OTHERS

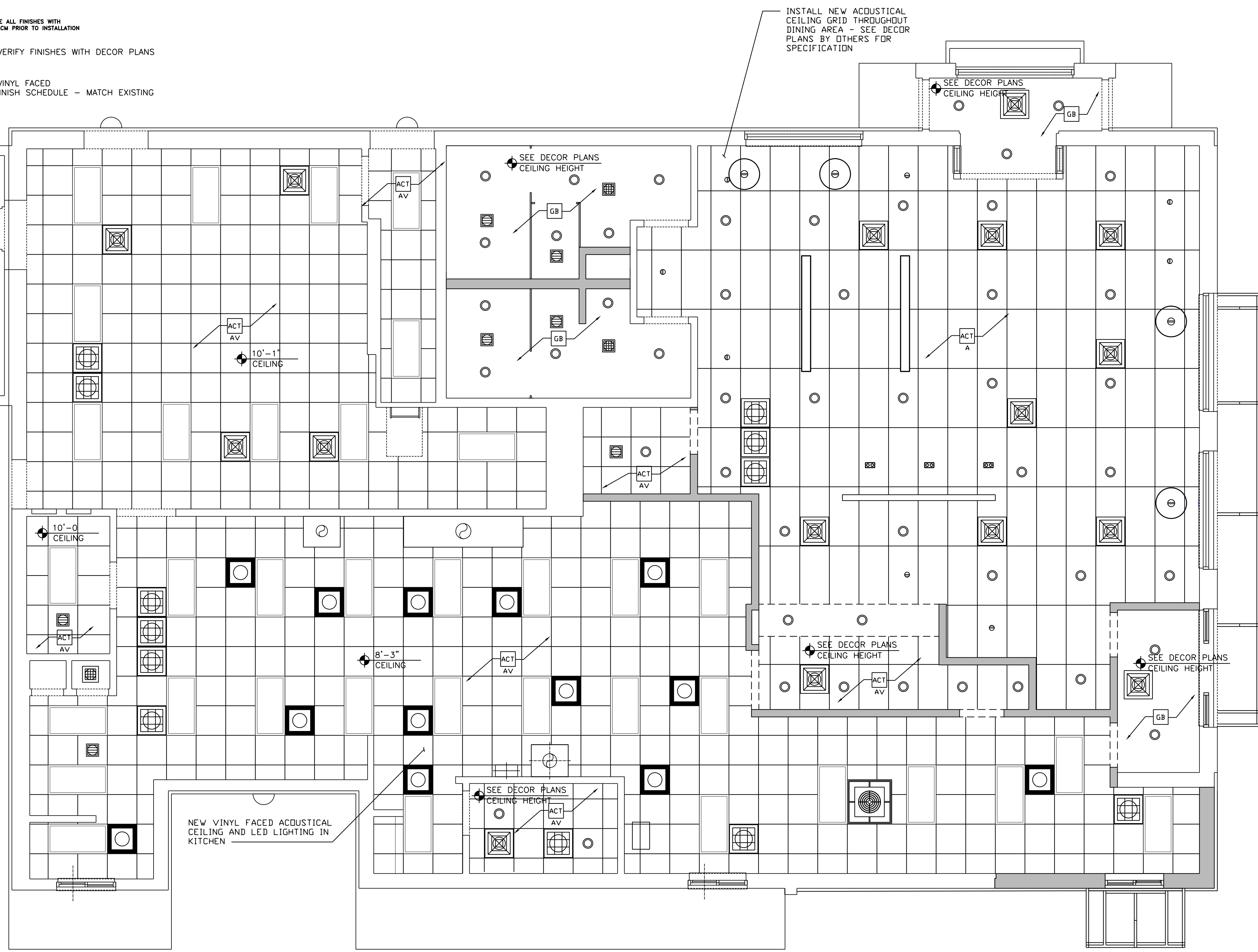
**KEY NOTES**

\*\* COORDINATE ALL FINISHES WITH MCDONALD'S ACM PRIOR TO INSTALLATION

- ACT A ACOUSTICAL CEILING TILE - VERIFY FINISHES WITH DECOR PLANS
- ACT AV ACOUSTICAL CEILING TILE - VINYL FACED COLOR: WHITE - SEE ROOM FINISH SCHEDULE - MATCH EXISTING
- GB GYPSUM BOARD CEILING



MODIFICATIONS TO EXISTING SPRINKLER DESIGN AND DRAWINGS BY OTHERS UNDER SEPARATE PERMIT



INSTALL NEW ACOUSTICAL CEILING GRID THROUGHOUT DINING AREA - SEE DECOR PLANS BY OTHERS FOR SPECIFICATION

SEE DECOR PLANS CEILING HEIGHT

SEE DECOR PLANS CEILING HEIGHT

10'-1" CEILING

10'-0" CEILING

8'-3" CEILING

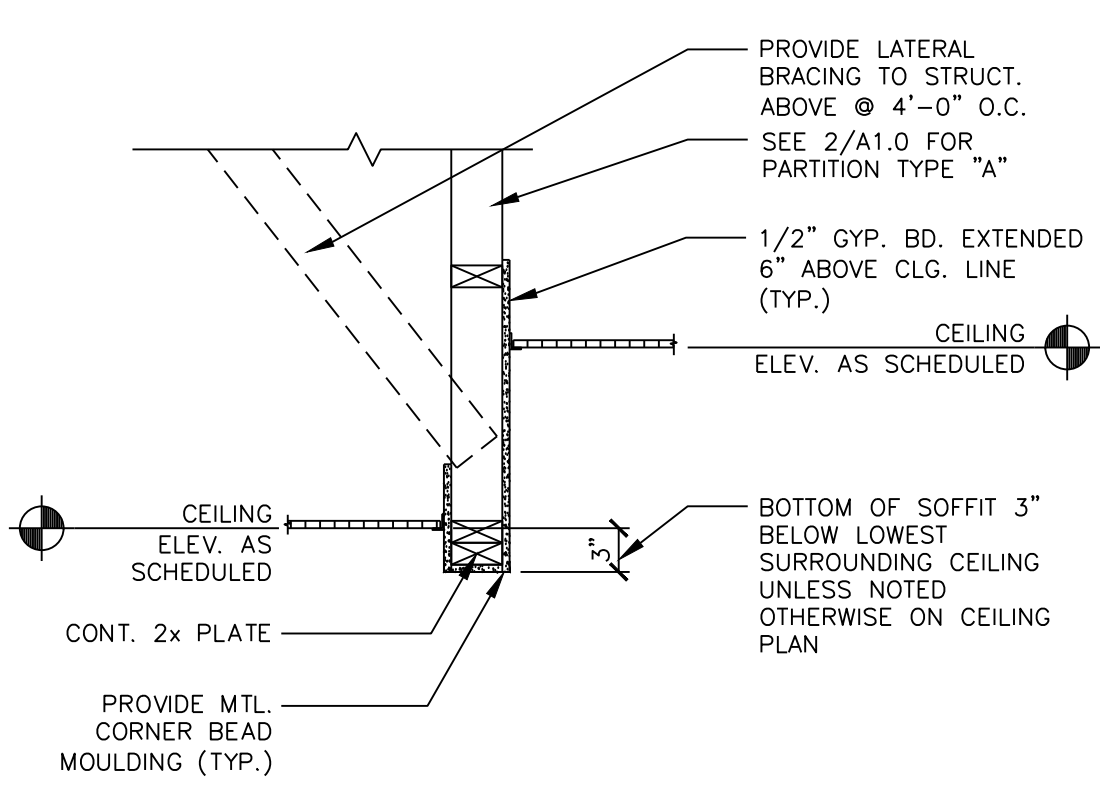
SEE DECOR PLANS CEILING HEIGHT

SEE DECOR PLANS CEILING HEIGHT

NEW VINYL FACED ACOUSTICAL CEILING AND LED LIGHTING IN KITCHEN

SEE DECOR PLANS CEILING HEIGHT

1 REFLECTED CEILING PLAN  
B1.2 1/4"=1'-0"



2 CEILING TRANSITION w/ SOFFIT  
B1.2 N.T.S.

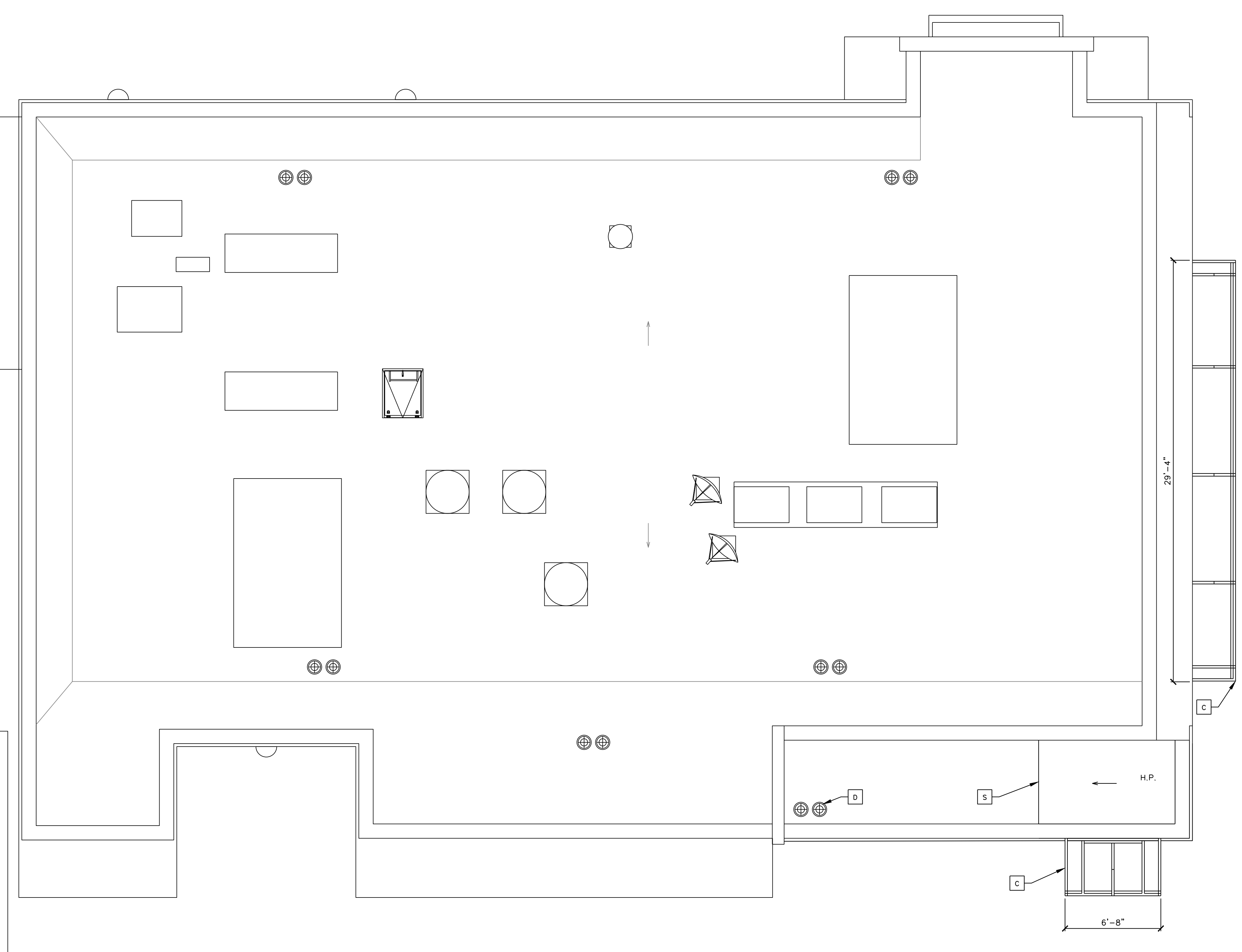
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COMMONWEALTH OF NORTH CAROLINA  
ANDREW T. HALDANE  
Lic. No. 049829  
4/9/2024  
PROFESSIONAL ENGINEER

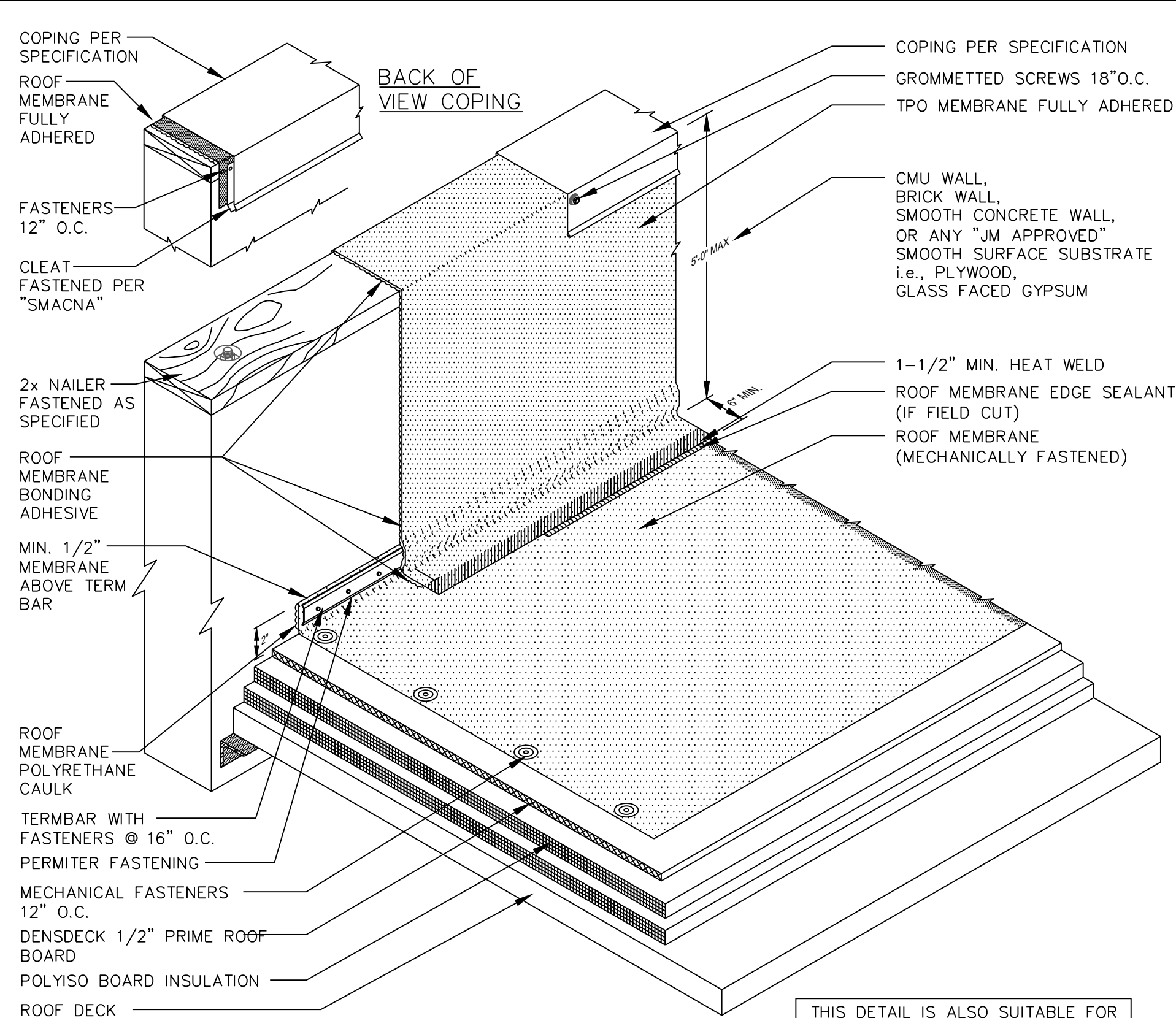
April 9, 2024

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**M. McDonald's USA, LLC**  
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SHEET NO.	B1.2
	REFLECTED CEILING PLAN
TITLE	ALEXANDRIA - DUKE ST
DESCRIPTION	CONSTRUCTION DRAWINGS
DRAWN BY	DJA
TEP PID NO.	-
REVIEWED BY	FTH
DATE ISSUED	04/09/2024
SITE ID	45-0002
SITE ADDRESS	3510 DUKE ST., ALEXANDRIA, VA 22304
REV	0 04/09/2024
DATE	
DESCRIPTION	FOR CONSTRUCTION



1 ROOF PLAN  
B1.3 1/4" = 1'-0"



**ROOFING SYSTEM**

- MANUFACTURERS AND PRODUCTS:
  - DURO-LAST PVC ROOFING SYSTEM
  - JM-PVC. REFER TO JOHNS MANVILLE WEBSITE ([www.jm.com](http://www.jm.com)) FOR MOST UP-TO-DATE INFORMATION.  
**NO SUBSTITUTIONS ALLOWED**
- SPECIFIED ROOFING SYSTEMS (AS SHOWN):
  - SINGLE-PLY ROOFING SYSTEM AS MANUFACTURED BY MANUFACTURER LISTED ABOVE TO COMPLY WITH ASTM E 108 OR UL 790, ASTM D-6878, AND FMG I-90 FOR WIND UPLIFT.
  - FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER.
  - ACCESSORIES: PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER.
  - PLEASE SEE SINGLE-PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
  - ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS, THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL. CONTACT MANUFACTURER FOR METAL OPTIONS TO BE INCLUDED WITHIN THE MANUFACTURER'S GUARANTEE.
  - ROOF MEMBRANE EDGE SEALANT IS REQUIRED ON ALL CUT OR NON-ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE.
- WALKWAYS:
  - 30" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE.
  - PROVIDE WALKWAY FROM ROOF LADDER EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE.
  - INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION.
- RIGID INSULATION:
  - PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ 1/2" "DENSDECK" COVER BOARD TO MEET A MINIMUM CONTINUOUS R-30 VALUE - THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS. SEE ROOF PLAN. PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS. BOTTOM LAYER OF INSULATION TO HAVE INTEGRAL THERMAL BARRIER OR APPROVED ROOFING MANUFACTURER'S THERMAL UNDERLAYMENT SHEET. ASSEMBLY SHALL COMPLY WITH UL 1256 OR FMG 4450 AND ASTM C-1289, TYPE I OR II.
- TAPERED INSULATION:
  - PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1/4" PER FOOT MIN. REQUIRED.
- EXHAUST FANS:
  - PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.

**LEGEND**

- L.P. LOW POINT
- H.P. HIGH POINT
- ← DIRECTION OF DRAINAGE
- ← AP TRELIS SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE @ 1/4" PER FT.

**KEY NOTES**

- C ALUMINUM CANOPY SYSTEM (COLOR: SEE ELEVATIONS)
- D EXISTING ROOF DRAINS - G.C. TO VERIFY
- S TIE INTO EXISTING ROOF

**ROOFING NOTES**

- SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2 OF THIS SHEET.
- PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB AREAS WHERE ROOF DECK IS PITCHED.
- FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH, REFER TO STRUCTURAL DRAWINGS.
- CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

2 ROOFING SYSTEM  
B1.3 N.T.S.

THIS DETAIL IS ALSO SUITABLE FOR TERMINATION OF FLEECE BACKED MEMBRANES. NON FLEECE BACK MEMBRANE IS REQUIRED FOR WALL FLASHINGS.

FOR CONSTRUCTION	DATE	REV	0	04/09/2024	DESCRIPTION	REV	DATE
<p><b>TOWER ENGINEERING PROFESSIONALS</b> 326 TRYON ROAD RALEIGH, NC 27603 OFFICE: (919) 661-6351 <a href="http://www.tepgroup.net">www.tepgroup.net</a></p>							
<p>ANDREW T. HALDANE Lic. No. 049829 4/9/2024 April 9, 2024</p>							
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DRAWN BY	DJA	TEP PID NO.	-	REVIEWED BY	FTH	DATE ISSUED	04/09/2024
TITLE	ALEXANDRIA - DUKE ST			DESCRIPTION	CONSTRUCTION DRAWINGS		
SHEET NO.	B1.3			SITE ADDRESS	3510 DUKE ST., ALEXANDRIA, VA 22304		
ROOF PLAN							

- T/ ROOF  
ELEV. + 15'-6"
- C/L FRONT CANOPY TIE BACK  
ELEV. + 12'-4"
- B/ FRONT CANOPY  
ELEV. + 9'-0"
- B/ WINDOW SILL  
ELEV. + 3'-0"
- T/ SLAB  
ELEV. + 0'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"



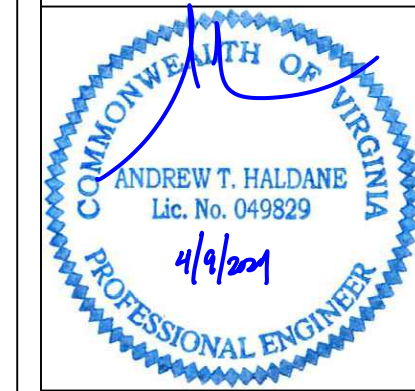
- T/ PARAPET  
ELEV. + 15'-6"
- C/L DT CANOPY TIE BACK  
ELEV. + 14'-3"
- B/ CANOPY  
ELEV. + 10'-10"
- T/ DT WINDOW  
ELEV. + 7'-7"
- B/ DT WINDOW SILL  
ELEV. + 2'-7"
- T/SLAB  
ELEV. + 0'-0"

2 DRIVE THRU ELEVATION  
1/4" = 1'-0"

COLOR SCHEME: 'STEEL' (AS SHOWN)  
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

- KEY NOTES:
- BR COLOR:  
B1-B1 = MATCH EXISTING BRICK COLOR
  - X TYPE:  
E = EXISTING  
N = NEW/INFILL
  - C1 ALUMINUM CANOPY SYSTEM W/FASCIA - MATCH EXISTING
  - C2 RELOCATED TRELLIS BAND
  - W1 NEW STOREFRONT AND GLAZING - TEMPERED GLASS
  - W2 NEW DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
  - XX SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT
  - COLOR:  
C1 = DEEP BRONZE  
C2 = RAL 7022
  - D PROPOSED EXTERIOR DOOR

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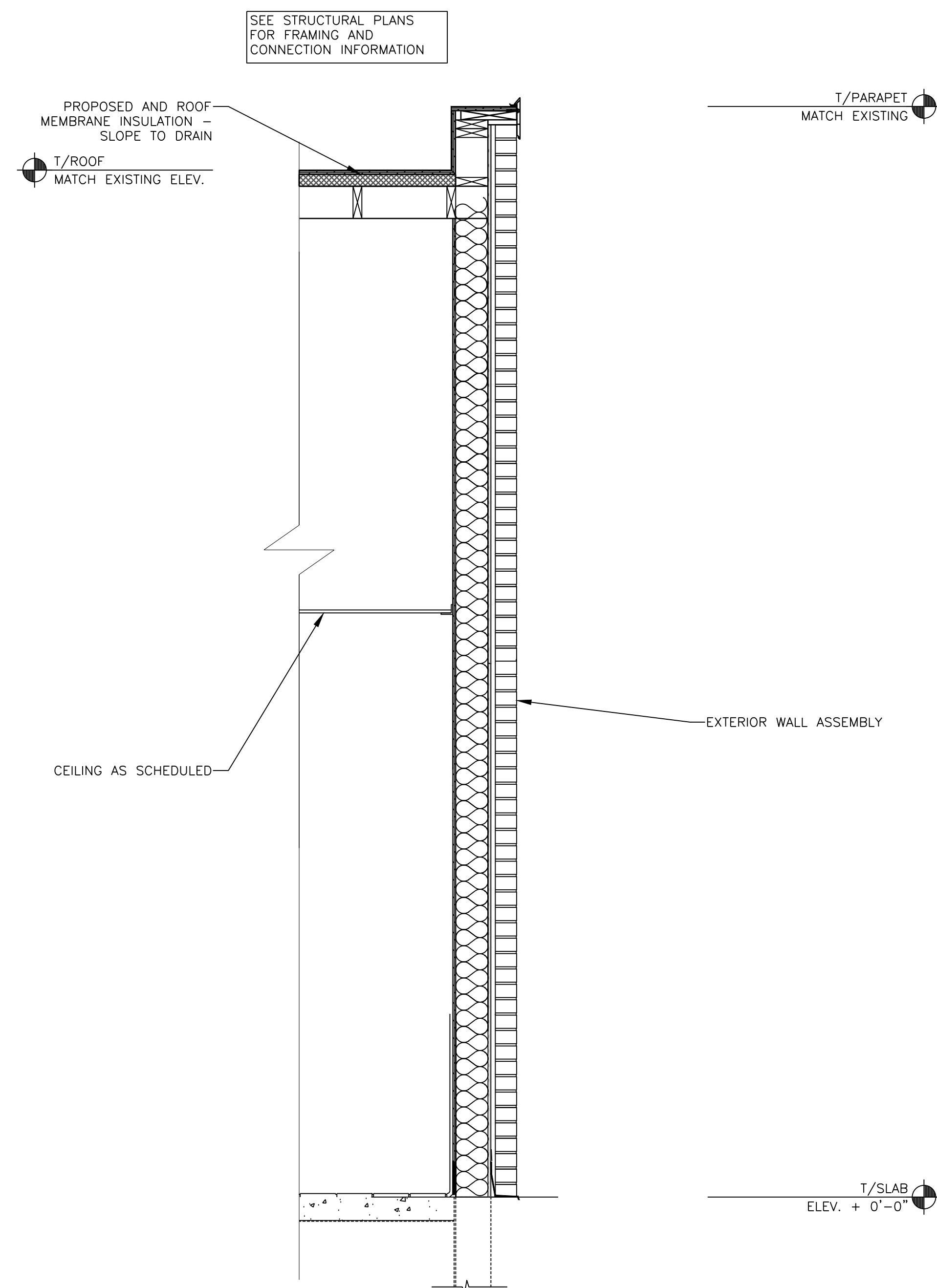
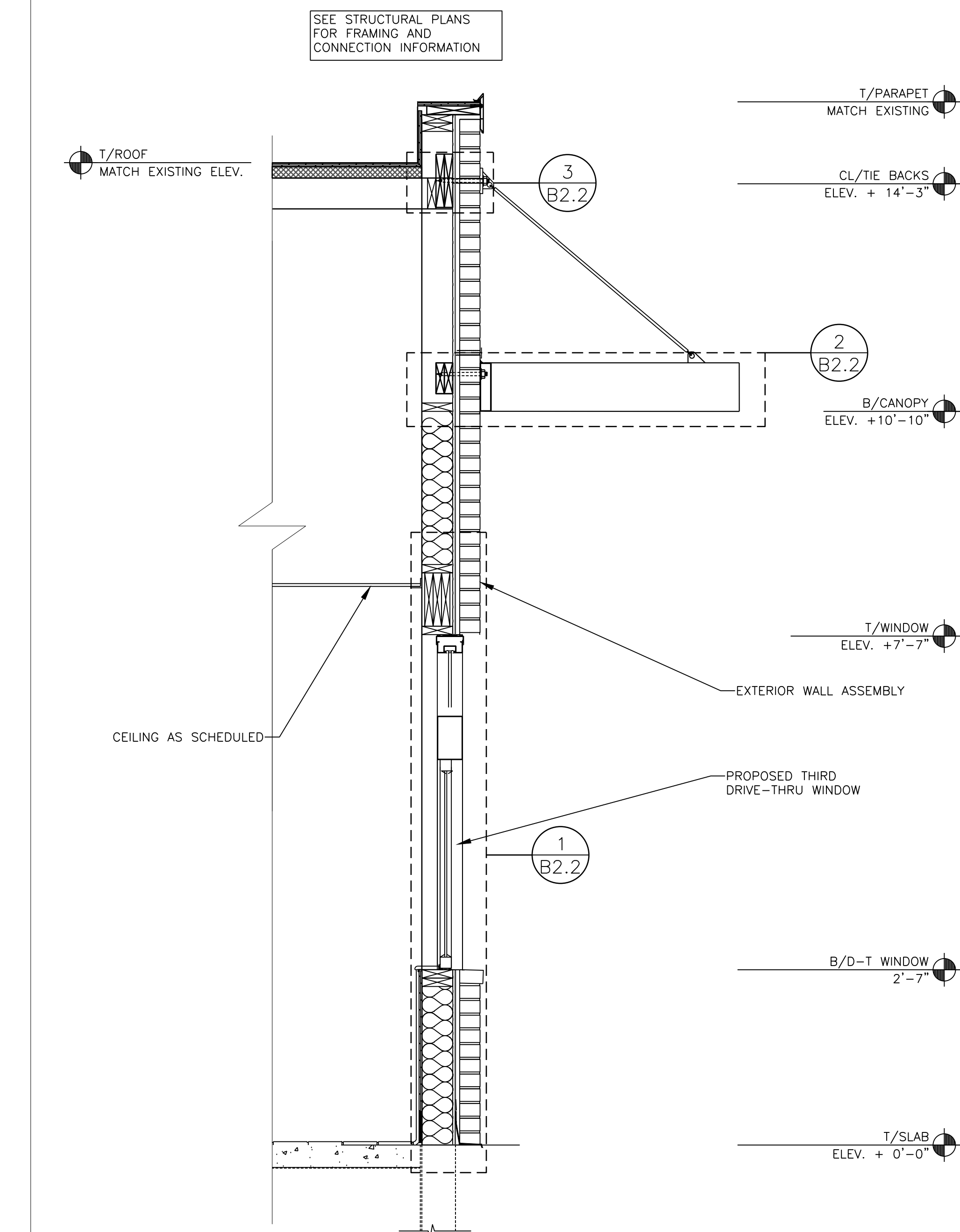
April 9, 2024

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SHEET NO.	ALEXANDRIA - DUKE ST		SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304
	CONSTRUCTION DRAWINGS		
DRAWN BY DJA	TEP PID NO.	REVIEWED BY FTH	DATE ISSUED 04/09/2024
	TITLE ALEXANDRIA - DUKE ST		
DESCRIPTION CONSTRUCTION DRAWINGS			DATE ISSUED 04/09/2024
SHEET NO. B2.0			DATE 04/09/2024
ELEVATIONS			DESCRIPTION FOR CONSTRUCTION

REV	DATE	DESCRIPTION
0	04/09/2024	





1 B2.0 FRONT ELEVATION  
1/4" = 1'-0"

**EXTERIOR WALL ASSEMBLY**  
FROM EXTERIOR TO INTERIOR

1. FULL HEIGHT MODULAR SIZE MASONRY, 4" BRICK VENEER (VISIBLE MASONRY) OR 4" CONCRETE BLOCK VENEER WITH INTEGRAL WATER REPELLENT (NON-VISIBLE), W/NON-CORROSIVE METAL TIES VERTICALLY & HORIZONTALLY PER STRUCTURAL. PROVIDE 10" HIGH MESH DOVETAIL CAVITY DRAINAGE SYSTEM. PROVIDE MESH WEEP VENTS 24" O.C. AT ALL FLASHING LOCATIONS. MORTAR: SMT50 SILVERSTONE BY SPEC MIX - OR EQ.
  2. AIR SPACE - SIZE VARIES ACCORDING TO OVERALL WALL WIDTH. AT TYP. WALL, AIR SPACE IS 2 3/8" WIDE.
  3. 3/4" RIGID INSULATION, R-3.8 VALUE.
  3. PERMEABLE BUILDING WRAP OVER 1/2" EXTERIOR GRADE PLYWOOD. INSTALL PER LOCAL CODES AND MFR'S SPEC'S.
  4. 2x6 WOOD STUD FRAMING @ 16" O.C. (WITH CONTINUOUS DRAFTSTOP/FIRESTOP BLOCKING AT FINISH CEILING LEVEL).
  5. 1/2" THICK UNFACED BATT INSULATION (R VALUE = 20 MIN.).
  6. "CERTAINTED MEMBRAIN" SMART VAPOR RETARDER (SEMI-VAPOR PERMEABLE) BY CERTAINTED OR EQUAL.
  7. 1/2" CEMENT BOARD SUBSTRATE FOR ALL TILE LOCATIONS. (TYP.) NON TILE LOCATIONS: 1/2" GYPSUM BOARD TO EXTEND TO DECK ABOVE, UNLESS NOTED OTHERWISE. ALL GYP. BOARD MUST SCORE 10 PER ASTM D3273. REFERENCE CURRENT PROJECT MANUAL.
  8. SEE B1.0 & ROOM FINISH SCHEDULE FOR ADDITIONAL SUBSTRATE INFORMATION.
- ELEMENTS BELOW THE ROOF DECK ONLY:**
1. 1/2" RIGID INSULATION, R-7.5 VALUE.
  - AIR SPACE - SIZE VARIES ACCORDING TO OVERALL WALL WIDTH. AT TYP. WALL (14"), AIR SPACE IS 3/4" WIDE.
  - 3-5/8" 18 GAUGE METAL STUD FRAMING @ 16" O.C. - SEE STRUCTURAL DRAWINGS FOR ANCHORAGE DETAILS
  - UNFACED BATT INSULATION (R VALUE = 13).
  - "CERTAINTED MEMBRAIN" SMART VAPOR RETARDER (SEMI-VAPOR PERMEABLE) BY CERTAINTED OR EQUAL.
  - 1/2" CEMENT BOARD SUBSTRATE FOR ALL TILE LOCATIONS. (TYP.) NON TILE LOCATIONS: 1/2" GYPSUM BOARD TO EXTEND TO DECK ABOVE, UNLESS NOTED OTHERWISE. ALL GYP. BOARD MUST SCORE 10 PER ASTM D3273. REFERENCE CURRENT PROJECT MANUAL.
  - SEE A1.0 & ROOM FINISH SCHEDULE FOR ADDITIONAL SUBSTRATE INFORMATION.

**EXTERIOR WINDOW ASSEMBLY**  
(STOREFRONT & ENTRANCE SYSTEM)

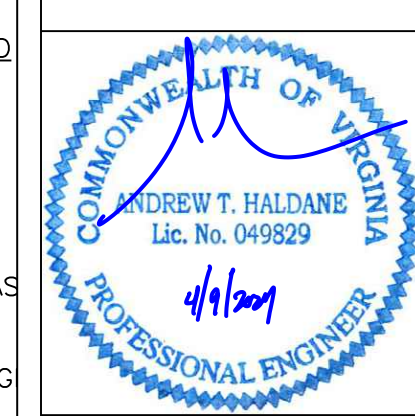
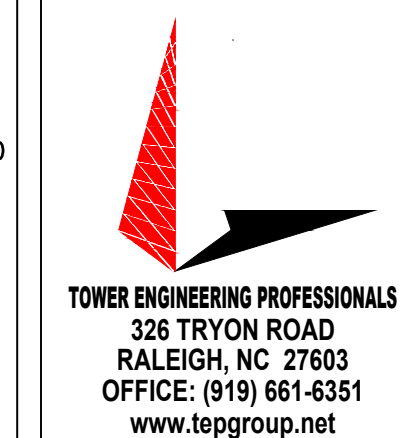
- GLAZING REQ'S: U VALUE = 0.38 U VALUE "DOOR" = 0.77 SHGC = 0.40
1. EXTRA DARK BRONZE ANODIZED ALUMINUM FRAME, THERMALLY BROKEN WITH HEAD RECEIVER CHANNEL.
  - 1" TEMPERED INSULATED GLAZING
  - PROVIDE FLASHING AT HEAD & SILL - CONTINUOUS SEALANT.
  - PROVIDE METAL CAP @ EXTERIOR BRICK SILL
  - 1/2" CORIAN SILL AT INTERIOR

**CANOPY SYSTEM W/ FASCIA**

- CANOPY INFORMATION SHOWN IN CONSTRUCTION DOCUMENTS IS FOR DESIGN INTENT ONLY. APPROVED MANUFACTURERS SHALL PROVIDE A COMPLETE AND CODE COMPLIANT FINAL DESIGN. REFER TO ELEVATIONS FOR COLOR OF ELEMENTS
- CANOPY STRUCTURE/OUTRIGGERS: CONT. 2" x 8" PAINTED ALUM. TUBE. PROVIDE CLOSURE PIECE WHERE TUBE ENDS ARE EXPOSED.
  - FASCIA: CONT. 12"H PAINTED ALUM. W/ LED DOWN-LIGHT FIXTURE OVER CANOPY STRUCTURE
  - TIEBACKS: PAINTED ALUM. THREADED RODS BY MFR. LOCATIONS AS INDICATED ON ROOF PLAN. FINAL LOCATIONS AND QUANTITY SHALL BE AS INDICATED ON CANOPY INSTALLATION DRAWINGS.
  - WHERE INDICATED ON ROOF PLAN, PROVIDE PAINTED ALUM. PANEL INFILL TO MATCH OUTRIGGERS. PANEL TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.
  - SYSTEM SHALL ALLOW FOR MOVEMENT AT EXPANSION JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEM ON WHICH THE CANOPY IS MOUNTED.
  - STRUCTURAL ATTACHMENTS & LOAD CALCULATIONS SHALL BE FURNISHED BY CANOPY SYSTEM DESIGNER OF RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PREVAILING CODES.
  - CANOPY SYSTEM SHALL BE SELECTED FROM ONE OF THE SUPPLIERS LISTED BELOW.
  - MANUFACTURER SHALL PROVIDE INSTALLER WITH INSTALLATION INSTRUCTION. MANUFACTURER SHALL DESIGN CANOPY IN ACCORDANCE WITH THE WALL SYSTEM AND BLOCKING AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
  - INSTALLER SHALL NOTIFY CANOPY DESIGNER OF RECORD, McDONALD'S ACM G.C. AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE TRELLIS. CANOPY SHALL NOT BE INSTALLED UNTIL DEFICIENCIES HAVE BEEN CORRECTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND THE CANOPY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- CANOPY SYSTEM BY:**
- |   |  |
|---|--|
| GREENHECK (715) 355-3942<br>www.greenheck.com | ALL-LITE (817) 509-2300<br>www.alllite.com     |
| AWNEX (770) 704-7140<br>www.ownexinc.com      |  |
| <b>WHITE FASCIA &amp; LED LIGHTING BY:</b>    |  |
| EVERBRITE (888) 857-4078<br>www.everbrite.com | PERSONA (800) 843-9888<br>www.personasigns.com |

**FOUNDATION**

1. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND SLAB DETAILS

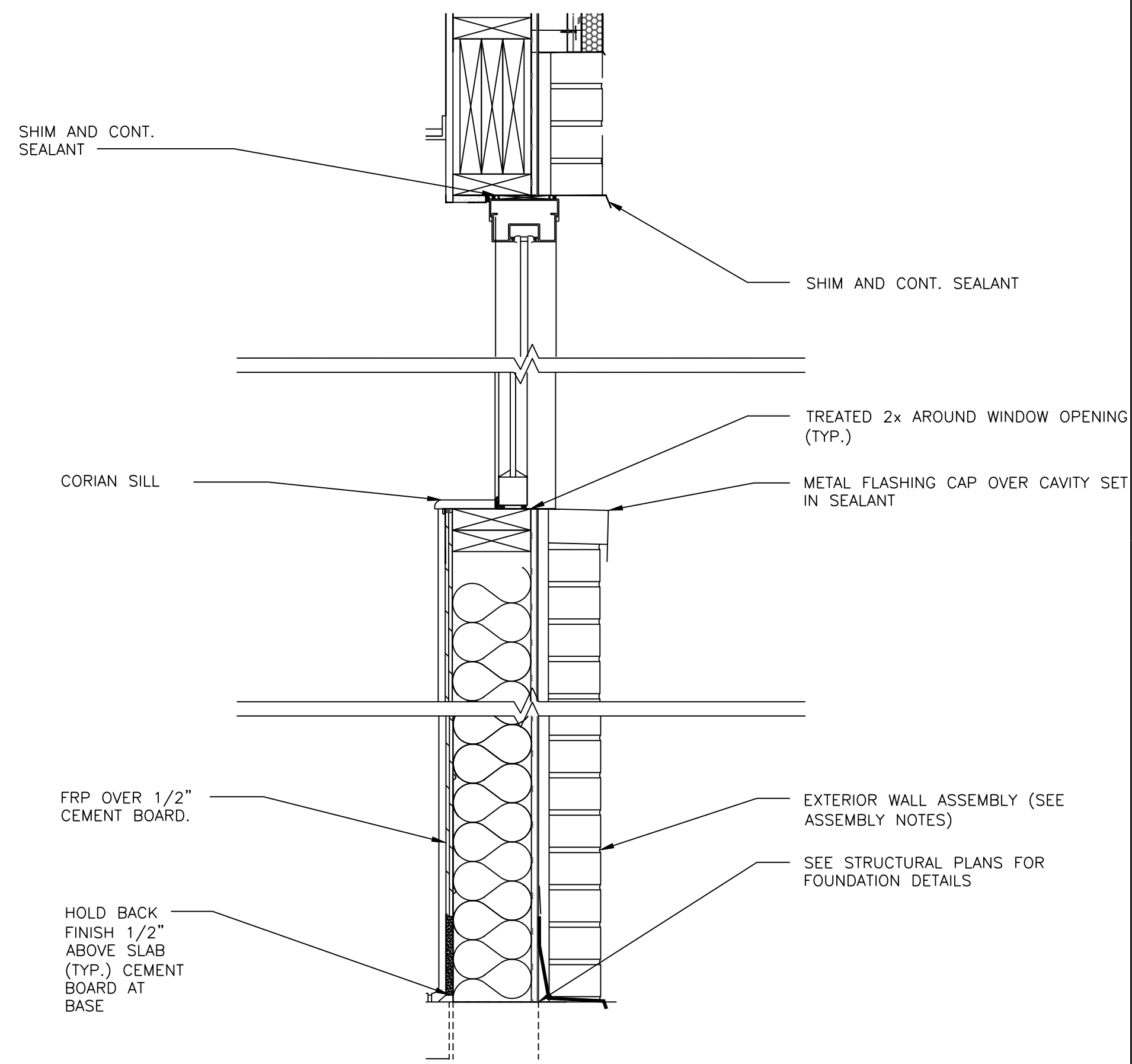


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**McDonald's USA, LLC**

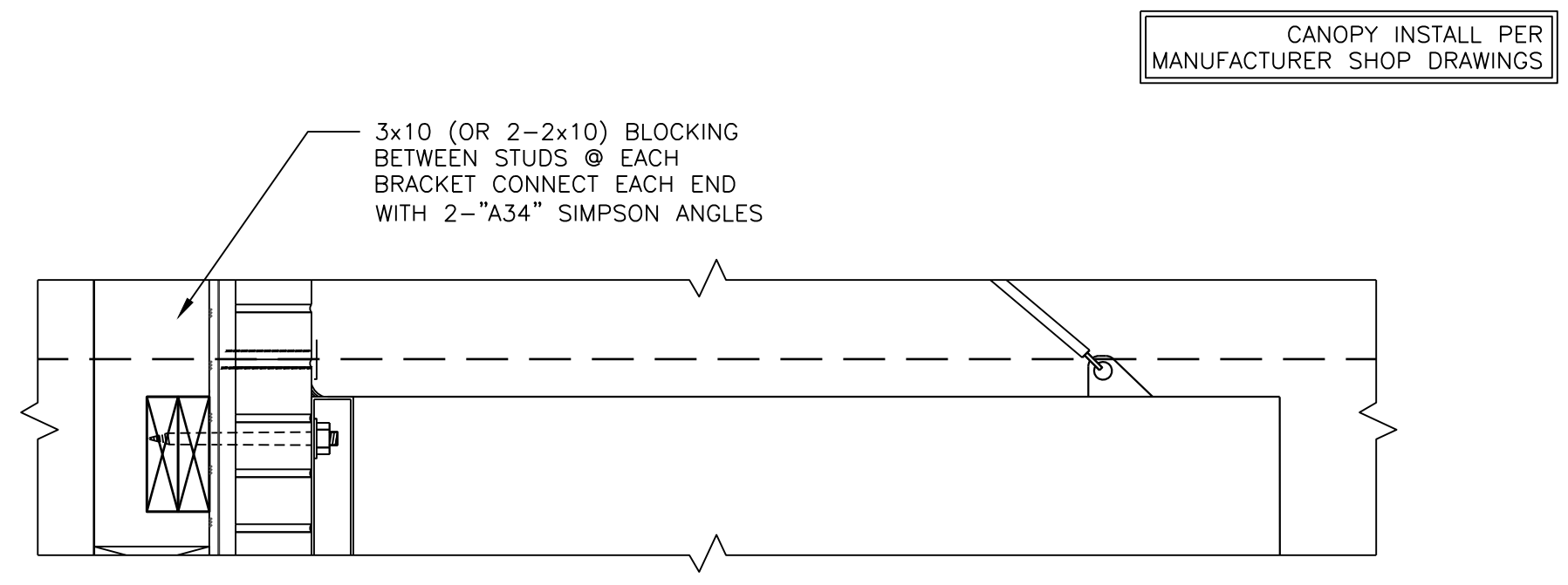
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DRAWN BY DJA	TEP PID NO. -	REVIEWED BY FTH	DATE ISSUED 04/09/2024
TITLE ALEXANDRIA - DUKE ST		DESCRIPTION CONSTRUCTION DRAWINGS	
SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304		SHEET NO. B2.1	

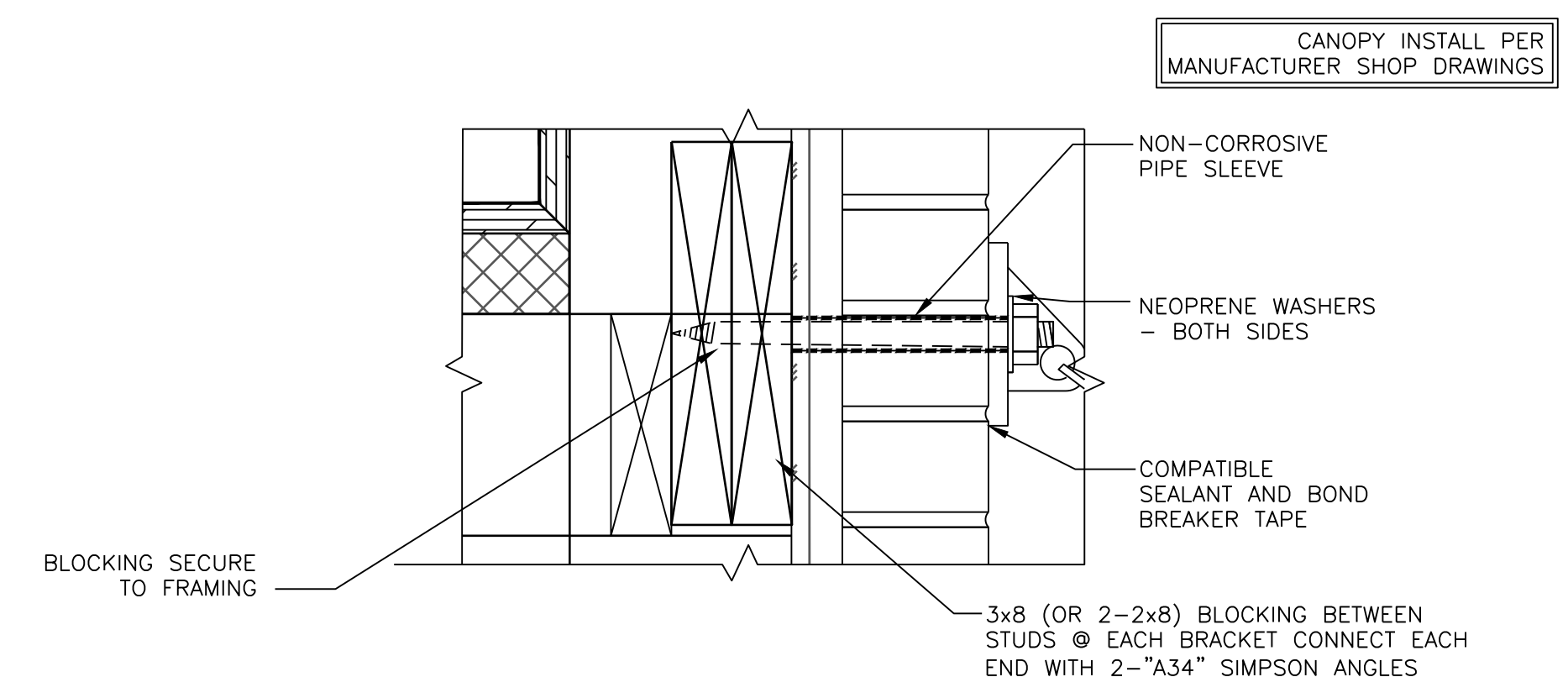
REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION



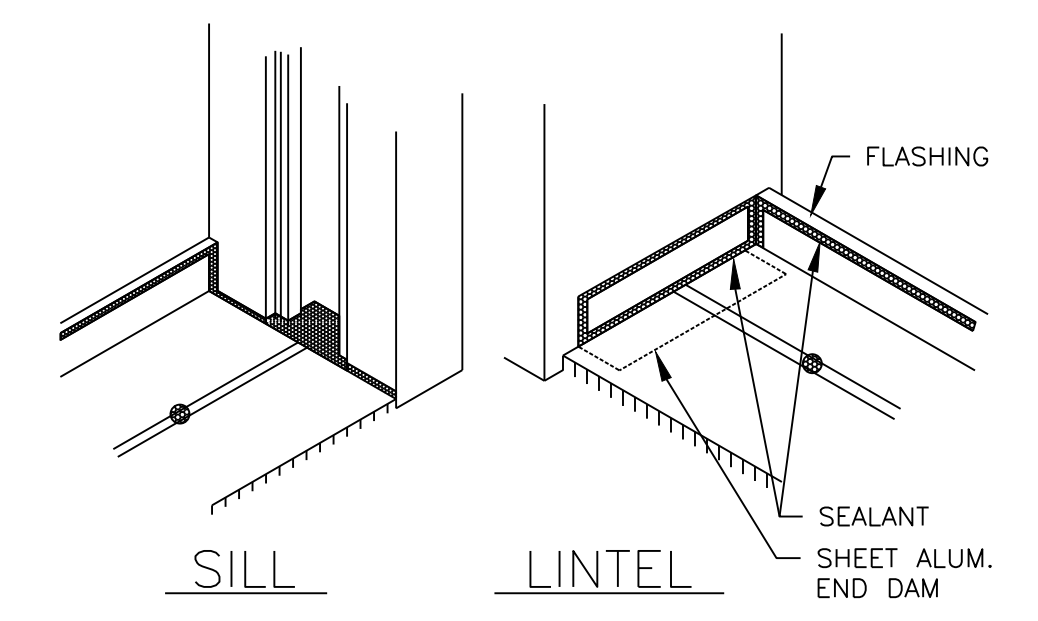
1 SECTION @ D-T WINDOW  
1-1/2" = 1'-0"



2 DETAIL - CANOPY SYSTEM  
1-1/2" = 1'-0"

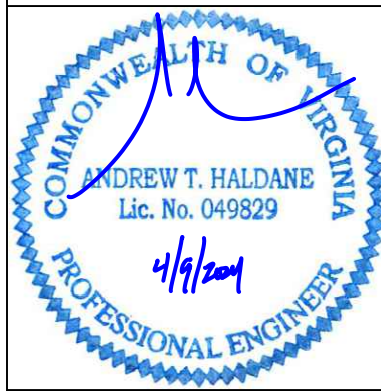


3 DETAIL - CANOPY TIE-BACK  
3" = 1'-0"



NOTE: SEAL GLASS POCKET OF WINDOW JAMB AT SILL.  
NOTE: SEALANT ON BACK LEG OF FLASHING TO BE APPLIED PRIOR TO INSTALLATION OF FRAME.  
NOTE: SEAL OVER HEADS OF ALL PERIMETER OPENINGS.

4 FLASHING DETAIL @ JAMB  
N.T.S.

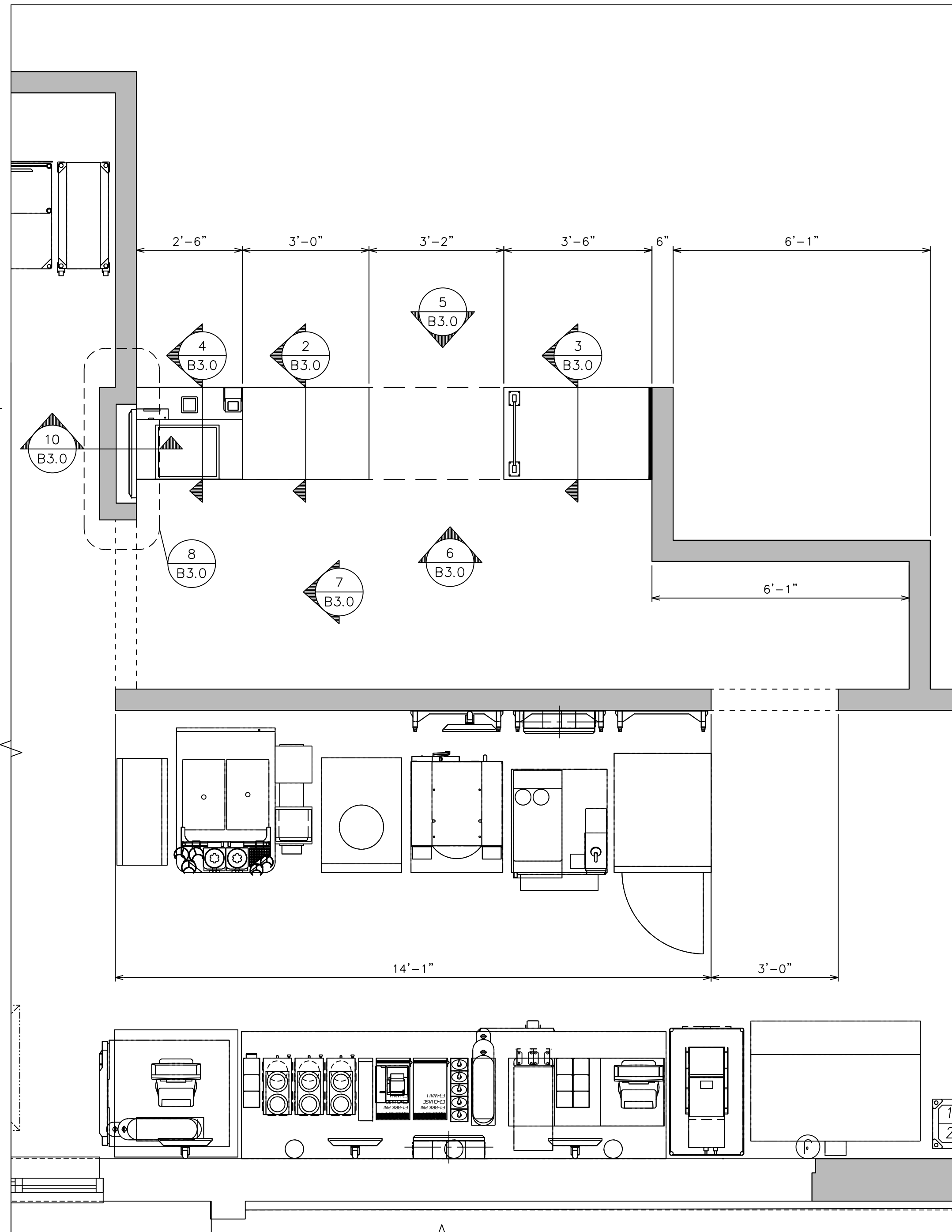


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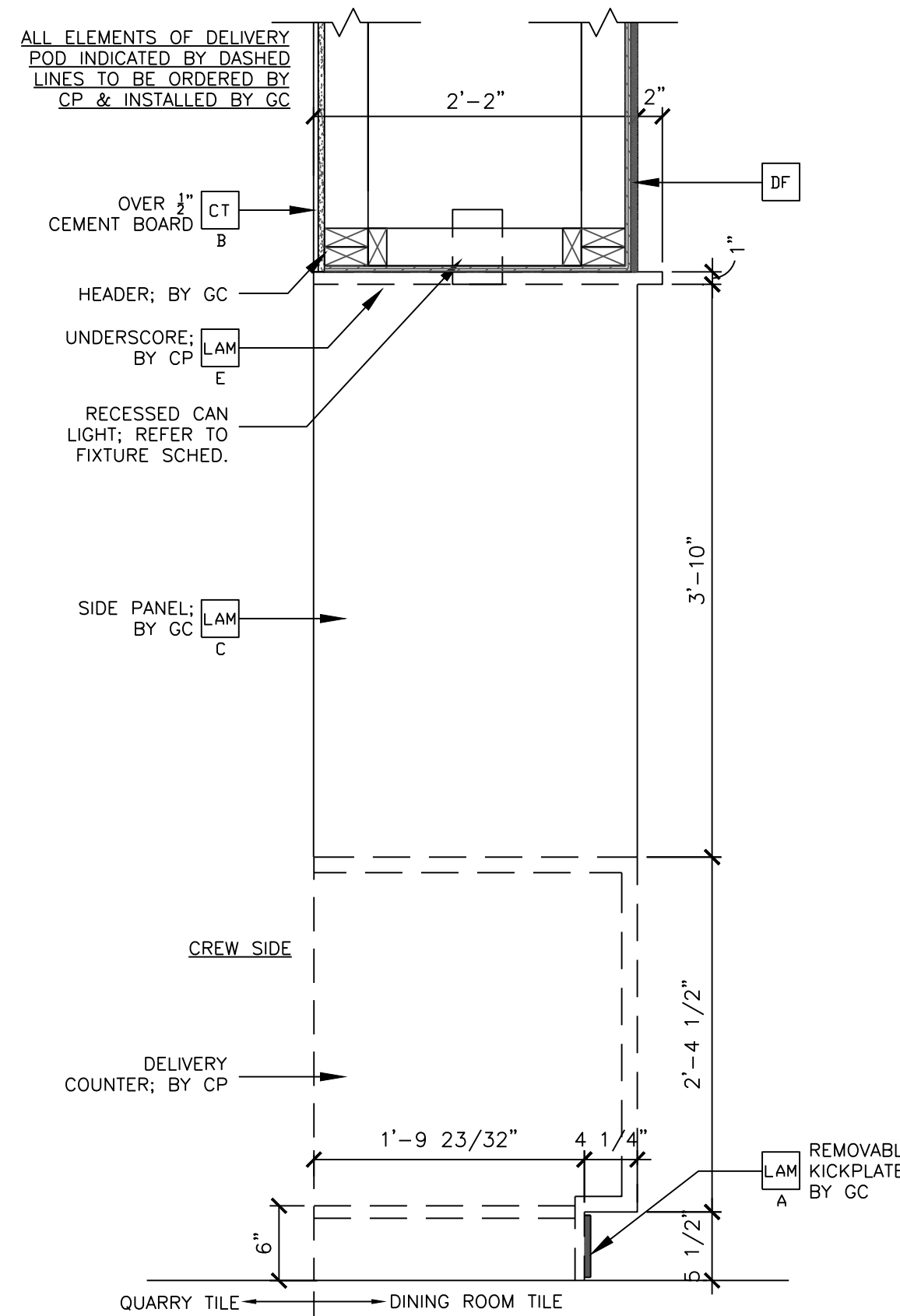
DRAWN BY	DJA	TEP PID NO.	
REVIEWED BY	FTH	DATE ISSUED	04/09/2024
TITLE	ALEXANDRIA - DUKE ST		
DESCRIPTION	CONSTRUCTION DRAWINGS		
SHEET NO.	B2.2		
SITE ADDRESS	3510 DUKE ST., ALEXANDRIA, VA 22304		
SITE ID	45-0002		
ELEVATION DETAILS	ELEVATION DETAILS		

REV	0	DATE	04/09/2024	DESCRIPTION
FOR CONSTRUCTION				



1 FRONT COUNTER PLAN  
B3.0 1/2" = 1'-0"

2 SECTION @ PICKUP/DELIVERY  
B3.0 1" = 1'-0"



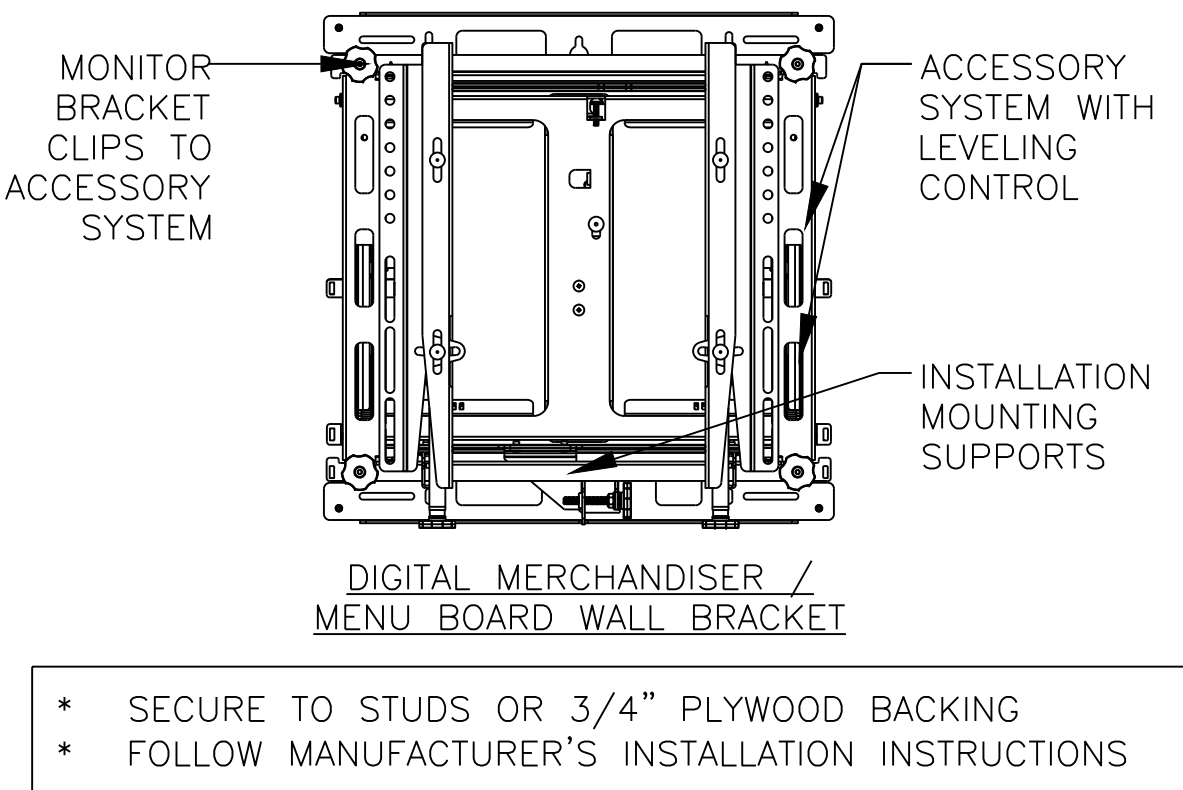
3 SECTION @ PICKUP/DELIVERY  
B3.0 1" = 1'-0"

5 SERVICE AREA ELEVATION  
B3.0 1/4" = 1'-0"

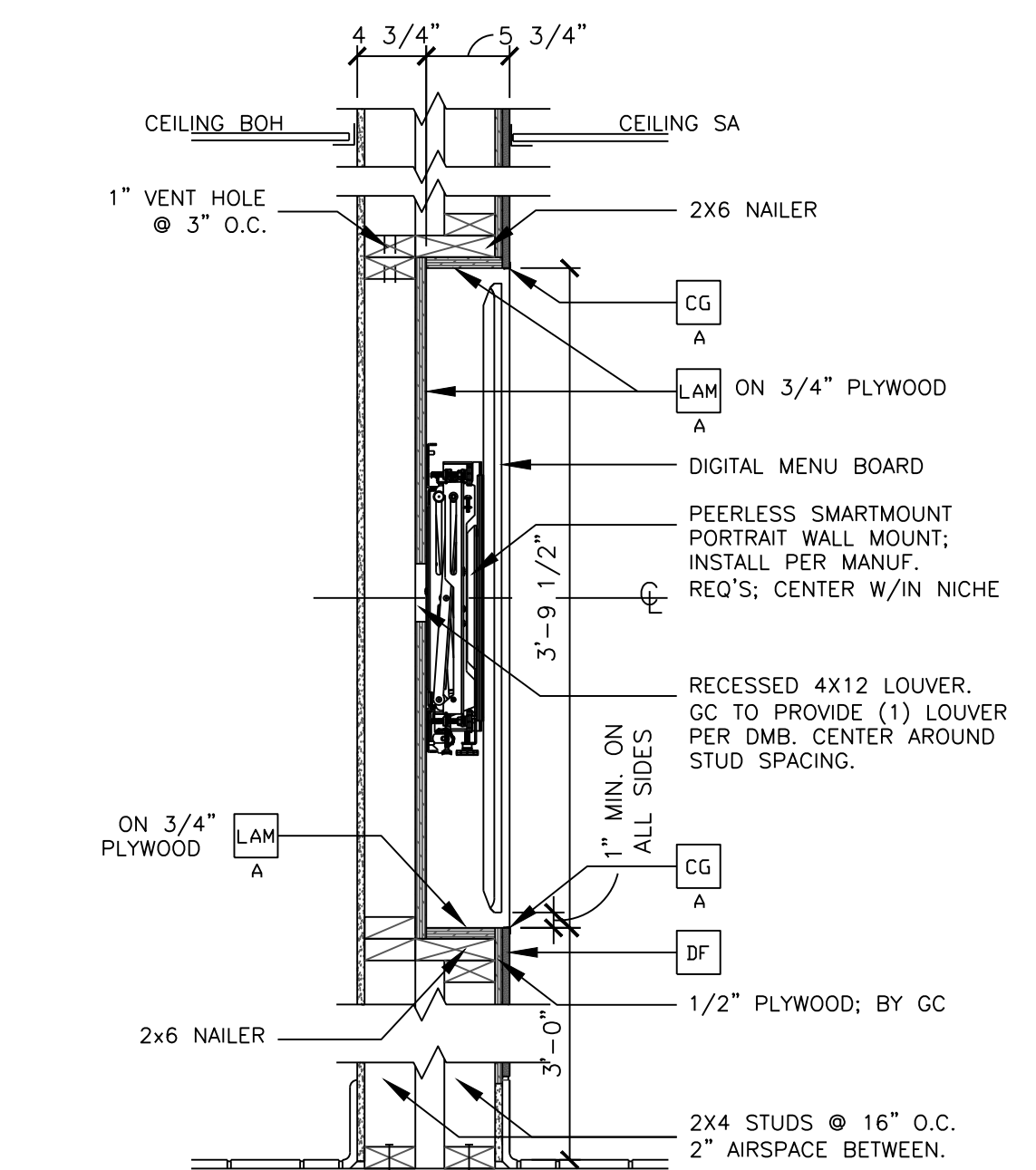
6 SERVICE AREA ELEVATION  
B3.0 1/4" = 1'-0"

7 SERVICE AREA ELEVATION  
B3.0 1/4" = 1'-0"

9 DIGITAL MENU BOARD BRACKET DETAIL  
B3.0 1 1/2" = 1'-0"



10 SECTION @ DIGITAL MERCHANDISER  
B3.0 1" = 1'-0"



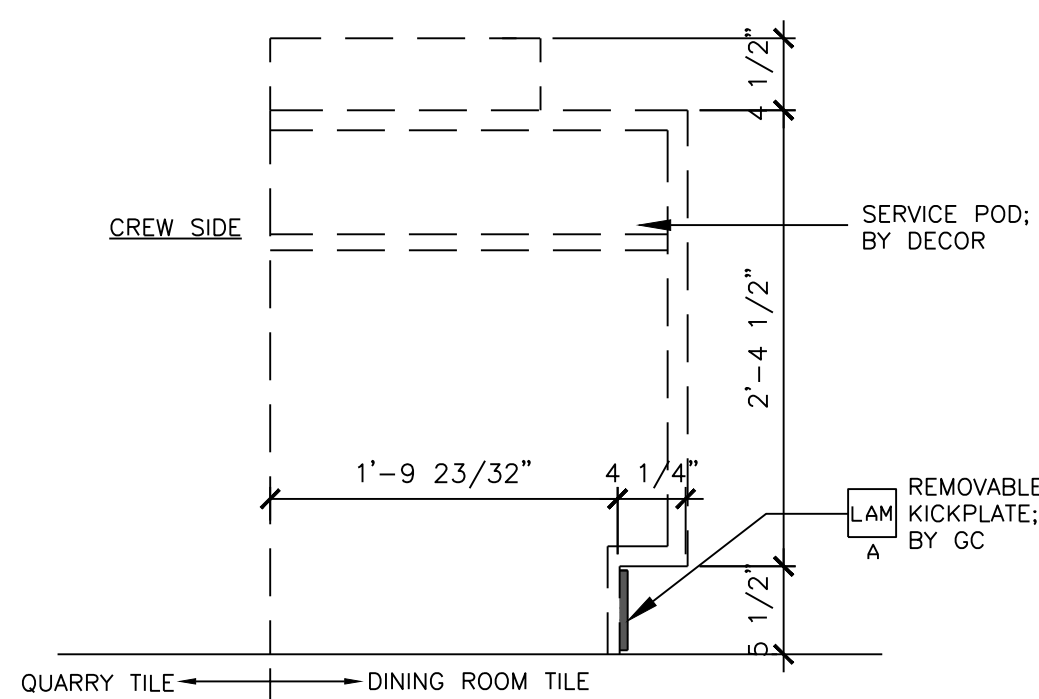
KEY NOTES

- CG CORNER GUARD: 3/4" ANGLE BY DECOR  
A = BLACK
- CDR CORIAN:  
A = 1/2" CORIAN CAMEO WHITE  
B = 1/2" CORIAN DEEP TITANIUM
- CT DARK:  
PORCELAIN WALL TILE; EUROWEST  
B COLOR: NOIR 4"x12" PATTERN: STACK BOND  
GROUT: MAPEI - ULTRACOLOR PLUS FA 47 CHARCOAL - JOINT TO BE 1/8" MAX. USE THIS TILE WHEN HIGH LRV IS REQUIRED COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
- FRP FIBERGLASS REINFORCED PLASTIC (FRP) - PANOLAM, GRAY SMOOTH, CLASS C, .075. - PROVIDE ALTERNATE PRICE FOR WALL TILE IF REQUESTED BY OWNER (TILE TO MATCH EXISTING) - VERIFY WITH ACM. FOR ORDERING, CONTACT KIMBERLY LAWSON Kimberly.Lawson@panolam.com 1-866-925-4377
- KT KITCHEN TILE TO MATCH EXISTING
- CP DARK CURATED VIEW PANEL:  
COLOR: WILSONART - STEEL MESH 4879-38  
NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&D VENDOR
- IWS INTERIOR WAYFINDING SIGNAGE  
A = McDELIVERY WALL DECAL  
B = MOBILE ORDER INTERIOR BLADE SIGN  
C = ADA ASSISTANCE SIGNAGE  
D = McDELIVERY + MOBILE ORDER SOFFIT DECAL
- DF DECOR FINISH TO BE ORDERED/INSTALLED BY GC AND MANUFACTURED BY DECOR; REFER TO PORTFOLIO
- LAM LAMINATE:  
COLOR:  
A = IDMB / DIG. MERCH., SMOOTH BLACK PLASTIC LAMINATE BY GC  
B = TRASH/ COND., WHITE PLASTIC LAMINATE BY GC  
C = TRASH/ COND., LAMITECH GRAPHITE K MATTE FINISH BY GC  
D = SEE DECOR DRAWINGS, MFR BY DECOR. PURCHASE AND INSTALL BY GC  
E = McDELIVERY UNDERSORE, LAMITECH GOLDEN  
F = BASE BOARD, CPL LAMITECH CINDER

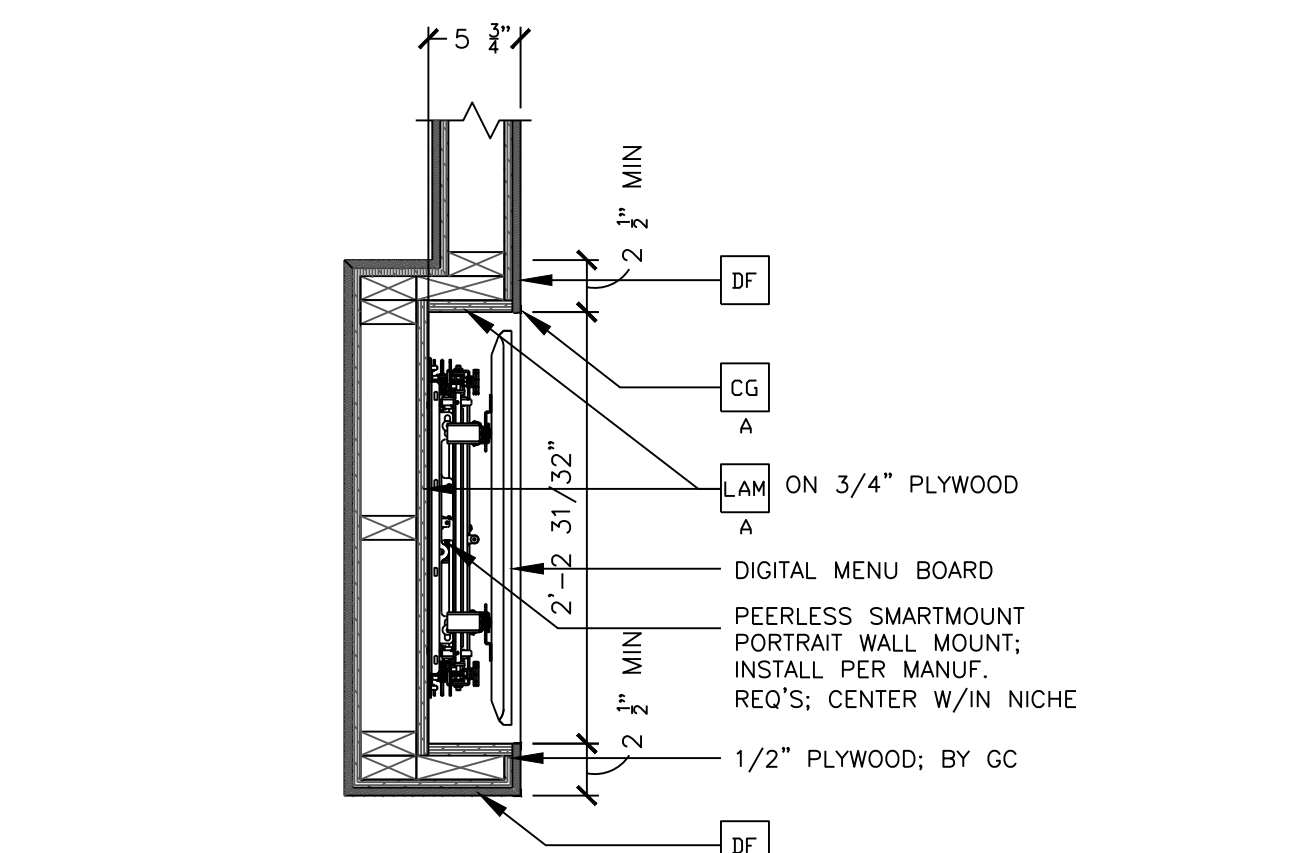
GENERAL NOTES

- ALL WALL LAMINATE PANELING MANUFACTURED BY DECOR PURCHASE AND INSTALL BY GC, UNO.
- ALL ELEMENTS "BY CP" TO BE ORDERED BY CENTRAL PURCHASING AND INSTALLED BY GC, UNO.
- A&E TO VERIFY LOCATION AND QUANTITY OF LIGHTS AND DIFFUSERS AFTER SERVICE AREA WALL ADDITION.

4 SERVICE POD SECTION  
B3.0 1" = 1'-0"



8 PLAN DETAIL @ DIGITAL MERCHANDISER  
B3.0 1" = 1'-0"



REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
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COMMONWEALTH OF VIRGINIA  
ANDREW T. HALDANE  
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4/1/24  
PROFESSIONAL ENGINEER

April 9, 2024

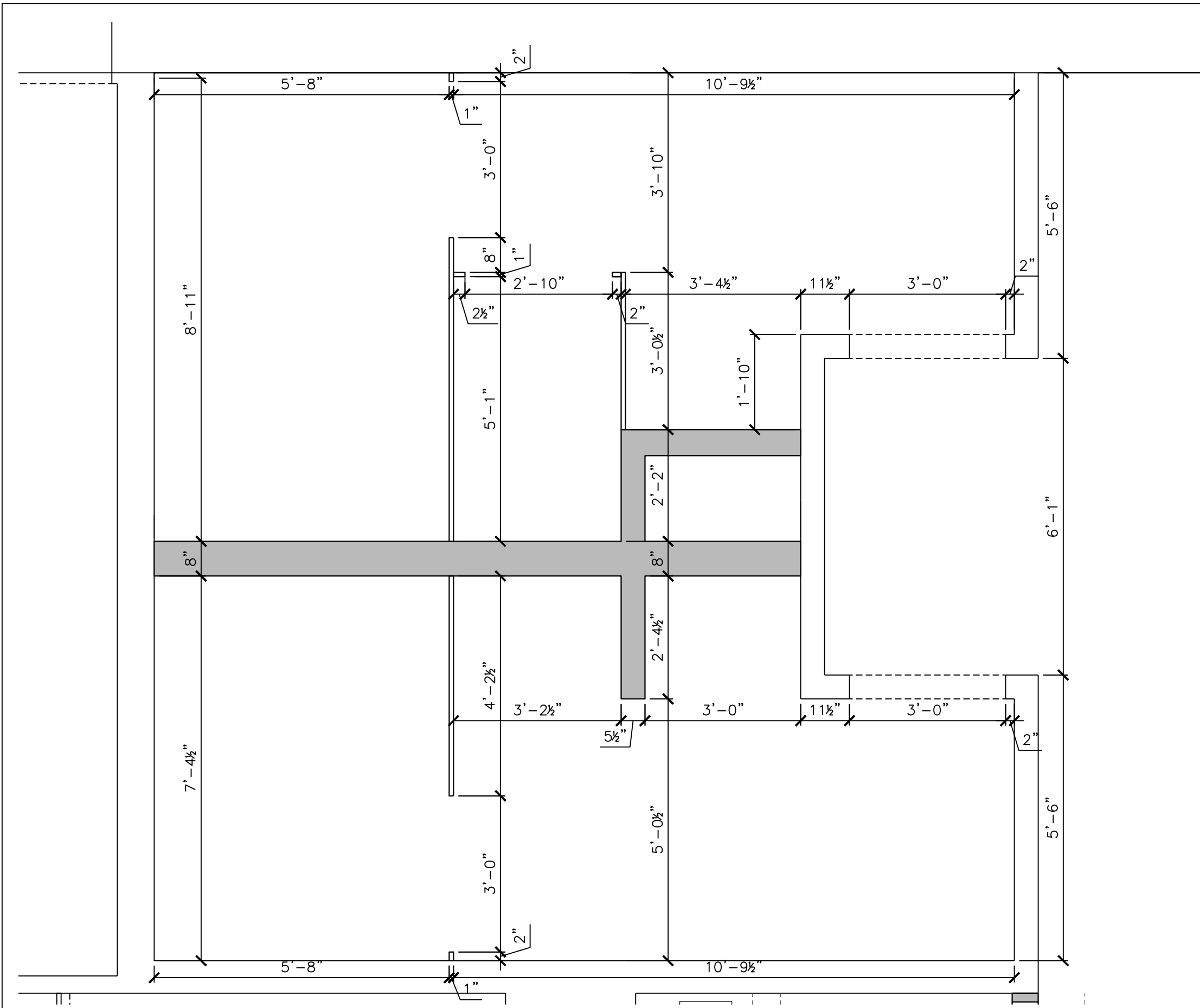
PREPARED FOR:  
**McDonald's USA, LLC**

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DRAWN BY: DUA  
TEP PID NO.:  
REVIEWED BY: FTH  
DATE ISSUED: 04/09/2024

TITLE: ALEXANDRIA - DUKE ST  
DESCRIPTION: CONSTRUCTION DRAWINGS  
SHEET NO.: B3.0  
DETAILS

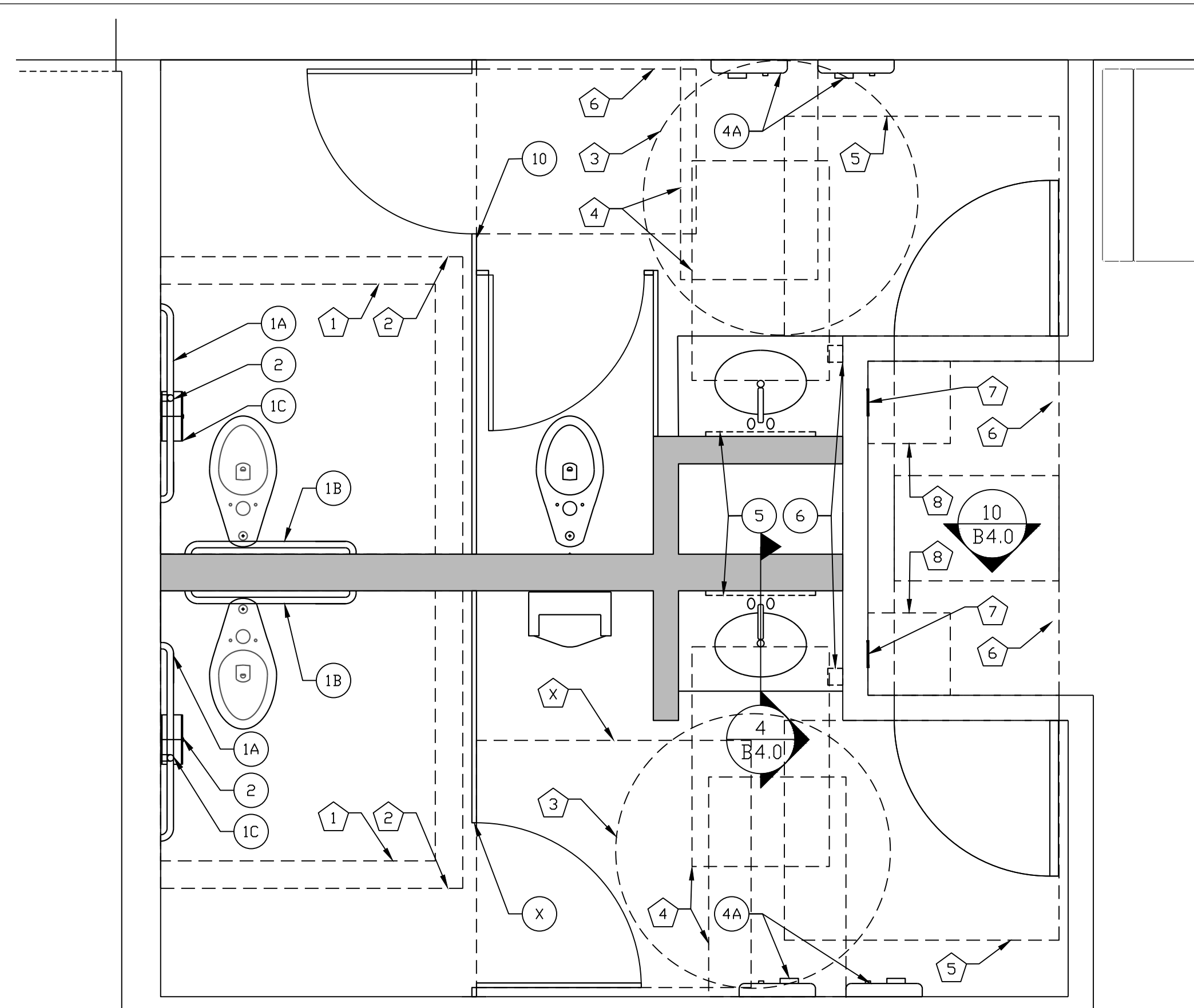
DATE: 04/09/2024  
SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304  
45-0002



**NOTES**

1. ALL DIMENSIONS SHOWN ARE TAKEN TO FACE OF FINISH
2. SEE 9/B4.0 FOR RESTROOM WALL ASSEMBLY DETAIL
3. SEE SHEET CV FOR DOOR AND FINISH SCHEDULES.
4. SEE 6/B4.0 FOR FIXTURE MOUNTING HEIGHTS

**1 ENLARGED RESTROOM PLAN**  
B4.0 1/2" = 1'-0"



**ACCESSIBILITY KEY NOTES:**

1. 59"x60" CLEAR FLOOR AREA
2. 65"x66" CLEAR FLOOR AREA WITH TOE CLEARANCE
3. 60" CLEAR TURNING CIRCLE
4. 30"x48" CLEAR AREA AT FIXTURE
5. 54"x60" LATCH APPROACH PULL SIDE DOOR CLEARANCE
6. 36"x48" FRONT APPROACH PUSH SIDE DOOR CLEARANCE
7. ADA SIGNAGE TYPE RRE-120-WHT on BLU - SEE GENERAL NOTE 6 SHEET A1.0
8. 18"x18" ADA SIGNAGE CLEAR FLOOR AREA

X = RESTROOM ACCESSORY - SEE 5/A4.0

**2 ACCESSIBILITY SCHEMATIC**  
B4.0 1/2" = 1'-0"

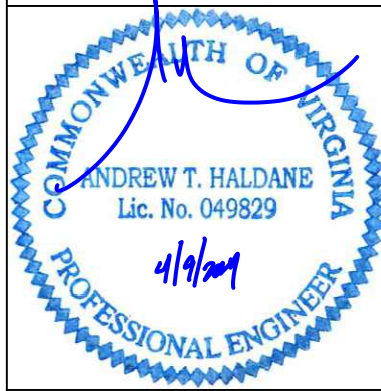
X = ACCESSIBILITY KEYNOTES ABOVE

ITEM (SEE NOTE 2)	MANUF. MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
1A	GRAB BAR 48"	BOBRICK B-6806X48	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
1B	GRAB BAR 42"	B-6806X42	
1C	GRAB BAR 24"	B-6806X24	
2	TOILET TISSUE DISPENSER, JUMBO, SURFACE MOUNTED	BRADLEY 5424	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
3	SANITARY NAPKIN RECEPTACLE, RECESSED (OPTIONAL)	BOBRICK B-345	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
4A	HAND DRYER, ADA COMPLIANT, STAINLESS STEEL	WORLD DRYER L-971 SLIM DRY	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
4A OPTION	HAND DRYER, ENERGY EFFICIENT MODEL, ADA, STAINLESS STEEL	DYSON AIRBLADE V	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
4B	TOWEL DISPENSER & WASTE RECEPTACLE, INDIVIDUAL, RECESSED (OPTIONAL)	BOBRICK B-3974	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
5	MIRROR, CHANNEL FRAME	BOBRICK B-165 2436	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
6A	SOAP DISPENSER, COUNTER MOUNTED, 6" SPOUT (OPTIONAL)	BOBRICK B-82216	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
6B	SOAP DISPENSER, WALL-MOUNTED	BOBRICK B-2112	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
7	BABY CHANGING TABLE, HORIZONTAL, RECESSED, ADA COMPLIANT	KOALA KARE KB100-MTA	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
7 OPTION "A"	BABY CHANGING TABLE, HORIZONTAL, MOUNTED, ADA COMPLIANT	KOALA KARE KB200-00	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
8	DIAPER CONTAINER (OPTIONAL)	-	BY OWNER
9	CLOTHES HOOK	BRADLEY 917	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM
10	STAINLESS STEEL TOILET PARTITION - VERIFY WITH ACM	BRADLEY STAINLESS STEEL SERIES 500	HUGHES SUPPLY (866) 310-3576 MCDCCORD@HAJCCA.COM

**NOTES:**

- 1) SEE 6/B4.0 FOR ACCESSORY MOUNTING HEIGHTS
- 2) SELECT ONE ITEM FROM ITEM GROUPS 4 & 6. VERIFY WITH AREA CONSTRUCTION MANAGER.
- 3) CUT BACK-UP SUPPORTS BETWEEN STUDS SO FACE OF SUPPORT IS FLUSH W/WALL STUD

**5 RESTROOM ACCESSORY SCHEDULE**  
B4.0

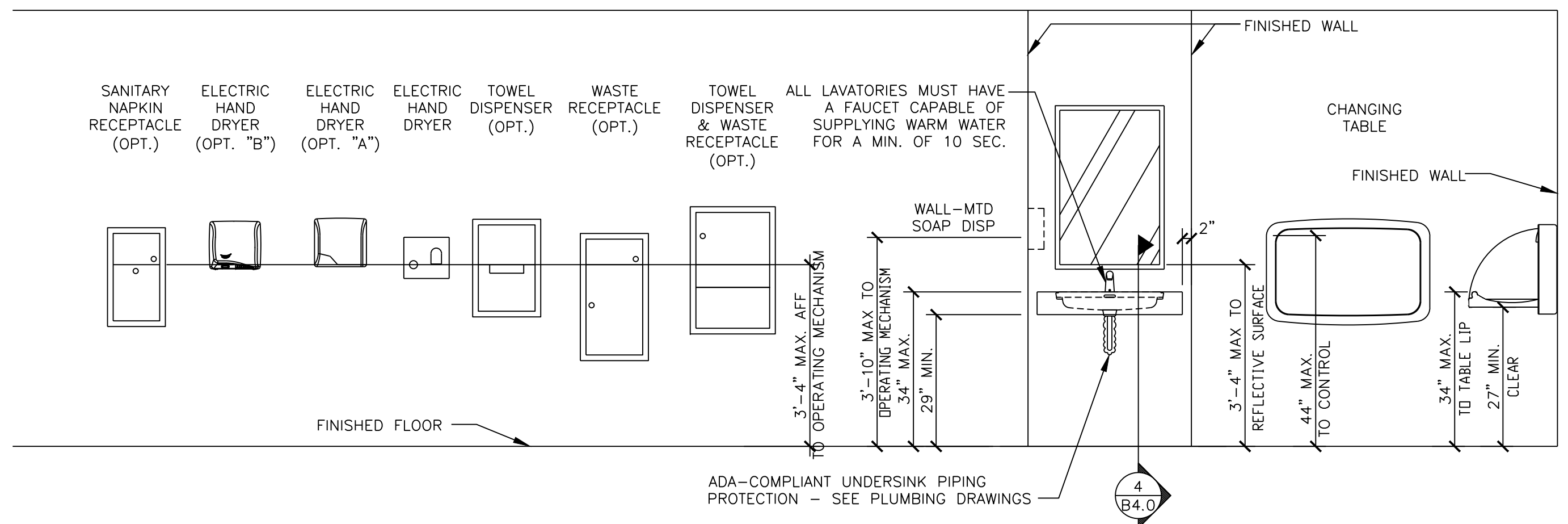
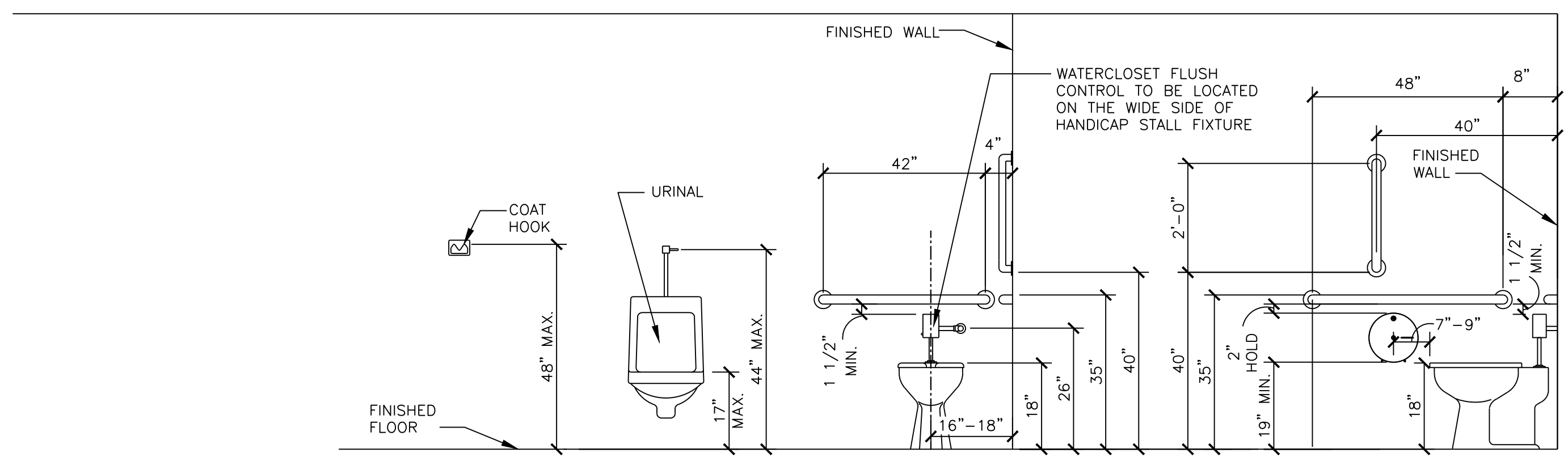


April 9, 2024

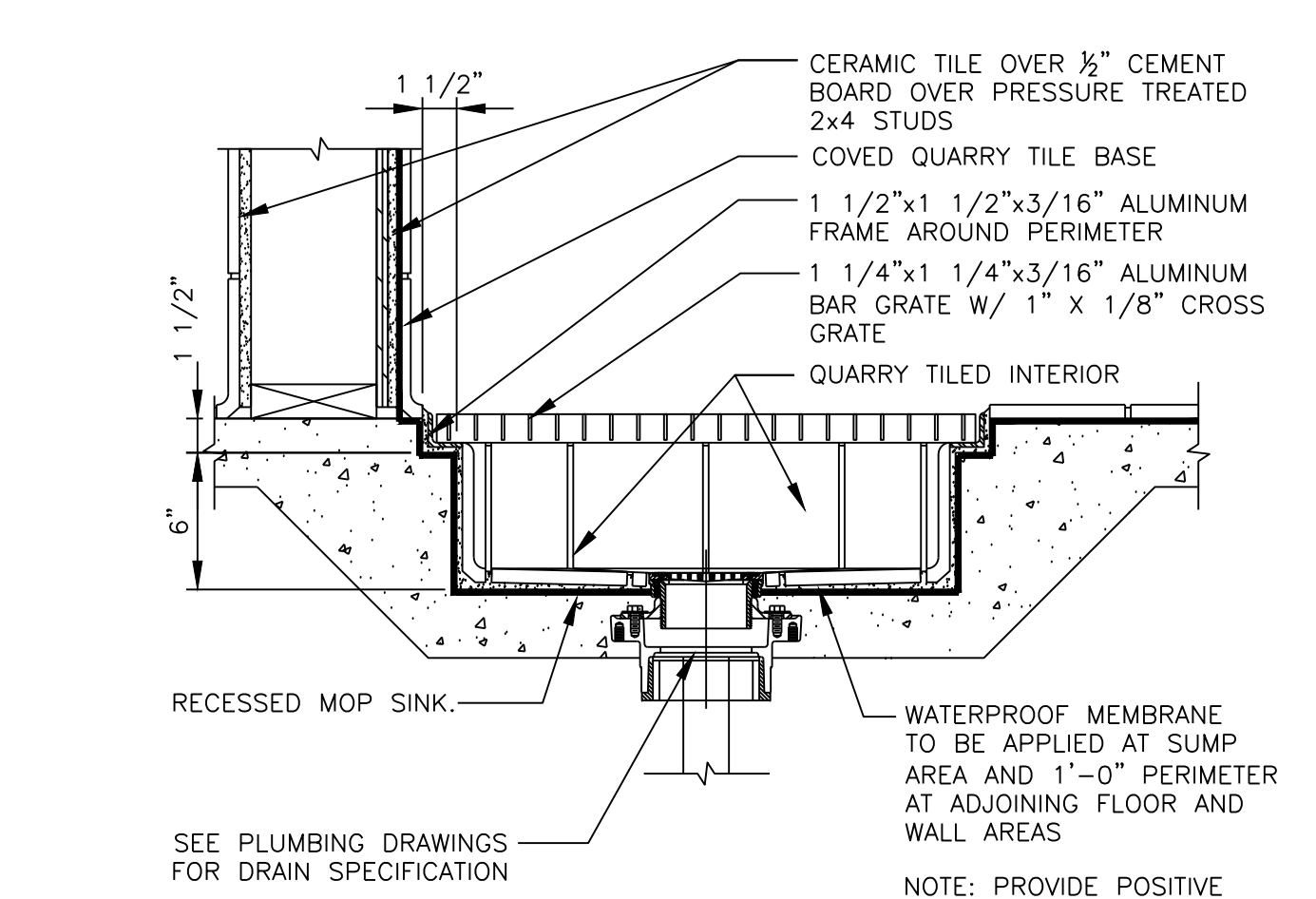
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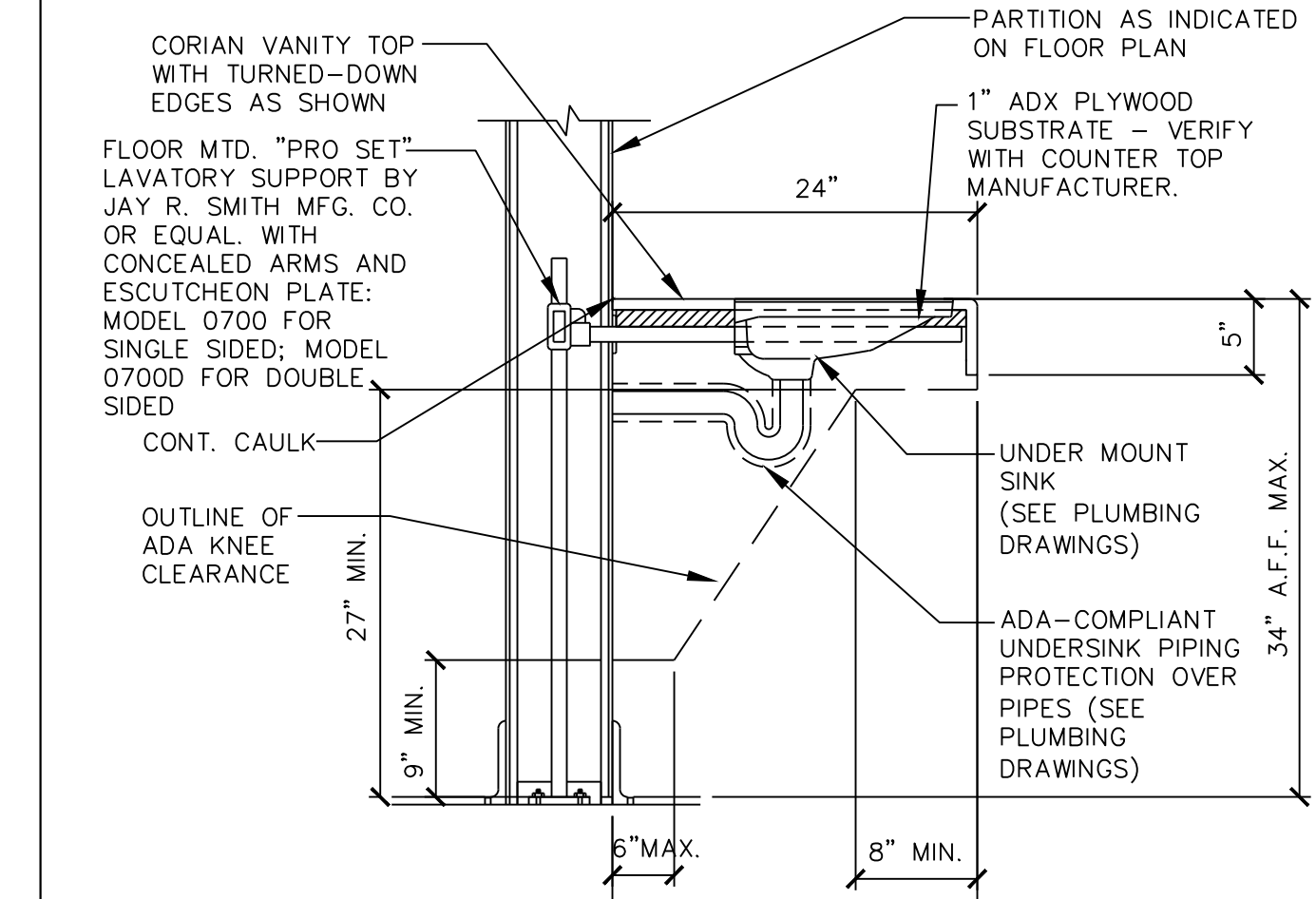
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DRAWN BY:	DATE:	
TEP PID NO.:	DATE:	
REVIEWED BY:	DATE:	
FTH	DATE:	
TITLE:	ALEXANDRIA - DUKE ST	
DESCRIPTION:	CONSTRUCTION DRAWINGS	
SHEET NO.:	B4.0 RESTROOM PLAN	
SITE ADDRESS:	3510 DUKE ST., ALEXANDRIA, VA 22304	
SITE ID:	45-0002	



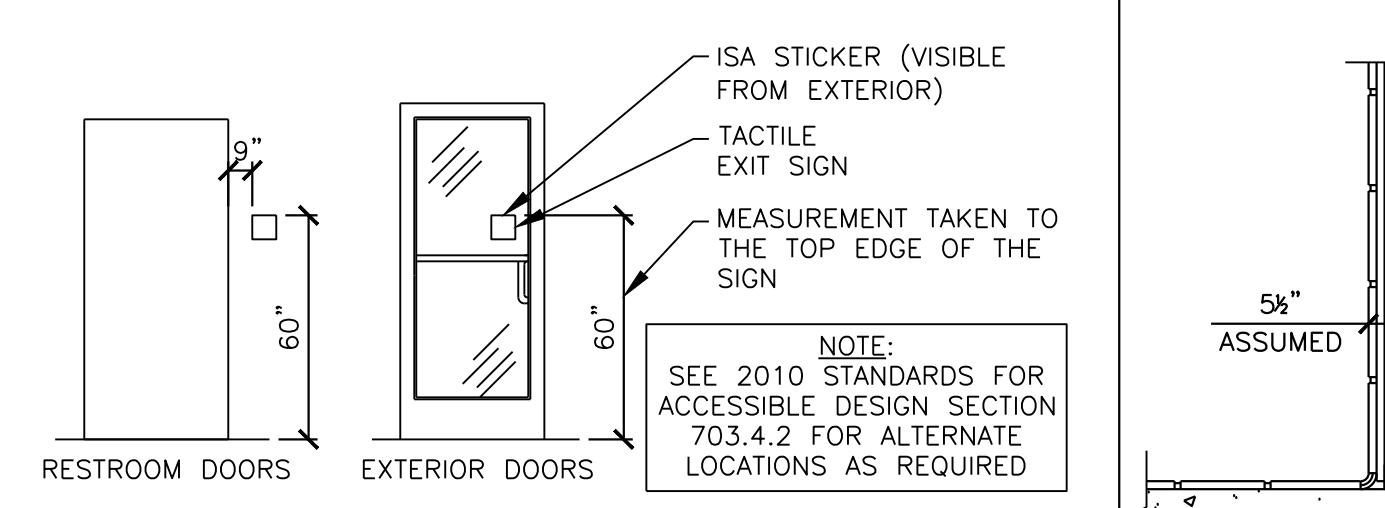
**6 RESTROOM FIXTURE AND ACCESSORY ELEVATIONS**  
B4.0 1/2" = 1'-0"



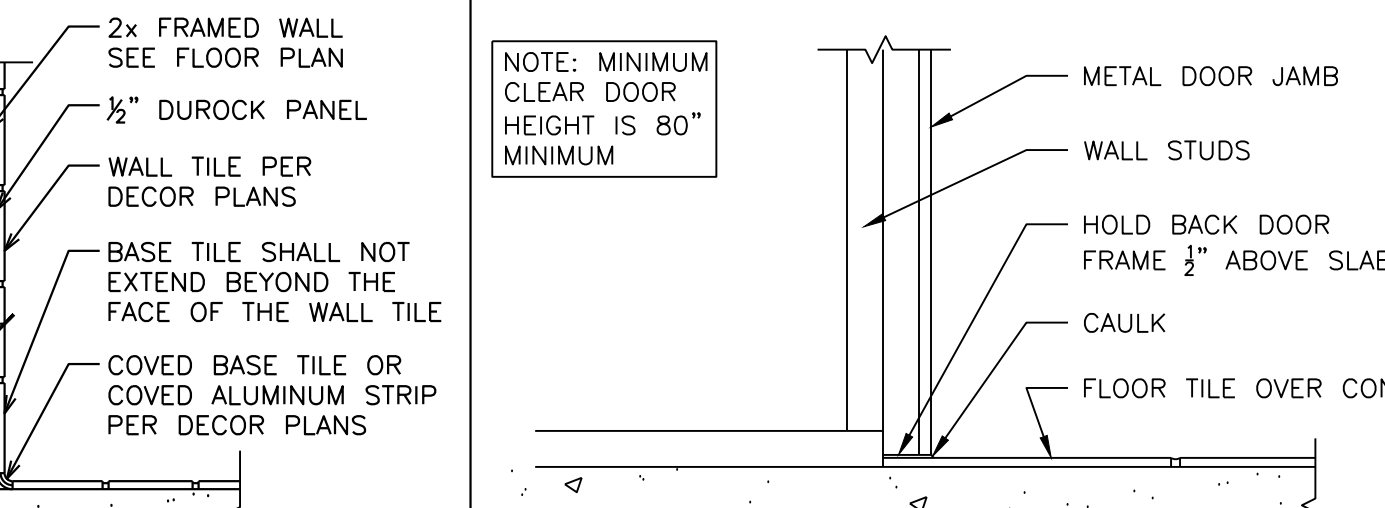
**3 SECTION @ MOP SINK**  
B4.0 N.T.S.



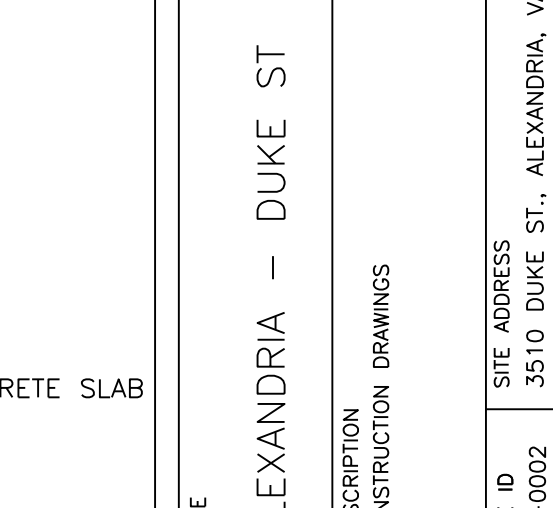
**4 SECTION @ LAVATORY**  
B4.0 1" = 1'-0"



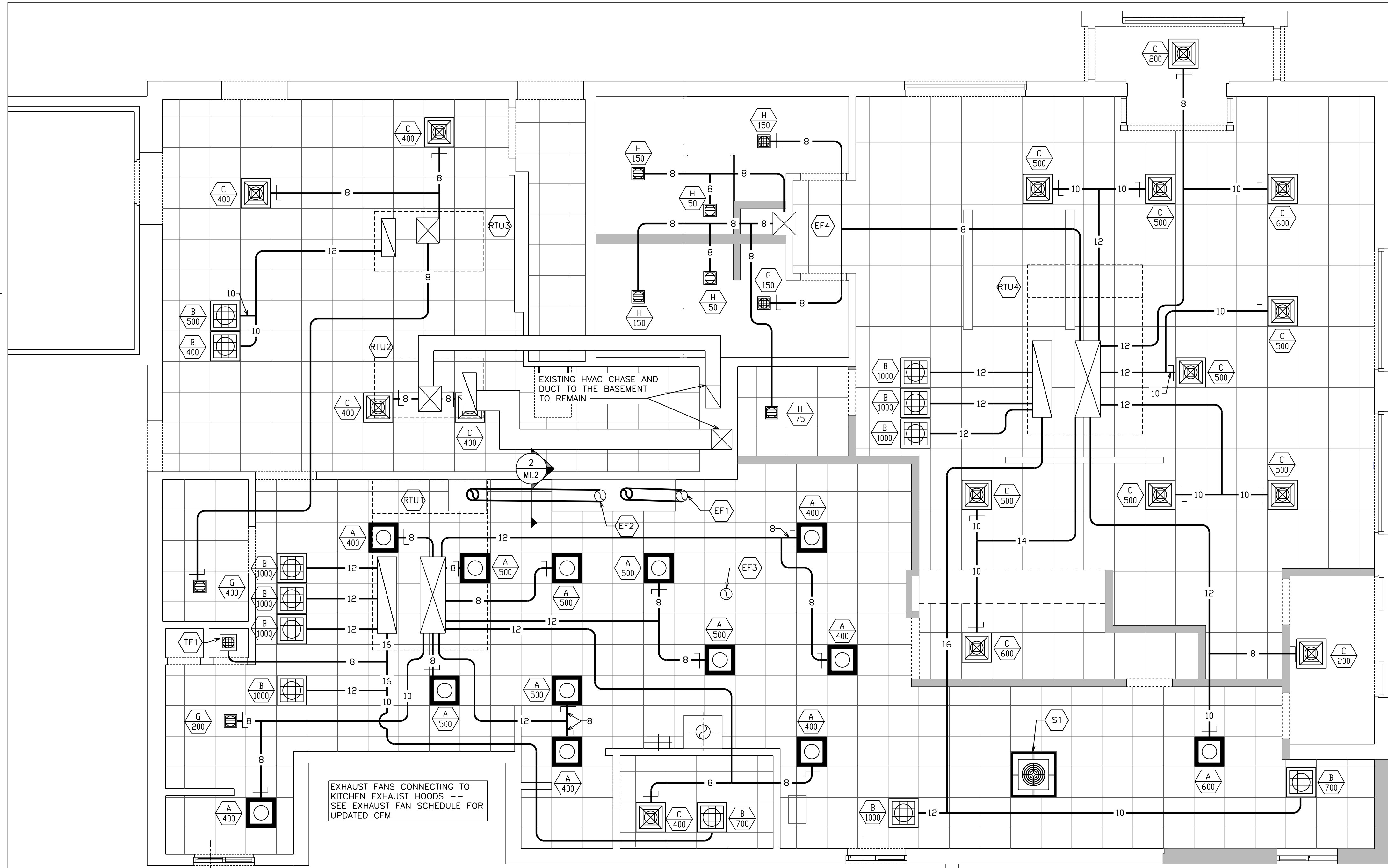
**8 DOOR SIGNAGE DETAILS**  
B4.0 N.T.S.



**9 FRAMED WALL DETAIL**  
B4.0 N.T.S.



**10 DETAIL AT BASE OF DOOR**  
B4.0 N.T.S.



1 REFLECTED CEILING PLAN  
M1.2 1/4"=1'-0"

**DRAWING NOTES**

- ALL DUCTWORK SHALL BE RUN BETWEEN OR THROUGH THE JOISTS UNLESS NOTED OTHERWISE. DUCTWORK DESIGNATED WITH (B.J.) SHALL BE RUN BELOW THE JOISTS.
- DUCT SIZES SHOWN ARE INTERNAL FREE AREA DIMENSIONS UNLESS NOTED OTHERWISE.
- ALL SHEET METAL DUCTWORK SHALL BE EXTERNALLY INSULATED. INSULATION IS NOT SHOWN FOR CLARITY. SEE MECHANICAL NOTES FOR INSULATION REQUIREMENTS.
- CARBON STEEL KITCHEN EXHAUST DUCTWORK SHALL BE EXTERNALLY INSULATED. INSULATION NOT SHOWN FOR CLARITY. SEE MECHANICAL NOTES AND DETAILS FOR INSULATION REQUIREMENTS.

**MECHANICAL NOTES**

- ALL PROPOSED DIFFUSER LOCATIONS APPROXIMATE. RELOCATE EXISTING DIFFUSERS WITHIN NEW CEILING GRID AS LENGTH OF CONNECTABLE DUCT WILL ALLOW. CONTRACTOR TO VERIFY DUCT SIZE AND DIFFUSER CONNECTION FOR PROPER FITTING.
- ALL HVAC EQUIPMENT, FLEXIBLE DUCTWORK, CONTROLS, AND COMPONENTS SHALL BE IN ACCORDANCE WITH McDONALD'S HVAC SYSTEM SPECIFICATIONS; NO SUBSTITUTIONS ARE PERMITTED. CONTACT THE McDONALD'S PROJECT MANAGER FOR THESE SPECIFICATIONS.
- THE REQUIRED HVAC COMPONENTS SHOULD BE PURCHASED AND SUPPLIED BY McDONALD'S, OR, PURCHASED BY THE GENERAL CONTRACTOR FROM A McDONALD'S APPROVED NATIONAL SUPPLIER. COORDINATE WITH THE McDONALD'S PROJECT MANAGER. THE COMPONENTS ARE AS LISTED:  
 A. INSULATED AIR CONDITIONING DUCTWORK (FLEXIBLE AND SHEET METAL)  
 B. ALL ACCESSORIES AS NOTED AND REQUIRED TO INSTALL A WORKING HVAC SYSTEM INCLUDING DRAWBANDS, BOOTS, STARTING COLLARS, FITTINGS, WEB HANGERS, ETC.

**MECHANICAL SCOPE**

- EXISTING HVAC TO REMAIN
- EXISTING FLEXIBLE DUCT TO BE REMOVED
- EXISTING SOLID DUCT TO REMAIN
- BALANCE PER AIR QUANTITIES SHOWN
- INSTALL NEW SPLIT SYSTEM IN BDAP - SEE M4.0 FOR SPLIT SYSTEM SCHEDULE

**AIR BALANCE SCHEDULE**

UNIT	OUTDOOR AIR	RETURN AIR	SUPPLY AIR	EXHAUST AIR	PRESSURE
BASE BUILDING					
RTU1	1300	4700	6000		+1300
RTU2	400	1200	1600		+400
RTU3	300	900	1200		+300
RTU4	1300	4700	6000		+1300
EF1				-1352	-1352
EF2				-482	-482
EF3				-720	-720
EF4				-475	-475
TF1				-100	-100
<b>TOTAL</b>	<b>3300</b>	<b>11500</b>	<b>14800</b>	<b>-3129</b>	<b>+171</b>

- NOTES:**
- BALANCING TOLERANCES ARE AS FOLLOWS:  
 HOODS: 0% TO +10%  
 OUTDOOR AIR: 0% TO +10%  
 SUPPLY AND RETURN AIR DIFFUSERS: -10% TO +10%  
 TOILET EXHAUST AIR: -10% TO +10%
  - THE NUMBER IN PARENTHESES REPRESENTS THE MINIMUM VENTILATION RATE FOR THE DEMAND CONTROL VENTILATION (ECONOMIZER POSITION 1).
  - EXHAUST HOODS SHALL BE BALANCED WITH A 4" VANE ANEMOMETER.

**EXHAUST FAN SCHEDULE**

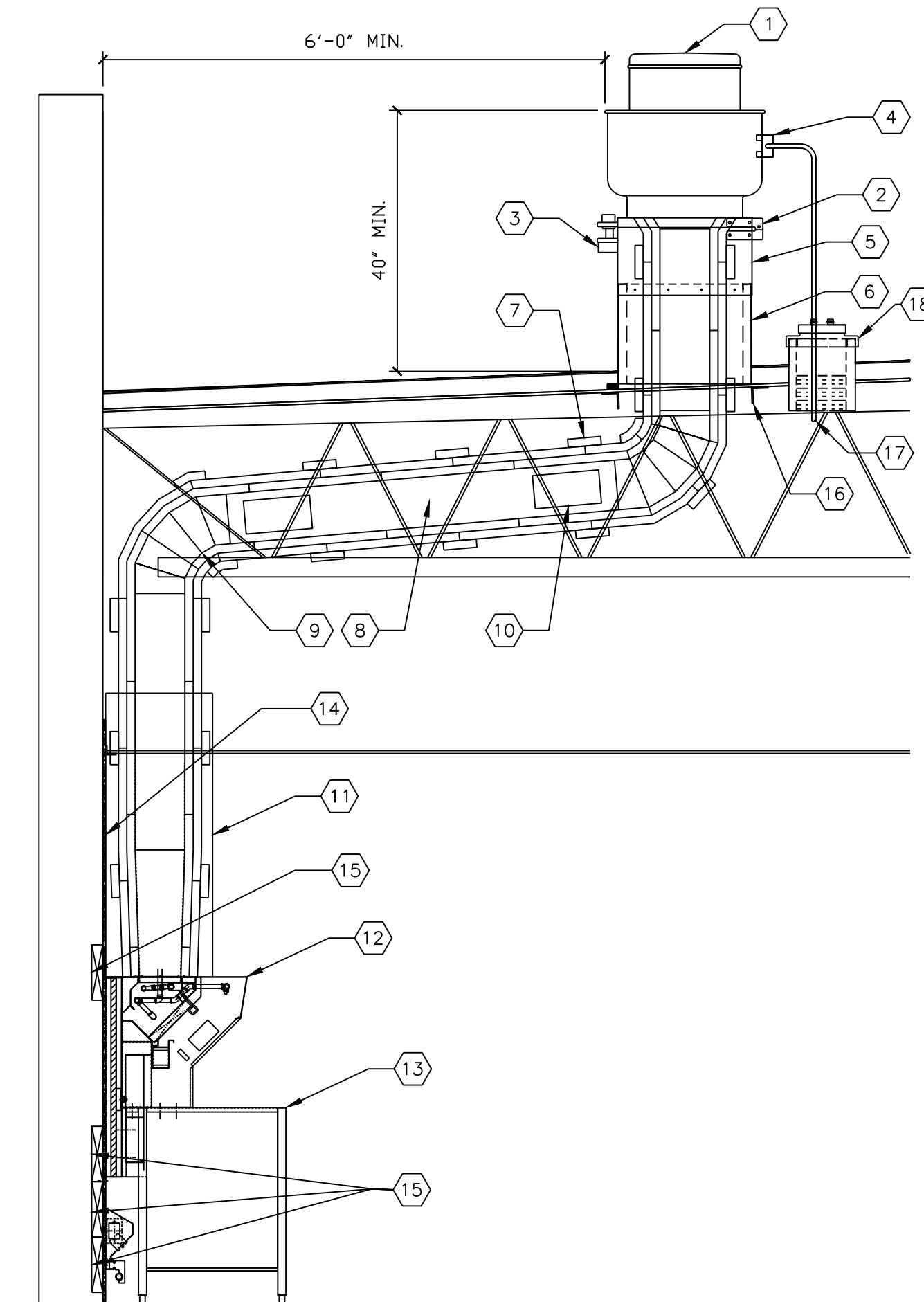
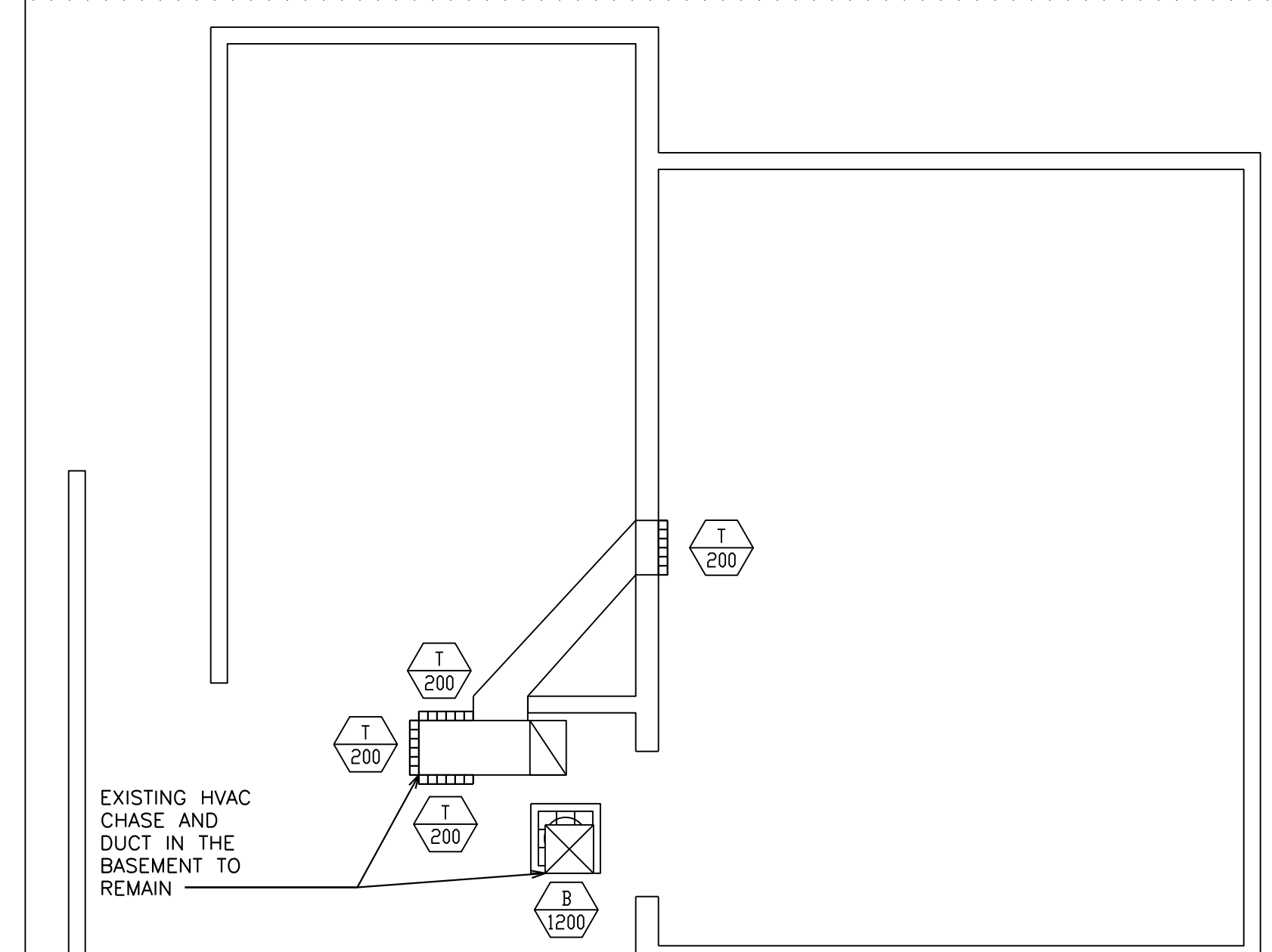
MARK	CFM	DUCT DIAMETER
EF-1	1352	12"
EF-2	482	7 1/2"
EF-3	720	EXISTING

- NOTES:**
- RECONFIGURE CFM TO MATCH EXHAUST SCHEDULE
  - RECONFIGURE DUCT WORK TO MATCH EXHAUST SCHEDULE
  - EXTEND BATHROOM DUCT AND ATTACH TO EXISTING EF-4

**KEYED NOTES:**

- UPBLAST EXHAUST FAN (SEE EXHAUST FAN SCHEDULE)
- HINGED CURB CAP FOR CLEANING ACCESS (FURNISHED WITH FAN)
- GREASE TRAP (FURNISHED WITH FAN)
- NEMA 3R DISCONNECT SWITCH (FURNISHED WITH FAN)
- 12" HIGH CURB EXTENSION (FURNISHED WITH FAN)
- 18" HIGH CURB (FURNISHED WITH FAN)
- TWO (2) LAYERS OF 1/2" THICK DUCT WRAP TO MEET ASTM E2336 INSTALLED PER MANUFACTURER'S INSTRUCTIONS (SEE MECHANICAL NOTES FOR INSULATION SPECIFICATION)
- 16 GAUGE BLACK IRON (CARBON STEEL) OR 18 GAUGE STAINLESS STEEL DUCTWORK WELDED LIQUID-TIGHT
- 5-GORE BLACK IRON (CARBON STEEL) RADIUS ELBOW
- 12"x6" ACCESS DOOR AT ALL CHANGES IN DIRECTION
- STAINLESS STEEL FASCIA PANEL TO PROTECT DUCTWORK AND INSULATION
- BACKSHELF TYPE EXHAUST HOOD (SEE KITCHEN EXHAUST HOOD SCHEDULE)
- COOKING APPLIANCE (SEE KITCHEN DRAWINGS)
- REAR WALL CONSTRUCTION SHALL CONSIST OF CERAMIC TILE OR MIN. 22 GAUGE STAINLESS STEEL OVER 5/8" TYPE X GYPSUM BOARD OR 1/2" CEMENT BOARD FROM FLOOR TO CEILING AND EXTENDING 24" TO EACH SIDE OF THE HOOD INSTALLED ON NON-COMBUSTIBLE WALL
- 2x10 LIGHT GAUGE STEEL FOR SUPPORT BLOCKING FOR HOOD AND RACEWAY (COORDINATE INSTALLATION WITH HOOD INSTALLER)
- STRUCTURAL FRAMING FOR ROOF OPENING (SEE STRUCTURAL DRAWINGS)
- TRANSITION TO FLEXIBLE CONDUIT UNDER ROOF PENETRATION WHERE ALLOWED BY CODE.
- ROOF PIPE PORTAL, RPS-N18(1) RC-2A 12x12x11H.

1 BASEMENT REFLECTED CEILING PLAN  
M1.2 1/4"=1'-0"



2 TYPICAL KITCHEN EXHAUST HOOD INSTALLATION  
M1.2 1/2"=1'-0"

REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

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DRAWN BY: DUA  
 TEP PID NO.:  
 REVIEWED BY: FTH  
 DATE ISSUED: 04/09/2024

TITLE: ALEXANDRIA - DUKE ST  
 DESCRIPTION: CONSTRUCTION DRAWINGS  
 SHEET NO.: M1.2  
 MECH. REFL. CEIL. PLAN

SHEET NO. 45-0002  
 SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304

MECHANICAL NOTES

GENERAL:
1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
2. ALL DIMENSIONS, CLEARANCES AND TOLERANCES SHALL BE VERIFIED PRIOR TO INSTALLATION.
3. ALL MATERIALS, FIXTURES AND EQUIPMENT USED SHALL BE IN ACCORDANCE WITH McDONALD'S SPECIFICATIONS...

20. ALL ROOFTOP CONDENSING UNITS THAT DISCHARGE HORIZONTALLY SHALL BE ORIENTED SUCH THAT THE DISCHARGE DOES NOT BLOW IN THE DIRECTION OF AN OUTDOOR AIR INTAKE.
COMMERCIAL KITCHEN EXHAUST SYSTEMS:
1. ALL METAL DUCTWORK USED FOR THE CONVEYANCE OF GREASE-LADEN AIR SHALL BE CONSTRUCTED OF MINIMUM 18 GAUGE STAINLESS STEEL OR 16 GAUGE CARBON STEEL (BLACK IRON).

CONDENSATE PIPING:
1. CONDENSATE PIPING SHALL BE GALVANIZED STEEL, COPPER OR PVC.
2. PVC PIPE SHALL BE PAINTED WITH WATER BASED LATEX PAINTING TO RESIST DEGRADATION FROM ULTRAVIOLET EXPOSURE.
3. PIPE SUPPORTS SHALL BE RPS MODEL PMP-2 OR EQUAL. QUANTITY AS REQUIRED DEPENDANT UPON PIPING MATERIAL.

Table with 3 columns: MATERIAL, MAX. HORIZ. SPACING, MAX. VERT. SPACING. Rows include COPPER PIPE, GALVANIZED STEEL, PVC.

REFRIGERANT PIPING:
1. ALL REFRIGERATION WORK SHALL BE PERFORMED BY A CERTIFIED REFRIGERATION CONTRACTOR.
2. ALL REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING OF TYPE L IN ACCORDANCE WITH ASTM B 88 AND ALL JOINTS SHALL BE SOLDERED.

CO2 DETECTION EQUIPMENT:
1. THE CO2 DETECTOR SHALL BE HARD-WIRED TO PREVENT TAMPERING AND SHALL BE INSTALLED AT 12" A.F.F. WITHIN A 5 FT. RADIUS OF THE CO2 STORAGE TANKS.
2. ONE (1) AUDIBLE AND ONE (1) VISUAL ALARM SHALL BE INSTALLED A MINIMUM OF 7 FT. A.F.F., IN PLAIN SIGHT IN THE SAME ROOM AS THE CO2 STORAGE TANKS.

NATURAL GAS SYSTEMS (IF APPLICABLE):
1. ALL GAS PIPING, WATER HEATER VENTS, INTAKES AND FLUES SHALL CONFORM TO THE CURRENT VERSION OF NFPA 54, NATIONAL FUEL GAS CODE, AND ANY LOCAL CODE REQUIREMENTS.
2. THE NATURAL GAS MAIN PIPE SIZING IS BASED ON THE FOLLOWING: A. MINIMUM SUPPLY PRESSURE AT THE METER OF 2 PSIG B. 1 PSIG PRESSURE DROP FROM METER TO FARTHEST APPLIANCE C. 1,000 BTU PER CU. FT. OF NATURAL GAS

LEGEND

Table mapping symbols to descriptions: TS TEMPERATURE SENSOR, AT5 AVERAGING TEMPERATURE SENSOR, CO2 CO2 SENSOR FOR ROOFTOP UNIT DEMAND CONTROL VENTILATION, HS HUMIDITY SENSOR, T THERMOSTAT, SMOKE DETECTOR, EQUIPMENT TAG, DIFFUSER INFORMATION, SUPPLY AIR DUCT (VERTICAL), RETURN OR EXHAUST AIR DUCT (VERTICAL), ROUND DUCT (VERTICAL), STEADY-STATE SPEED CONTROLLER, SUPPLY AIR MAKE MODEL, RETURN AIR MAKE MODEL, 4 WAY SUPPLY AIR MAKE MODEL, 2 WAY SUPPLY AIR MAKE MODEL, SUPPLY AIR MAKE MODEL, 12X12 SUPPLY AIR MAKE MODEL, 12X12 EXHAUST AIR MAKE MODEL, EXISTING SUPPLY AIR TO REMAIN, EXISTING RETURN AIR TO REMAIN, EXISTING EXHAUST AIR GRILLE, SPIN-IN COLLAR WITH VOLUME DAMPER, VOLUME DAMPER, EXISTING FLEXIBLE DUCTWORK (NUMBER DESIGNATES INSIDE DIA.), NEW FLEXIBLE DUCTWORK (NUMBER DESIGNATES INSIDE DIAMETER), SHEET METAL "T" FOR FLEX DUCTWORK

CONTROLS

Table with columns: SYMBOL, DESCRIPTION, MANUFACTURER, MODEL. Rows include 24V THERMOSTAT (ROOFTOP UNITS), REMOTE TEMPERATURE SENSOR, REMOTE AVERAGING TEMPERATURE SENSOR, REMOTE HUMIDITY SENSOR, BULK CO2 DETECTION SYSTEM.

SPLIT SYSTEM SCHEDULE

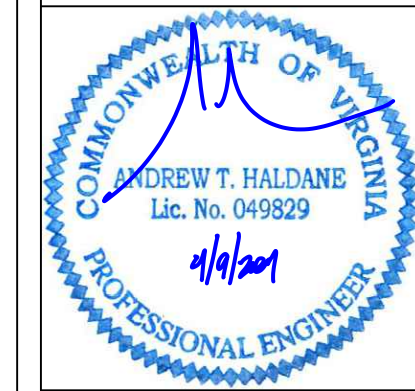
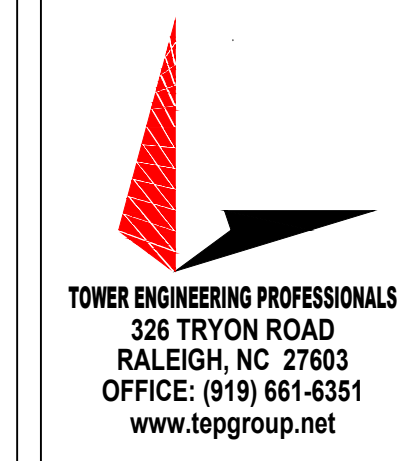
Table with columns: MARK, MANUFACTURER, MODEL NUMBER. Row: S1, TRANE, TPLA0A0361EA70A.

NOTES:
1. INSTALL PER MANUFACTURER'S INSTRUCTIONS
2. DO NOT INSTALL ABOVE ANY FOOD PREPARATION SURFACES

ABBREVIATIONS

Table mapping abbreviations to full names: ACM AREA CONSTRUCTION MANAGER, B.J. BELOW JOISTS, BSI BEVERAGE SYSTEM INSTALLER, DCV DEMAND CONTROL VENTILATION, E.A. EXHAUST AIR, EC ELECTRICAL CONTRACTOR, FAC FIRE ALARM CONTRACTOR, FOB FLAT ON BOTTOM, FOT FLAT ON TOP, FPC FIRE PROTECTION CONTRACTOR, GC GENERAL CONTRACTOR, I.D. INSIDE DIMENSION, KEI KITCHEN EQUIPMENT INSTALLER, KES KITCHEN EQUIPMENT SUPPLIER, M.A. (S) MIXED AIR - SUMMER, M.A. (W) MIXED AIR - WINTER, MC MECHANICAL CONTRACTOR, O.A. OUTDOOR AIR, O.D. OUTSIDE DIMENSION, O/O OWNER/OPERATOR, PC PLUMBING CONTRACTOR, R.A. RETURN AIR, RC REFRIGERATION CONTRACTOR, S.A. SUPPLY AIR, S.P. STATIC PRESSURE, TAB TEST AND BALANCE CONTRACTOR

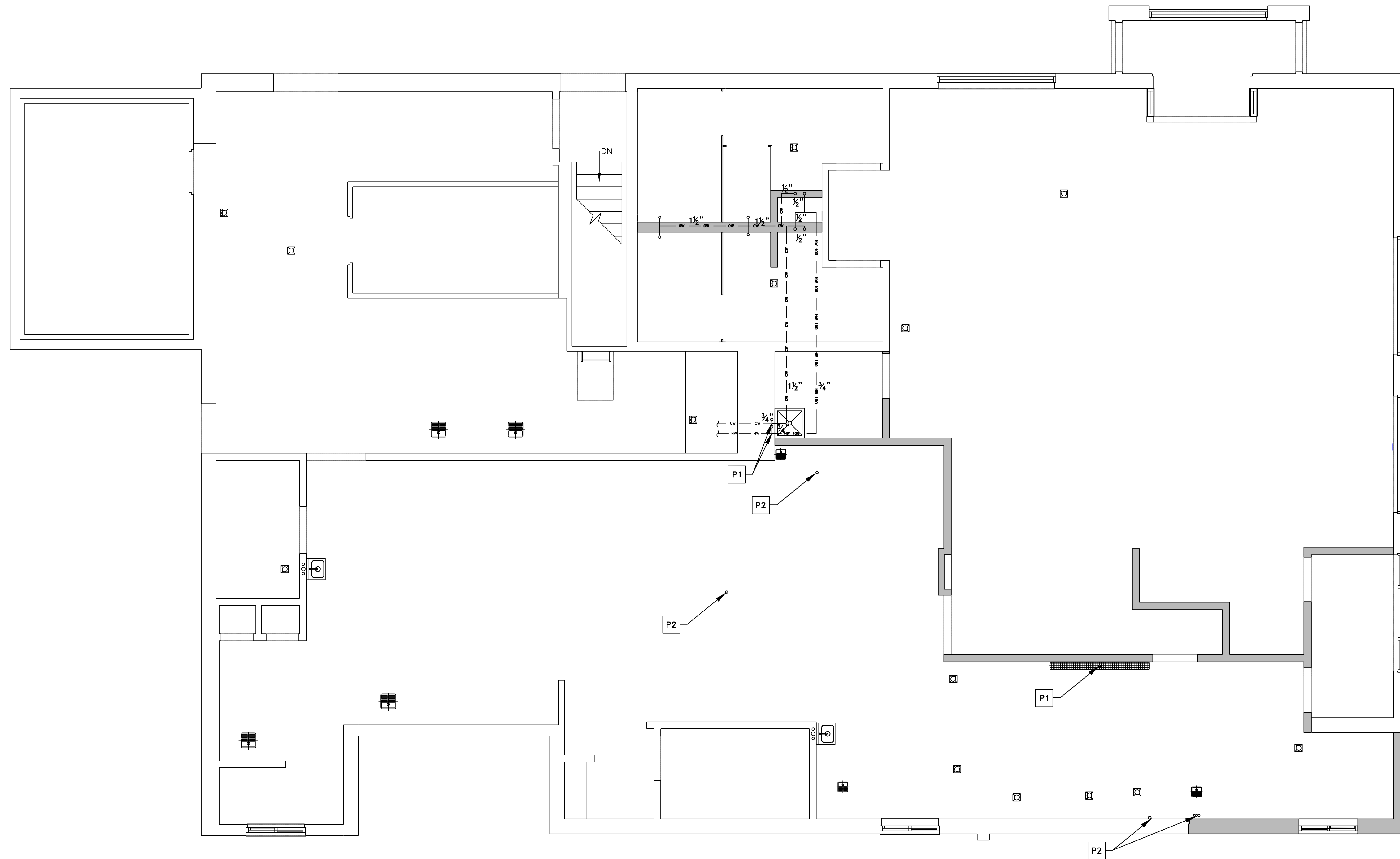
Table for revision tracking with columns: REV, DATE, DESCRIPTION. Row: 0, 04/09/2024, FOR CONSTRUCTION.



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M4.0 GENERAL NOTES



1 DOMESTIC WATER PIPING PLAN  
 P1.0 1/4" = 1'-0"

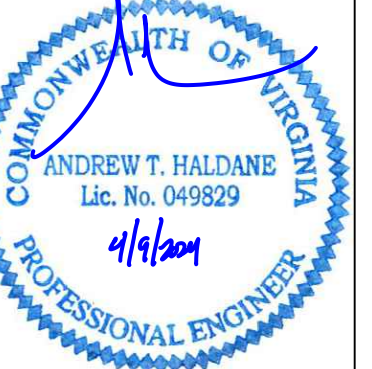
**DRAWING NOTES**

1. PIPING ROUTES AS SHOWN ARE GENERAL AND MAY VARY DUE TO FIELD CONDITIONS. COORDINATE ALL PIPE ROUTES WITH OTHER TRADES.
2. ALL WATER DISTRIBUTION PIPING SHALL BE INSULATED. INSULATION NOT SHOWN FOR CLARITY. SEE PLUMBING NOTES FOR INSULATION REQUIREMENTS.

**KEYED NOTES**

- P1 CONNECT TO EXISTING WATER SUPPLY LINES
- P2 EXTEND FILTERED WATER SUPPLY TO PROPOSED EQUIPMENT

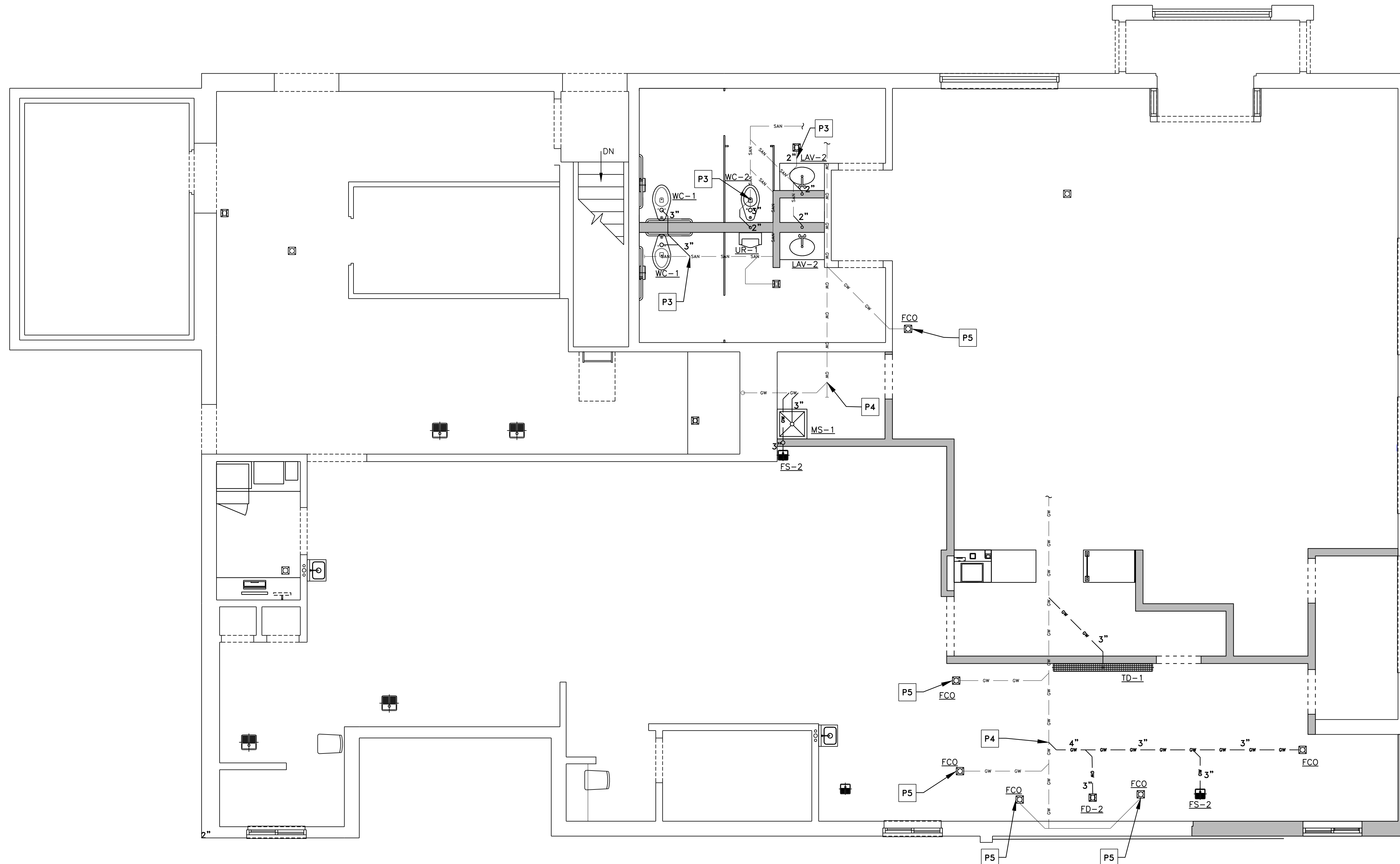
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April 9, 2024

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DRAWN BY DJA	TEP PID NO. -	REVIEWED BY FTH	DATE ISSUED 04/09/2024	TITLE
				ALEXANDRIA - DUKE ST
DESCRIPTION CONSTRUCTION DRAWINGS				SITE ADDRESS 3510 DUKE ST., ALEXANDRIA, VA 22304
SHEET NO. <b>P1.0</b>				DOMESTIC PIPING PLAN



1 WASTE PIPING PLAN  
 P1.1 1/4" = 1'-0"

**LEGEND**

FCO	6x6 FLOOR CLEAN OUT SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
FD-2	6x6 FLOOR DRAIN SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
FS-2	8x8 FLOOR SINK WITH HALF-GRATE SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
LAV-2	STAINLESS STEEL HAND SINK SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
MS-1	MOP SINK SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
ID-1	TRENCH DRAIN SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
UR-1	ADA WALL HUNG URINAL SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
WC-1	PLUMBING FIXTURE TAG SEE PLUMBING FIXTURE SCHEDULE ON SHEET P4.0
CTE	CONNECT TO EXISTING

**DRAWING NOTES**

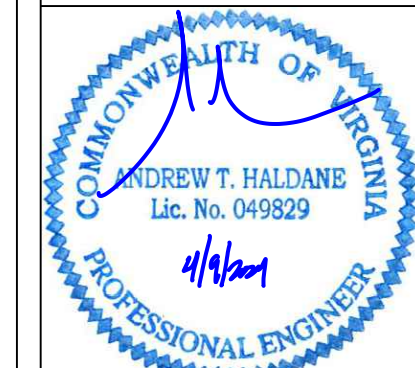
1. PIPING ROUTES ARE GENERAL AND MAY VARY DUE TO FIELD CONDITIONS. COORDINATE ALL PIPE ROUTES WITH OTHER TRADES.
2. WALL CLEAN-OUTS FOR WASTE PIPING NOT SHOWN FOR CLARITY. SEE GENERAL NOTES FOR REQUIREMENTS.
3. ONLY MAIN FLOOR CLEAN-OUTS ARE SHOWN FOR CLARITY. SEE GENERAL NOTES FOR REQUIREMENTS.

**KEYED NOTES**

- P3 CONNECT TO EXISTING SANITARY WASTE - CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD
- P4 CONNECT TO EXISTING GREASE WASTE - CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD
- P5 REPLACE EXISTING FIXTURE WITH FCO

REV	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

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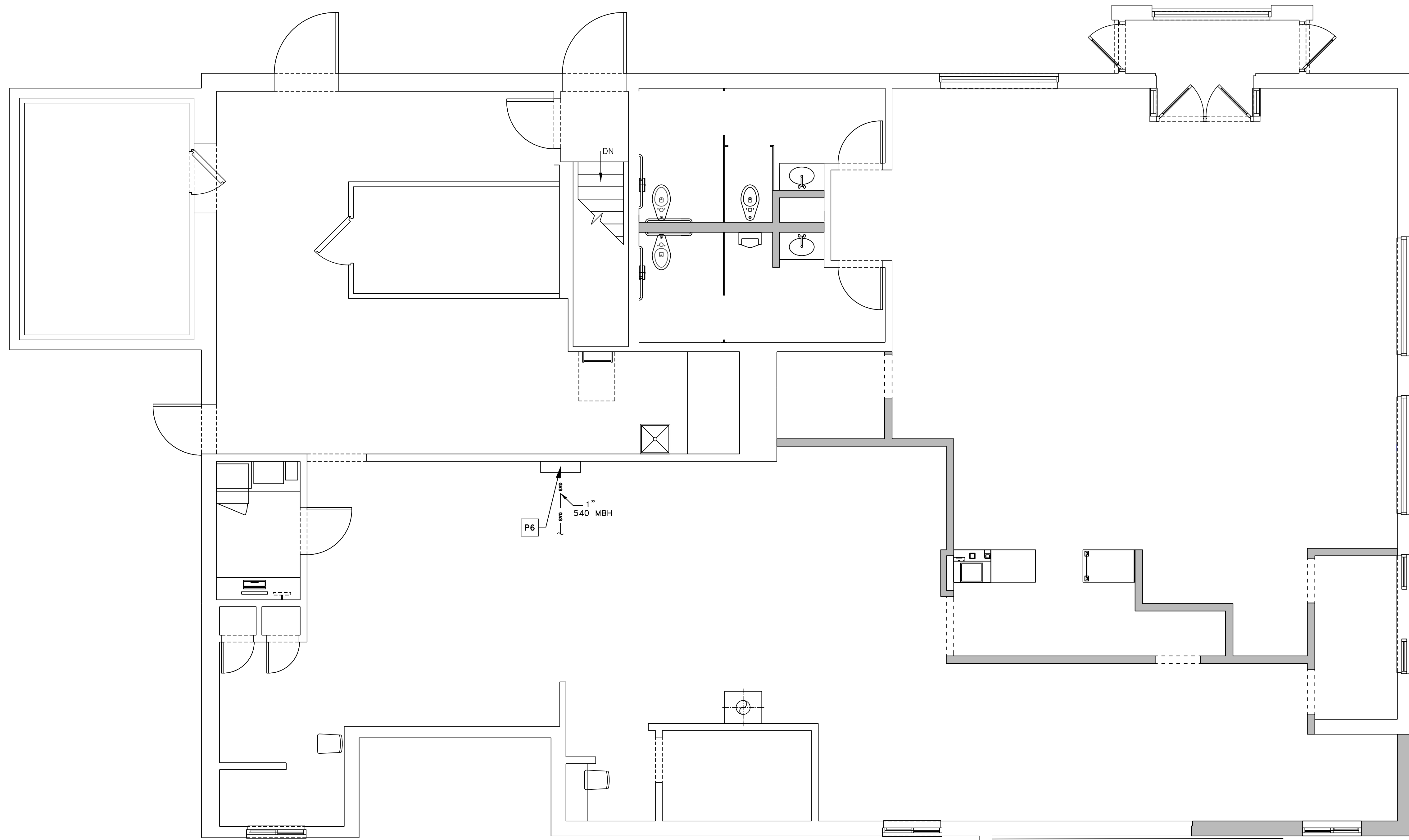


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PREPARED FOR:	McDonald's USA, LLC
DRAWN BY:	DJA
TEP PID NO.:	-
REVIEWED BY:	FTH
DATE ISSUED:	04/09/2024
TITLE:	ALEXANDRIA - DUKE ST
DESCRIPTION:	CONSTRUCTION DRAWINGS
SITE ADDRESS:	3510 DUKE ST., ALEXANDRIA, VA 22304
SHEET NO.:	P1.1
WASTE PIPING PLAN	





1 MECHANICAL PIPING PLAN  
 P1.2 1/4" = 1'-0"

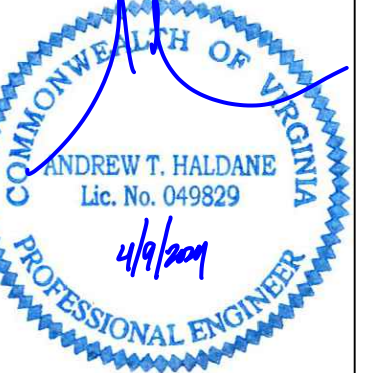
**DRAWING NOTES**

- REFRIGERANT PIPE SIZES SHALL BE PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**KEYED NOTES**

- P6** GAS PIPE DOWN IN CHASE TO COOKING APPLIANCE – APPROX. 11 FT. DROP

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DRAWN BY: DUA  
 TEP PID NO.:  
 REVIEWED BY: FTH  
 DATE ISSUED: 04/09/2024

TITLE: ALEXANDRIA – DUKE ST  
 DESCRIPTION: CONSTRUCTION DRAWINGS

SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304  
 SITE ID: 45-0002

SHEET NO. P1.2  
 MECHANICAL PIPING PLAN

REV	DATE	DESCRIPTION
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GENERAL PLUMBING NOTES

- GENERAL: 1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. 2. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER. 3. ALL DIMENSIONS, CLEARANCES AND TOLERANCES SHALL BE VERIFIED PRIOR TO INSTALLATION. 4. ALL DIMENSIONAL INFORMATION IS AS FOLLOWS (UNLESS NOTED OTHERWISE): A. UNDERGROUND PIPE IS TO FOUNDATION B. OVERHEAD PIPE IS TO FINISHED WALL C. ELEVATIONS ARE TO FINISHED FLOOR

SANITARY AND VENT SYSTEMS: 1. THE BUILDING SANITARY PIPE SHALL BE LOCATED A MINIMUM OF 5 FT. FROM THE INCOMING WATER SERVICE... 2. ALL SANITARY AND VENT PIPE SHALL BE PVC TYPE DWV, ABS OR CAST-IRON WHERE REQUIRED BY CODE.

3. ALL HORIZONTAL SANITARY PIPE SHALL BE INSTALLED WITH A MINIMUM PITCH AS FOLLOWS: PIPE SIZE MIN. SLOPE 2 1/2" OR LESS 1/4" PER FT. 3" TO 6" 3/8" PER FT. 8" OR LARGER 1/2" PER FT.

4. CLEANOUTS SHALL BE INSTALLED IN ALL HORIZONTAL DRAINAGE PIPE AND SHALL BE LOCATED NOT MORE THAN 100 FT. APART. 5. CLEANOUTS SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION GREATER THAN 45 DEGREES.

6. CLEANOUTS SHALL BE INSTALLED ON PIPES PRIOR TO ANY SLAB PENETRATION. 7. WHERE PIPING IS LOCATED WITHIN WALL CAVITIES, ACCESS TO THE CLEANOUTS SHALL BE PROVIDED. 8. CLEANOUTS ON 6-IN. AND SMALLER PIPES SHALL BE PROVIDED WITH A CLEARANCE OF NOT LESS THAN 18 IN.

9. ALL SUSPENDED SANITARY AND VENT PIPE SHALL BE SUPPORTED AS FOLLOWS: MATERIAL MAX. HORIZ. SPACING MAX. VERT. SPACING ABS 4 FT. 10 FT. PVC (TYPE DWV) 4 FT. 10 FT. CAST-IRON (<10 FT. PIPE SECTIONS) 5 FT. 15 FT. CAST-IRON (10 FT. PIPE SECTIONS) 10 FT. 15 FT.

10. ALL PLUMBING FIXTURES SHALL BE VENTED AND THE MAXIMUM DISTANCE FROM THE FIXTURE TRAP TO THE VENT SHALL BE AS FOLLOWS: TRAP SIZE SLOPE DISTANCE 1 1/4" 1/4" PER FT. 2'-6" 1 1/2" 1/4" PER FT. 3'-6" 2" 1/4" PER FT. 5'-0" 3" 3/8" PER FT. 6'-0" 4" & LARGER 1/2" PER FT. 10'-0"

11. ALL PLUMBING VENTS THROUGH THE ROOF SHALL TERMINATE A MINIMUM OF 12 INCHES ABOVE THE ROOF AND SHALL BE LOCATED A MINIMUM OF 8 FT. FROM ANY PARAPET WALL. 12. ALL PLUMBING VENTS SHALL TERMINATE A MINIMUM OF 10 FT. HORIZONTALLY FROM ANY OUTDOOR AIR INTAKE. 13. ALL SIDE WALL VENT TERMINATIONS SHALL BE PROTECTED TO PREVENT BIRDS OR RODENTS FROM ENTERING OR BLOCKING THE VENT OPENING.

GREASE INTERCEPTORS: 1. SEE SITE PLAN FOR THE SIZE AND LOCATION OF THE GREASE INTERCEPTOR. 2. THE GREASE INTERCEPTOR SHALL BE INSTALLED IN A LOCATION THAT IS ACCESSIBLE FOR PUMPING. 3. THE GREASE INTERCEPTOR SHALL BE CONSTRUCTED OF FIBERGLASS OR PRECAST CONCRETE. 4. PRECAST CONCRETE INTERCEPTORS SHALL BE CAPABLE OF 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. 5. THE GREASE INTERCEPTOR SHALL BE VENTED IN ACCORDANCE WITH THE LOCAL CODE OR THE MANUFACTURER'S REQUIREMENTS.

GREASE INTERCEPTORS: (CONT.) 6. ACCESS TO THE GREASE INTERCEPTOR SHALL BE PROVIDED WITH 24-IN. MANHOLES. ALL SURFACE WATER MUST DRAIN AWAY FROM MANHOLES. 7. PIPING INLET AND OUTLET SIDES SHALL BE CLEARLY LABELED ON THE TOP OF THE GREASE INTERCEPTOR TO INSURE PROPER INSTALLATION.

DOMESTIC SUPPLY SYSTEMS: 1. THE INCOMING WATER SERVICE PIPE SHALL BE LOCATED A MINIMUM OF 5 FT. FROM THE EXITING SANITARY PIPE. 2. ALL UNDERGROUND SITE PLUMBING SHALL CONFORM TO NSF 61. 3. INCOMING WATER SERVICE PRESSURE SHOULD BE BETWEEN 45 AND 55 PSI STATIC. 4. IF THE RESTAURANT HAS A COMBINED WATER AND FIRE SPRINKLER SERVICE, THE INCOMING WATER SERVICE SHALL BE SIZED BASED ON THE FIRE SPRINKLER CONTRACTOR'S HYDRAULIC CALCULATIONS.

5. PROVIDE A MINIMUM 1/2" ANNUAL CLEARANCE AROUND ALL PIPE SLAB PENETRATIONS. 6. A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (RPZ) SHALL BE INSTALLED AT THE INCOMING SERVICE WHERE REQUIRED BY CODE. 7. AN EXPANSION TANK SHALL BE INSTALLED ON THE COLD WATER LINE INLET TO THE WATER HEATER. 8. ALL WATER SUPPLY PIPE WITHIN 5 FT. OF THE BUILDING AND INSIDE THE BUILDING SHALL COMPLY WITH NSF 61 AND SHALL BE TYPE L COPPER TUBING, COPPER PIPE OR CPVC PIPE.

9. CPVC PIPE SHALL BE FLOWGUARD GOLD OR FLOWGUARD BENDABLE AS MANUFACTURED BY LUBRIZOL. 10. CPVC PIPE SHALL BE CONNECTED WITH FLOWGUARD GOLD YELLOW LOW-VOC SOLVENT CEMENT AS MANUFACTURED BY IPS WELD-ON OR OATEY. 11. ALL CPVC PIPE SHALL BE INSULATED TO PREVENT EXPOSURE TO GREASE. 12. ALL SUSPENDED PIPE SHALL BE SUPPORTED AS FOLLOWS:

MATERIAL MAX. HORIZ. SPACING MAX. VERT. SPACING COPPER PIPE 12 FT. 10 FT. COPPER TUBING <1 1/2" 6 FT. 10 FT. COPPER TUBING >1 1/2" 10 FT. 10 FT. CPVC <1" 3 FT. 10 FT. CPVC >1 1/2" 4 FT. 10 FT. 13. A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (RPZ) SHALL BE INSTALLED AT THE INLET TO THE WATER FILTRATION SYSTEM. 14. ALL DEVICES, APPLIANCES, AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM.

15. ALL WATER SUPPLY LINES SHALL BE PROVIDED WITH A QUARTER-TURN SHUT-OFF VALVE BEFORE FINAL CONNECTION TO EQUIPMENT. 16. QUARTER-TURN SHUT-OFF VALVES SHALL BE INSTALLED UPSTREAM OF ANY INLINE BACKFLOW PREVENTION DEVICE. 17. ALL VALVES AND BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED WITH FITTINGS THAT FACILITATE REMOVAL IN CASE OF FAILURE.

18. ALL OVERHEAD WATER LINES SHALL BE INSULATED WITH 1" THICK EXTERNAL JACKETED INSULATION AND A MINIMUM INSTALLED R-VALUE OF 3.5. 19. PRIOR TO BUILDING TURNOVER, THE DOMESTIC WATER SUPPLY SYSTEM SHALL BE PURGED OF DELETERIOUS MATERIAL AND DISINFECTED. 20. PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE LOCAL HEALTH CODE, PLUMBING CODE OR IN ACCORDANCE WITH AWWA C651 OR AWWA C652.

STORM DRAINAGE SYSTEMS: 1. ALL ROOF DRAINS SHALL BE SIZED IN ACCORDANCE WITH LOCAL CODES AND SHALL CONFORM TO ASME A112.21.2M OR A112.3.1. 2. ALL STORM DRAINAGE PIPING SHALL BE ABS, PVC TYPE DWV OR CAST-IRON WHERE REQUIRED BY CODE. 3. ALL SUSPENDED STORM DRAINAGE PIPE SUPPORT REQUIREMENTS SHALL BE THE SAME AS THE SANITARY AND VENT REQUIREMENTS.

4. ALL HORIZONTAL STORM DRAINAGE PIPE PITCH REQUIREMENTS SHALL BE THE SAME AS THE SANITARY AND VENT REQUIREMENTS. 5. ALL HORIZONTAL STORM DRAINAGE PIPE SHALL BE INSULATED WITH 1" THICK EXTERNAL JACKETED INSULATION AND A MINIMUM INSTALLED R-VALUE OF 3.5 TO PROTECT AGAINST CONDENSATION. 6. CLEANOUTS SHALL BE INSTALLED IN ALL HORIZONTAL DRAINAGE PIPE AND SHALL BE LOCATED NOT MORE THAN 100 FT. APART.

7. CLEANOUTS SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION GREATER THAN 45 DEGREES. 8. CLEANOUTS SHALL BE INSTALLED ON PIPES PRIOR TO ANY SLAB PENETRATION. 9. WHERE PIPING IS LOCATED WITHIN WALL CAVITIES, ACCESS TO THE CLEANOUTS SHALL BE PROVIDED.

10. ROOF DRAINS AND OVERFLOW ROOF DRAINS SHALL BE PIPED INDEPENDENTLY. OVERFLOW ROOF DRAINS SHALL NOT BE CONNECTED TO THE PRIMARY ROOF DRAINAGE SYSTEM.

PLUMBING FIXTURE SCHEDULE

Table with columns: TAG, DESCRIPTION, MANUFACTURER, MODEL, WATER USE, ACCESSORIES/COMMENTS. Includes items like FAUCET FOR LAV-1 & LAV-2, FLOOR CLEAN OUT, FLOOR DRAIN, FLOOR SINK, HAND SINK, URINAL, WASHING MACHINE, WATER CLOSET, etc.

NOTES: 1. SEE McDONALD'S PROJECT MANUAL FOR ADDITIONAL MANUFACTURERS. 2. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE BLOCKING FOR PROPER URINAL SUPPORT. 3. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE INTERIOR BLOCKING ON W/W BUILDING FOR WALL CLAMP. 4. YARD HYDRANT IS FOR TRASH CURRAL - SEE SITE PLAN FOR LOCATION. 5. PLUMBING CONTRACTOR SHALL ROUTE 1/2" DRAIN PIPE FROM HOSE BIBB TO NEAREST FLOOR DRAIN OR FLOOR SINK. 6. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE BLOCKING FOR PROPER SINK SUPPORT. 7. SEE KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION - PLUMBING CONTRACTOR SHALL COORDINATE INSTALLATION WITH K.E.S. 8. PLUMBING CONTRACTOR SHALL SPECIFY CONNECTION MATERIAL/TYPPE WHEN ORDERING. 9. PLUMBING CONTRACTOR SHALL SPECIFY BURY DEPTH WHEN ORDERING. 10. PLUMBING CONTRACTOR SHALL PROVIDE GRID DRAIN, P-TRAP AND VALVE STOPS FOR ALL SINKS & LAVS.

LEGEND

Legend table with symbols and descriptions: COLD WATER PIPING, TEMPERED WATER PIPING (100°F), HOT WATER PIPING (140°F), GAS PIPING, OVERHEAD LINES (BY P.C.), UNDERGROUND SANITARY PIPING, VENT PIPING, ABOVE GROUND STORM PIPING, UNDERGROUND STORM PIPING, UNDERGROUND GREASE WASTE PIPING, FLOOR SINK, PRESSURE GAUGE, LOW PRESSURE SWITCH, HIGH PRESSURE SWITCH, SOLENOID VALVE, THREE-WAY VALVE, PRESSURE REGULATOR, DUAL CHECK VALVE OR RPZ, DUAL CHECK VALVE WITH ATMOSPHERIC VENT, HOSE BIBB, CHECK VALVE, BALL VALVE, THERMOSTATIC MIXING VALVE, FLOOR DRAIN, CLEAN-OUT (FLOOR OR YARD), STRAINER, RELIEF VENT, GAS METER.

EXPANSION TANK SCHEDULE

Table with columns: TAG, MANUFACTURER, MODEL, TOTAL VOL., CONNECTION, ACCESSORIES. Includes item ET-1 AMTRDL ST-12 4.4 GAL. 3/4".

NOTES: 1. SEE DETAIL 5 ON SHEET P30.

BACKFLOW PREVENTER SCHEDULE

Table with columns: TYPE, MFR., MODEL, ASSE LISTING, SERVES, LOCATION. Includes items for AG FURN. WITH CHEM. SYS., AVB FURN. WITH CHEM. SYS., AVY FURN. WITH CHEM. SYS., DCV WATTS, RPZ WILKINS, RPZ WILKINS.

PUMP SCHEDULE

Table with columns: TAG, MANUFACTURER, MODEL, HP, V, Ø, Hz, ACCESSORIES. Includes item P-1 GRUNDFOS UP 15-18 B7 1/25 120 1 60 1-3.

WATER HEATER SCHEDULE

Table with columns: TAG, MANUFACTURER, MODEL, SIZE GAL., HEATING TYPE, RECOV. 100°F ΔT, ELECTRICAL VOLTS, Ø, Hz, F.L.A. Includes item WH-1 BRADFORD-WHITE AD. SMITH EF-100T-199E-3N 100 GAS 199 239 120 1 60 <20.

ACCESSORIES: 1. NSF INSTALLATION KIT

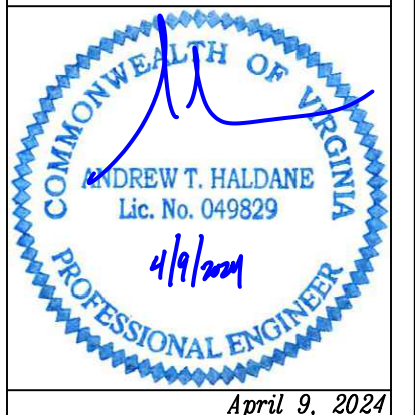
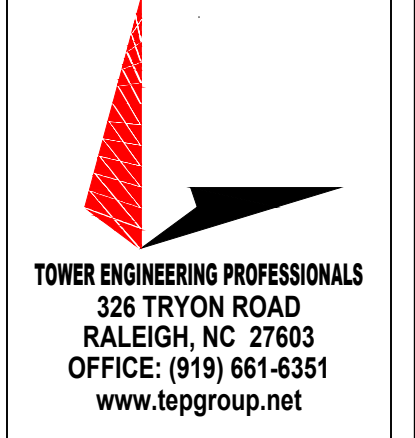
VALVE SCHEDULE

Table with columns: MANUFACTURER, MODEL, TEMP. SETTING, LISTING, SERVES. Includes items for WATTS LFMMV, WATTS LFMMV, WATTS ZW3870XLT, WATTS LFUSG-B, B & G CB-1/2, NIBCO 585-70-HC, NIBCO S-FP-600A-LF, NIBCO S-FP-600A-LF, WATTS LFFVB-PEX.

ABBREVIATIONS

Table of abbreviations: ACM AREA CONSTRUCTION MANAGER, AVB ATMOSPHERIC VACUUM BREAKER, BSI BEVERAGE SYSTEM INSTALLER, CO CLEAN-OUT, DFU DRAINAGE FIXTURE UNIT(S), EC ELECTRICAL CONTRACTOR, FAC FIRE ALARM CONTRACTOR, FCO FLOOR CLEAN-OUT, FD FLOOR DRAIN, FPC FIRE PROTECTION CONTRACTOR, FS FLOOR SINK, GC GENERAL CONTRACTOR, GI GREASE INTERCEPTOR, GPF GALLONS PER FLUSH, GPM GALLONS PER MINUTE, GW GREASE WASTE, HB HOSE BIB, HS HAND SINK, I.P.S. IRON PIPE SIZE (ALSO NPS), KEI KITCHEN EQUIPMENT INSTALLER, KES KITCHEN EQUIPMENT SUPPLIER, LAV LAVATORY, MC MECHANICAL CONTRACTOR, MHT MALE HOSE THREADS, MS MOP SINK, NPS NATIONAL PIPE THREAD STANDARD, NPT NATIONAL PIPE THREAD TAPERED, O/O OWNER/OPERATOR, OH OVERHEAD, P PUMP, PC PLUMBING CONTRACTOR, RC REFRIGERATION CONTRACTOR, RPZ REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER, SS SANITARY SEWER, ST STORM SEWER, SVB ANTI-SIPHON, SPILL RESISTANT VACUUM BREAKER, TAB TEST AND BALANCE CONTRACTOR, UG UNDERGROUND, UR URINAL, V VENT, WC WATER CLOSET, WCO WALL CLEAN-OUT, WSFU WATER SUPPLY FIXTURE UNIT(S).

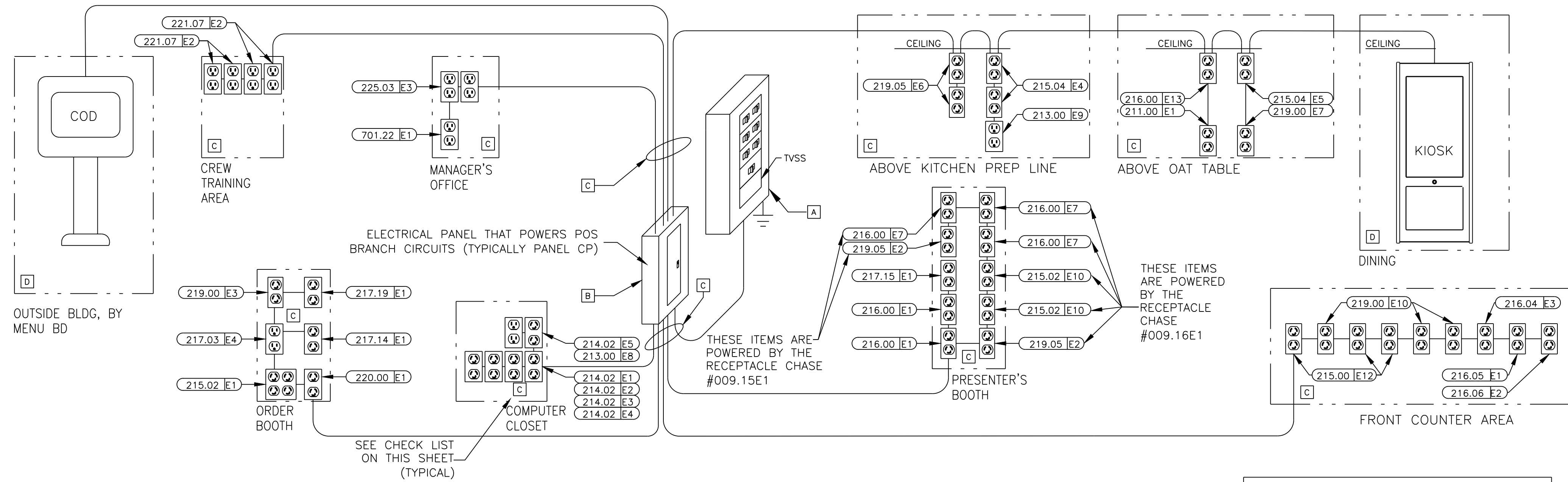
Vertical table with columns: TITLE, SHEET NO., DATE, REV. Includes title ALEXANDRIA - DUKE ST and sheet no P4.0.



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Table with columns: DRAWN BY, DUA, TEP, RID NO., REVIEWED BY, FTH, DATE ISSUED, DATE, SITE ADDRESS, 3510 DUKE ST., ALEXANDRIA, VA 22304.

THE PURPOSE OF THIS SHEET IS TO PROVIDE A CHECKLIST AND VISUAL GUIDE SO THE INSTALLING EC CAN VERIFY THE WORK IS IN COMPLIANCE WITH MCDONALD'S SPECIFICATIONS THAT ARE CRITICAL TO THE PROPER FUNCTIONING OF OUR POINT OF SALE (POS) COMPUTER SYSTEMS.



### POS ELECTRICAL RISER DIAGRAM

THIS RISER DIAGRAM SHOWS THE ELECTRICAL ROUGH-INS REQUIRED FOR A TYPICAL POINT OF SALE (POS) SYSTEM IN A FREE STANDING FAST FORWARD RESTAURANT. VERIFY ALL POS ROUGH-INS AND MOUNTING HEIGHTS WITH THE ELECTRICAL ROUGH-IN PLAN, NOTES AND INFORMATION DRAWINGS.

ISOLATED GROUND SYMBOLS	
SYMBOL	DESCRIPTION
	IG4710
	IG4700A
	IG5261
	IG5262

START HERE

**A VISUALLY INSPECT THE MAIN ELECTRICAL PANEL (MDP)**

yes no

1. IS AN EQUIPMENT GROUND BAR INSTALLED SUCH THAT IT IS ELECTRICALLY CONNECTED TO THE PANEL?
2. DO ALL NEUTRAL CONDUCTORS TERMINATE ONLY TO THE NEUTRAL BAR?
3. DO ALL EQUIPMENT GROUND CONDUCTORS TERMINATE ONLY TO THE EQUIPMENT GROUND BAR?
4. DOES THE ISOLATED GROUND CONDUCTOR (GREEN W/YELLOW STRIPE) TERMINATE ON THE EQUIPMENT GROUND BAR?
5. IS THERE AN APPROPRIATE ELECTRICAL CONNECTION (BOND) BETWEEN THE NEUTRAL BAR AND THE EQUIPMENT GROUND BAR?
6. DOES THE GROUNDING SYSTEM COMPLY WITH MCDONALD'S "BUILDING ELECTRICAL GROUNDING DETAIL"?
7. IS A SURGE PROTECTOR INSTALLED THAT COMPLIES WITH MCDONALD'S "TVSS INSTALLATION GUIDE" OR DETAIL?
8. ARE ALL ELECTRICAL CONNECTIONS (WIRING & BUSING) PROPERLY TIGHTENED?
9. ARE ALL CIRCUIT BREAKERS CLEARLY LABELED?

**B VISUALLY INSPECT THE PANEL "CP" THAT POWERS POS**

yes no

1. IS AN EQUIPMENT GROUND BAR INSTALLED SUCH THAT IT IS ELECTRICALLY CONNECTED TO THE PANEL?
2. IS AN ISOLATED GROUND BAR INSTALLED SUCH THAT IT IS ELECTRICALLY INSULATED FROM THE PANEL?
3. DO ALL NEUTRAL CONDUCTORS TERMINATE ONLY TO THE NEUTRAL BAR?
4. DO ALL EQUIPMENT GROUND CONDUCTORS TERMINATE ONLY TO THE EQUIPMENT GROUND BAR?
5. DO ALL ISOLATED GROUND CONDUCTORS (GREEN W/YELLOW STRIPE) TERMINATE ONLY TO THE ISOLATED GROUND BAR?
6. ARE ALL ELECTRICAL CONNECTIONS (WIRING & BUSING) PROPERLY TIGHTENED?
7. ARE ALL POS AND COD CIRCUIT BREAKERS ON THE SAME PANEL?
8. ARE ALL CIRCUIT BREAKERS CLEARLY LABELED?
9. DO ALL POS & COD CIRCUIT BREAKERS HAVE A LOCKING MECHANISM ON THEIR HANDLES TO PREVENT THEM FROM BEING SHUT OFF BY MISTAKE?
10. DOES THE FEEDER CIRCUIT FOR THIS SUBPANEL CONTAIN PHASE, NEUTRAL ONE EQUIPMENT GROUND AND ONE ISOLATED GROUND CONDUCTORS THAT ARE PROPERLY TERMINATED (SEE POS & COD ISO GND/DED CT DETAIL)?

**C VISUALLY INSPECT ALL REMAINING ELECTRICAL SUBPANELS**

yes no

1. IS AN EQUIPMENT GROUND BAR INSTALLED SUCH THAT IT IS ELECTRICALLY CONNECTED TO THE PANEL?
2. DO ALL NEUTRAL CONDUCTORS TERMINATE ONLY TO THE NEUTRAL BAR?
3. DO ALL EQUIPMENT GROUND CONDUCTORS TERMINATE ONLY TO THE EQUIPMENT GROUND BAR?
4. ARE ALL ELECTRICAL CONNECTIONS (WIRING & BUSING) PROPERLY TIGHTENED?
5. ARE ALL CIRCUIT BREAKERS CLEARLY LABELED?
6. DOES THE FEEDER CIRCUIT FOR THIS SUBPANEL CONTAIN PHASE, NEUTRAL AND ONE EQUIPMENT GROUND CONDUCTORS THAT ARE PROPERLY TERMINATED? (SEE BUILDING ELECTRICAL GROUNDING DETAIL)

**D VISUALLY INSPECT THE POS BRANCH CIRCUIT FOR THE COD & KIOSK**

yes no

1. ARE THE COD AND KIOSK BRANCH CIRCUITS ROUTED IN THEIR OWN CONDUIT BY THEMSELVES?
2. DOES EACH COD AND KIOSK BRANCH CIRCUIT CONTAIN:
  - ONE PHASE (BLACK COLORED INSULATION),
  - ONE NEUTRAL (WHITE COLORED INSULATION),
  - ONE EQUIPMENT GROUND (GREEN COLORED INSULATION),
  - ONE ISOLATED GROUND (GREEN W/YELLOW STRIPE COLORED INSULATION).
3. ARE THE COD(S) AND KIOSK(S) POWERED FROM THE SAME PANEL AS THE POS?
4. DO THE BREAKERS FOR THE COD(S) AND KIOSK(S) HAVE A LOCKING MECHANISM ON THEIR HANDLES THAT WILL PREVENT IT FROM BEING SHUT OFF?
5. DO THE COD BRANCH CIRCUIT(S) COMPLY WITH THE "POS & COD ISOLATED GROUND/DEDICATED CIRCUIT DETAIL"?
6. IF THE COD HAS AN OPTICAL ISOLATOR, IS A STRAIGHT BLADE ISOLATED GROUND RECEPTACLE ON AN ISOLATE GROUND/DEDICATED CIRCUIT PROVIDED FOR IT?

REWORK ELECTRICAL SYSTEM TO BRING INTO COMPLIANCE WITH MCDONALD'S SPECIFICATIONS

ALL WORK IS NOT CONSIDERED TO MEET MCDONALD'S SPECIFICATIONS UNTIL THE INSTALLED ELECTRICAL SYSTEM SUPPORTS A "YES" ANSWER FOR ALL QUESTIONS ASKED.

AS PART OF THIS PROCESS, THE EC AND THE GC WILL BE REQUIRED TO SIGN THE ELECTRICAL CERTIFICATION DOCUMENT INDICATING THAT THE INSTALLED ELECTRICAL SYSTEM MEETS MCDONALD'S SPECIFICATIONS.

**NOTICE:**  
CHANGES SHALL NOT BE MADE TO THE POS ELECTRICAL SYSTEM AFTER THE POS EQUIPMENT HAS BEEN INSTALLED WITHOUT FIRST NOTIFYING THE POS VENDOR.

IF CHANGES ARE MADE TO THE POS ELECTRICAL SYSTEM AFTER THE CERTIFICATION PROCESS HAS BEEN COMPLETED, THEN A SYSTEM RE-CERTIFICATION SHALL BE REQUIRED.

ARE ALL BOXES CHECKED "YES"?

FINISHED

### LOW VOLTAGE CABLE MANAGEMENT SPECIFICATION

#### GENERAL/MATERIALS

- THE GC OR EC SHALL FURNISH AND INSTALL A COMPLETE LOW VOLTAGE CABLE MANAGEMENT SYSTEM UTILIZING CADDY-ERICO TYPE CAT-32 J-HOOK SUPPORTS (2-INCH DIAMETER LOOP MINIMUM). ALL J-HOOKS SHALL:
  - HAVE A MINIMUM BEARING SURFACE OF 1 3/8"
  - HAVE FLARED EDGES TO PREVENT DAMAGE TO HIGH PERFORMANCE CABLES.
  - HAVE AN ELECTRO-GALVANIZED FINISH.
  - HAVE 3/8" WIDE CABLE RETAINING STRAPS.
  - BE UL LISTED AND LABELED.
  - BEAR THE UL SYMBOL MARKING ON THE PART FOR IDENTIFICATION
  - BE INSTALLED PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- THE ENTIRE INSTALLATION SHALL BE IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), NEC SECTION 800, BICSI STANDARDS 568 & 569, ALL APPLICABLE NATIONAL, STATE, LOCAL, AND SAFETY CODES, AND MCDONALD'S SPECIFICATIONS.
- THE LOCATION AND ROUTING OF THE LOW VOLTAGE CABLE MANAGEMENT SYSTEM SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS WITH THE OTHER TRADES' FINAL INSTALLATIONS, BOTH BEFORE AND AFTER THE CABLE MANAGEMENT SYSTEM AND THE POS CABLING ARE INSTALLED. FINAL INSTALLATION LOCATION SHALL BE READILY ACCESSIBLE TO ALLOW FOR EASE IN INSTALLATION OF THE POS CABLING BY THE POS VENDOR'S INSTALLER.
- LOW VOLTAGE J-HOOK CABLE SUPPORTS AND APPURTENANCES SHALL BE FASTENED TO THE BUILDING STRUCTURAL AND/OR FRAMING MEMBERS. LOW VOLTAGE J-HOOK CABLE SUPPORTS SHALL NOT BE FASTENED OR UTILIZE THE CEILING GRID SUSPENSION WIRES OR T-BAR GRID FOR INSTALLATION. CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACKETS, HANGERS, RODS, CLAMPS, FLANGES, SUPPORTS, ETC. FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM. THE INSTALLATION OF THE LOW-VOLTAGE CABLE MANAGEMENT SYSTEM SHALL BE DONE SO THAT THE ROUTING OF THE CABLES IS PARALLEL TO AND/OR PERPENDICULAR TO FRAMING AND STRUCTURAL BUILDING MEMBERS.
- TO AVOID ELECTROMAGNETIC INTERFERENCE (EMI), ALL PATHWAYS SHALL PROVIDE A MINIMUM CLEARANCE OF 4 FEET (1.2 METERS) FROM MOTORS AND TRANSFORMERS AND A MINIMUM CLEARANCE OF 1 FOOT (0.3 METERS) FROM CONDUIT AND CABLES UTILIZED FOR ELECTRICAL POWER DISTRIBUTION, OR FROM FLUORESCENT OR HID TYPE LIGHTING FIXTURES AND OTHER NON-POS LOW VOLTAGE CONDUCTORS.
- ANY CEILING TILES IN THE AREA WHERE THE LOW-VOLTAGE CABLE MANAGEMENT SYSTEM IS LOCATED SHALL NOT BE INSTALLED UNTIL THE POS VENDOR'S CONTRACTOR COMPLETES THE INSTALLATION OF ALL POS CABLING.
- ALL NON-POS LOW VOLTAGE CABLING SHALL BE INSTALLED IN A SEPARATE CABLE MANAGEMENT SYSTEM INDEPENDENT OF THE LOW-VOLTAGE CABLE MANAGEMENT SYSTEM UTILIZED FOR THE POS CABLING.
- THE POS INSTALLER SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL LOW VOLTAGE CABLING REQUIRED FOR THE COMPLETE AND FULLY FUNCTIONAL OPERATION OF THE POS SYSTEM. ALL POS CABLING SHALL BE INSTALLED WITHIN THE LOW-VOLTAGE CABLE MANAGEMENT SYSTEM.

#### INSTALLATION

- LOW VOLTAGE J-HOOK CABLE PATHWAY (FOR POS CABLING SYSTEM) SHALL BE PROVIDED FROM THE MANAGERS OFFICE (OR COMPUTER CLOSET) DATA CONDUIT STUB-UP LOCATION TO THE FOLLOWING DATA CONDUIT STUB-UP LOCATIONS (AS APPLICABLE):
  - FRONT COUNTER.
  - PRESENTERS BOOTH.
  - CASHIERS BOOTH.
  - THIRD DRIVE-THRU WINDOW(IF PRESENT).
  - CREW ROOM.
  - VALENCE WALL.
  - REMOTE ORDERING STATIONS.
  - NETPOP TELEPHONE PANEL LOCATION.

CABLE SUPPORTS SHALL BE PROVIDED WITHIN 24 INCHES OF THESE STUB-UP LOCATIONS. ALL STUB-UP CONDUITS SHALL BE PROVIDED WITH AN INSULATED BUSHING TO PROTECT CABLES DURING INSTALLATION.

### ELECTRICAL POS CERTIFICATION

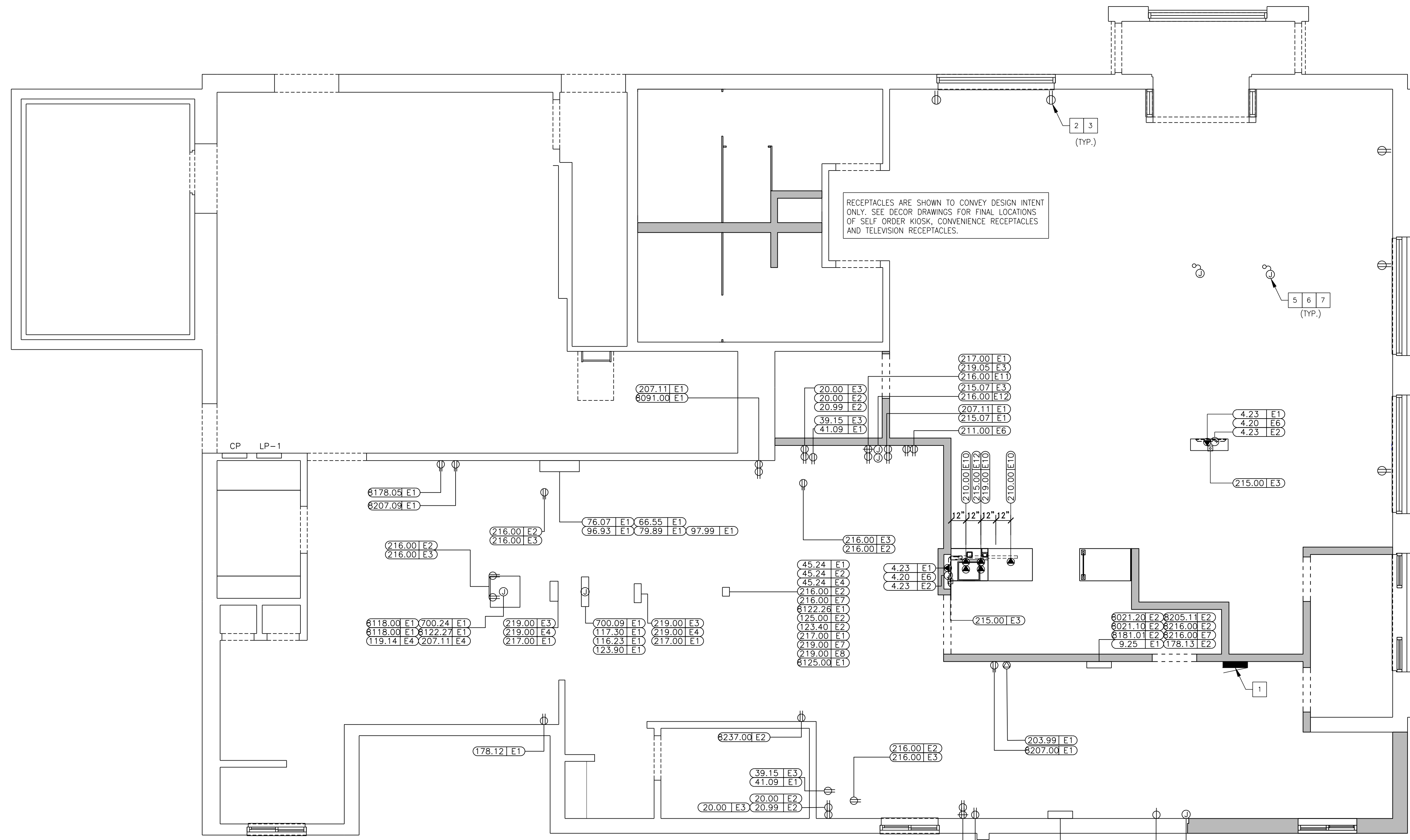
AS OF THE DATE BELOW, I HEREBY CERTIFY THAT ALL ELECTRICAL WORK, ELECTRICAL SERVICE AND ELECTRICAL SYSTEMS, MATERIALS AND LABOR RELATED TO THE POS ELECTRICAL INSTALLATION IN WHICH THE UNDERSIGNED ARE DIRECTLY OR INDIRECTLY RESPONSIBLE HAVE BEEN PROPERLY INSTALLED IN FULL COMPLIANCE WITH ALL CONSTRUCTION DOCUMENTS AND ALL NFPA, BUILDING, ELECTRICAL AND OTHER APPLICABLE CODES, ALONG WITH ALL OF THE REQUIREMENTS OUTLINED ON THIS DRAWING. I FURTHER CERTIFY THAT THE ELECTRIC SERVICE POWERING THE POS SYSTEM HAS BEEN PROPERLY INSTALLED BY A QUALIFIED ELECTRICIAN, SKILLED, KNOWLEDGEABLE AND TRAINED TO INSTALL ALL THE REQUIRED ELECTRICAL DISTRIBUTION COMPONENTS NECESSARY TO POWER THE POINT OF SALE (POS) SYSTEM.

GENERAL CONTRACTOR: \_\_\_\_\_ ELECTRICAL CONTRACTOR: \_\_\_\_\_

BY: \_\_\_\_\_ BY: \_\_\_\_\_

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

FOR CONSTRUCTION	DATE
0	04/09/2024
REV	
<p><b>TOWER ENGINEERING PROFESSIONALS</b> 326 TRYON ROAD RALEIGH, NC 27603 OFFICE: (919) 861-6351 www.tepgroup.net</p>	
<p>ANDREW T. HALDANE Lic. No. 049829 April 9, 2024</p>	
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<p>DRAWN BY: DUA</p> <p>TEP PID NO.:</p> <p>REVIEWED BY: FTH</p> <p>DATE ISSUED: 04/09/2024</p>	<p>TITLE: ALEXANDRIA - DUKE ST</p> <p>DESCRIPTION: CONSTRUCTION DRAWINGS</p> <p>SHEET NO. E1.0</p> <p>POS RISER DIAGRAM</p> <p>SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304</p> <p>45-0002</p>



RECEPTACLES ARE SHOWN TO CONVEY DESIGN INTENT ONLY. SEE DECOR DRAWINGS FOR FINAL LOCATIONS OF SELF ORDER KIOSK, CONVENIENCE RECEPTACLES AND TELEVISION RECEPTACLES.

1 ELECTRICAL ROUGH-IN PLAN  
E1.1 1/4" = 1'-0"

SYMBOLS AND ABBREVIATIONS		SYMBOLS AND ABBREVIATIONS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, SW=THREE WAY SWITCH, K=KEYED SWITCHED, VS=VACANCY SENSOR		BUZZER
	MANUAL SWITCH (T=THERMAL OVERLOADS)		BUTTON FOR BUZZER
	TRANSFORMER		PULLBOX
	JB WITH DUPLEX CONVENIENCE OUTLET (FLUSH WITH CEILING)		PANELBOARD
	JB WITH SINGLE CONVENIENCE OUTLET		CIRCUIT BREAKER
	JB WITH DUPLEX CONVENIENCE OUTLET	A	AMPERES
	JB WITH TWO DUPLEX CONVENIENCE OUTLETS	ACM	AREA CONSTRUCTION MANAGER
	JB WITH SPECIAL PURPOSE OUTLET	AFF	ABOVE FINISHED FLOOR
	JB WITH ISOLATED GROUND OUTLET ⊗ = IG4710, ⊕ = IG5261, ⊙ = IG4700A, ⊖ = IG5262	C	CONDUIT
	INTERCOM STATION W/ 3/4" C- TO MAIN STATION	CCT	CIRCUIT
	TELEPHONE JACK	EC	ELECTRICAL CONTRACTOR
	JUNCTION BOX - WALL OR CEILING MOUNTED	GC	GENERAL CONTRACTOR
	DISCONNECT SWITCH	GF1/GFCI	GROUND FAULT CIRCUIT INTERRUPTER
	STUB UP THRU ROOF	GND	GROUND
	THERMOSTAT SENSOR W/ 1/2" C- UP TO CEILING SPACE	IG	ISOLATED GROUND
	MOTOR CONNECTION	JB	JUNCTION BOX
	CONDUIT RUN CONCEALED IN CEILING OR WALLS	KES	KITCHEN EQUIPMENT SUPPLIER
	CONDUIT RUN IN FLOOR SLAB	MLO	MAIN LUGS ONLY
	HOT (SHORT), NEUTRAL (LONG), EQUIP GRD (LONG WITH DOT), & 'X' DENOTES ISOLATED GRD	WP	WEATHERPROOF
	J-BOX WITH FINAL EQUIPMENT CONNECTION	CO	CARBON MONOXIDE SENSOR
	CEILING MOUNTED OCCUPANCY SENSOR		

**ADT ROUGH-IN NOTES**

- COORDINATE EXACT INSTALLATION REQUIREMENTS WITH ADT PRIOR TO INSTALLATION TEL. 800-417-8238
- EC SHALL PROVIDE A 2 GANG 3 2<sup>9/32"</sup> X 3 2<sup>9/32"</sup> X 3 1/2" D JUNCTION BOX AT DOOR FOR INSTALLATION OF DOOR ALARM UNIT. STUB 1/2" C ABOVE CEILING FROM JUNCTION BOX. PROVIDE 1/2" C FROM J-BOX TO DOOR MAGNETIC SWITCH LOCATION.
- EC SHALL PROVIDE 4" X 4" JUNCTION BOX ABOVE CEILING FOR INSTALLATION OF LOW VOLTAGE TRANSFORMER. VERIFY EXACT LOCATION WITH ADT PRIOR TO INSTALLATION. PROVIDE 1/2" C-2#12 TO LOCKOUT TYPE CB IN PANEL LP-1.

**GENERAL NOTES**

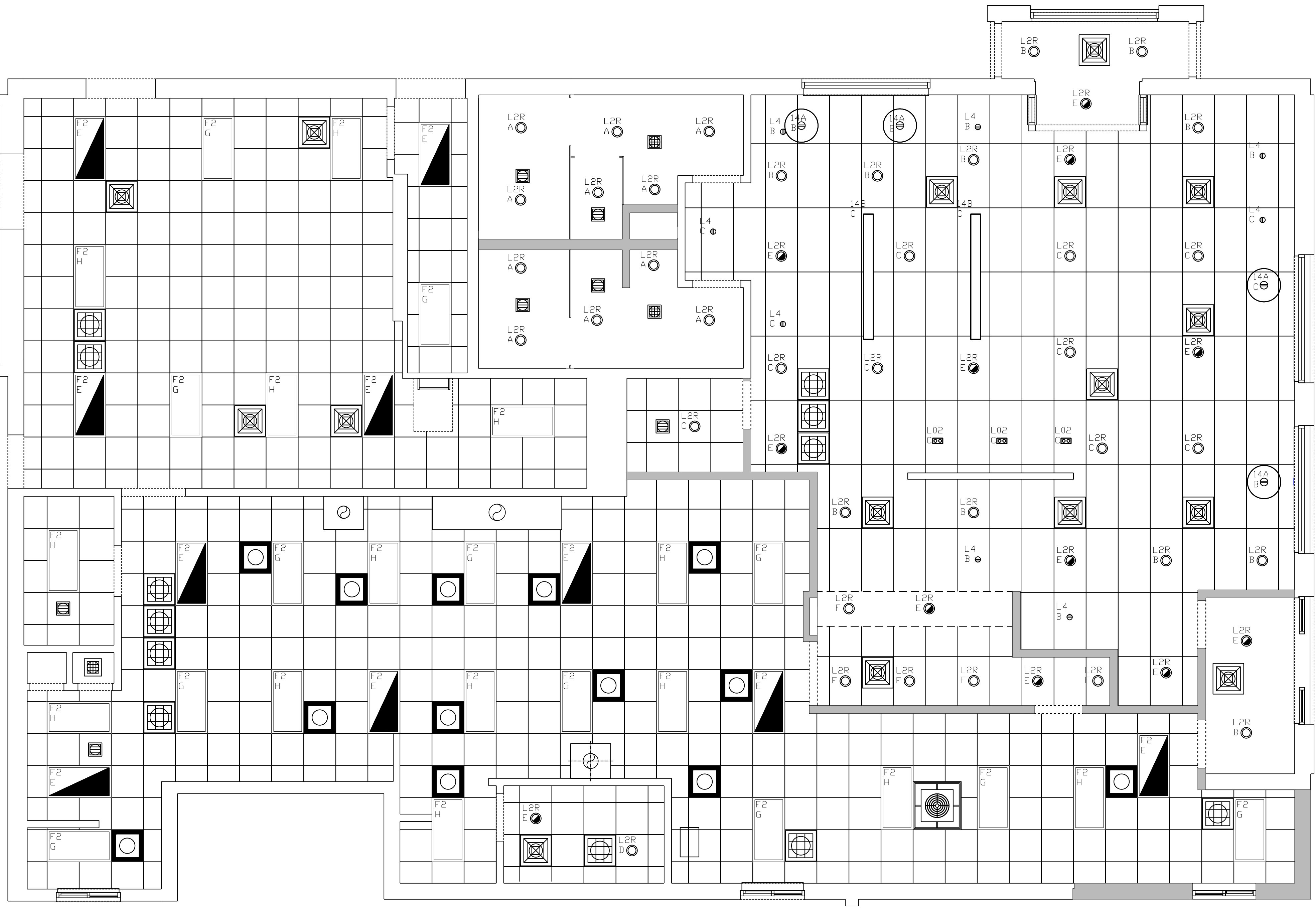
- SEE SHEET E3.0 FOR PANEL & CIRCUIT BREAKER ASSIGNMENT, VOLT/PH, FLA, BREAKER SIZE, COND/WIRE, RECEPTACLE TYPE, HEIGHT ABOVE FINISHED FLOOR, REQUIREMENTS & REMARKS FOR ALL ELECTRICAL EQUIPMENT.
- SEE LOW VOLTAGE CABLE MANAGEMENT SPECIFICATION ON SHEET E1.0 FOR POS, DATA, AND SOUND SYSTEM REQUIREMENTS.
- GC/EC SHALL COORDINATE LOCATION AND ALL REQUIREMENTS OF CT & METER CABINET WITH LOCAL UTILITY COMPANY. CT & METER CABINET SHALL NOT BE INSTALLED ON D/T SIDE OF BUILDING. GC SHALL PAINT TO MATCH BUILDING COLOR.

**KEY NOTES**

- NEW AP-4 - SEE E4.2 FOR PANEL SCHEDULE
- COORDINATE LOCATION OF RECEPTACLES SO THAT RECEPTACLES ARE LOCATED ON FULL HEIGHT WALLS PER THE DECOR PLAN. STUB UP AND CIRCUIT IN HALF WALL FOR RECEPTACLES NOT ON FULL HEIGHT WALLS, CONFIRM FINAL LOCATIONS WITH DECOR DRAWINGS PRIOR TO ROUGH-IN.
- PER THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), A MINIMUM OF ONE (1) ADA COMPLIANT ELECTRICAL RECEPTACLE SHALL BE INSTALLED AT AN ACCESSIBLE TABLE. GC/EC SHALL REFERENCE FINAL DECOR PLANS AND PROVIDE RECEPTACLES AS NECESSARY FOR COMPLIANCE. (TYPICAL)
- PROVIDE CEILING MOUNTED RECEPTACLE FOR FREESTANDING DIGITAL MERCHANDISER. REFER TO DETAIL 4/E1.2 FOR MORE INFORMATION.
- PROVIDE POWER WITHIN CEILING FOR CONNECTION TO SELF ORDER KIOSKS. COORDINATE EXACT LOCATION OF KIOSKS WITH DECOR DRAWINGS. PROVIDE 2#12, 1#12 GRD., & 1#12 ISOLATED GROUND ON A 20A DEDICATED CIRCUIT FED FROM THE CP PANEL FOR EVERY KIOSK.
- CONNECT KIOSK RETROFIT POWER BASE TO KIOSK FOR CASH HANDLERS. REFER TO DETAIL 6/E3.0 FOR MORE INFORMATION. COORDINATE EXACT LOCATION AND CASH HANDLER TYPES WITH DECOR DRAWINGS.
- PROVIDE POWER AND DATA ROUGH-INS FOR CASH HANDLERS. REFER TO DETAILS 5/E3.0 AND 6/E3.0 FOR MORE INFORMATION COORDINATE EXACT LOCATION AND CASH HANDLER TYPES WITH DECOR DRAWINGS.

<p><b>TOWER ENGINEERING PROFESSIONALS</b> 326 TRYON ROAD RALEIGH, NC 27603 OFFICE: (919) 861-6351 www.tepgroup.net</p>		<p>DATE: 04/09/2024</p> <p>REV: 0</p> <p>DESCRIPTION: FOR CONSTRUCTION</p>
<p>APRIL 9, 2024</p>		
<p>PREPARED FOR: <b>McDonald's USA, LLC</b></p> <p><small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Tower Engineering Professionals, Inc. and shall remain the property of Tower Engineering Professionals, Inc. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</small></p>		
<p>DRAWN BY: DUA</p> <p>TEP PID NO: -</p>	<p>REVIEWED BY: FTH</p> <p>DATE ISSUED: 04/09/2024</p>	<p>SHEET NO: <b>E1.1</b></p> <p>TITLE: ALEXANDRIA - DUKE ST CONSTRUCTION DRAWINGS</p> <p>ROUGH-IN PLAN</p>
<p>SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304</p>		

NOTE: LIGHTING LOCATIONS ARE APPROXIMATE. EC TO VERIFY FINAL PLACEMENT OF ALL LIGHTING WITH DECOR DRAWINGS. VERIFY ALL FIXTURE MODEL NUMBERS WITH DECOR DRAWINGS.



**KEY**

DENOTES FIXTURE TYPE  
 DENOTES CIRCUIT NUMBER  
 DENOTES FIXTURE TYPE  
 DENOTES CIRCUIT NUMBER

**KEY NOTES**

LIGHTING FIXTURES SHOWN HALF SHADED SHALL BE WIRED TO AN EMERGENCY INVERTER AND CIRCUITED AS A NIGHT LIGHT. SEE NOTE EL3 ON THIS SHEET. COORDINATE LOCATION WITH DECOR.  
 LIGHTING FIXTURES SHOWN WITH A SLASH SHALL BE WIRED TO AN EMERGENCY INVERTER AND CIRCUITED AS SWITCHED EMERGENCY FIXTURES SO THE FIXTURE IS CONTROLLED VIA TIMECLOCK BUT TURNS ON UPON LOSS OF POWER. SEE NOTE EL3 ON THIS SHEET. COORDINATE LOCATION WITH DECOR.

1 LIGHTING PLAN  
E2.0 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE:

MARK	SYMBOL	DESCRIPTION	DIFFUSER	LAMPS		BALLAST	MOUNTING	MANUFACTURER AND CATALOG NUMBER
				WATTS	TYPE			
F2		2' X 4' GRID TROFFER	PRISMATIC ACRYLIC	44W	LED	-	RECESSED	SECURITY LIGHTING: # LCAT24-35HLG-EDU-WP-GK
L2R		4" LED DOWN LIGHT	-	16W	LED	-	RECESSED	SECURITY LIGHTING # RDA-136LM-30-FL-S/RDA-136-H VERIFY DOWNLIGHT TO BE USED WITH PHOTOMETRIC
L4		GENERAL DOWNLIGHT 40	-	7W	LED	-	RECESSED	SECURITY LIGHTING # 4658-XR3NCDXM2040C30H1100BKBBK VERIFY DOWNLIGHT TO BE USED WITH PHOTOMETRIC
F20		EXIT SIGN WITH BATTERY BACKUP	-	1.8W	LED	-	SURFACE	SECURITY LIGHTING: EVEURWE. SEE NOTE LS2 ON THIS SHEET.
F22		EMERG BATTERY & 2 REMOTE HEADS	-	-	LED	-	SURFACE TO WALL OR SOFFIT	SECURITY LTG. #EV40-02L-0/EV00B
L02		MULTIPLE 25 DEGREE	-	14W	LED	-	RECESSED	SECURITY LIGHTING # 4658-XFR12XM2025C-25C30H1100BKBBK VERIFY DOWNLIGHT TO BE USED WITH PHOTOMETRIC
14A		BLUE ROUND PENDANT	-	-	LED	-	SURFACE	SEE DECOR PLANS FOR LIGHT DETAILS
14B		SLIM PENDANT	-	-	LED	-	SURFACE	SEE DECOR PLANS FOR LIGHT DETAILS
C		COVE LIGHT	-	2.5W/FT	LED	-	SURFACE	SEE DECOR PLANS FOR LIGHT DETAILS

LIGHTING CIRCUITS

MARK	DESCRIPTION	MARK	DESCRIPTION
A	EXISTING RESTROOM LIGHTING CIRCUIT	E	EXISTING NIGHT LIGHT/EMERGENCY LIGHTING CIRCUIT
B	EXISTING DINING ROOM LIGHTING CIRCUIT	F	EXISTING SERVICE AREA LIGHTING CIRCUIT
C	EXISTING DINING ROOM LIGHTING CIRCUIT	G	EXISTING KITCHEN LIGHTING CIRCUIT
D	EXISTING CREW ROOM LIGHTING CIRCUIT	H	EXISTING KITCHEN LIGHTING CIRCUIT

**LIGHTING SCHEDULE NOTES:**

LS1. ORDER LED EXIT SIGNS WITH LETTER COLORS THAT COMPLY WITH LOCAL CODES.  
 - FOR RED LETTERS USE #EVE-U-R (UNIVERSAL),  
 - FOR GREEN LETTERS USE #EVE-U-G (UNIVERSAL), OR  
 IF THE ABOVE EXIT SIGNS DO NOT COMPLY WITH LOCAL CODES USE: LED SIGN WITH BATTERY BACKUP, LETTER SIZE, COLOR, TYPE & DIRECTIONAL ARROWS AS REQUIRED BY THE LOCAL AUTHORITIES.

LS2. ALL INTERIOR LIGHT FIXTURES SHALL BE 120 VOLT UNLESS NOTED OTHERWISE.

LS3. LIGHTING FIXTURES HAVE BEEN CHOSEN TO ACHIEVE MAXIMUM ENERGY CONSERVATION WHILE MAINTAINING ADEQUATE LEVEL OF ILLUMINATION. SPECIFICATIONS SHALL BE STRICTLY FOLLOWED. ANY DEVIATION FROM THE SPECIFICATIONS SHALL BE APPROVED IN WRITING BY McDONALD'S CORPORATION.

ORDER ALL LIGHT FIXTURES FROM:

SECURITY LIGHTING SYSTEMS, INC.  
 PHONE: 1-800-LIGHT-IT (800-544-4848)  
 EMAIL: SLORDERS@CURRENTLIGHTING.COM

CS ILLUMINATIONS  
 PHONE: 760-477-1244  
 EMAILS: MCD@CSILLUMINATIONS.COM  
 WWW.CSILLUMINATIONS.COM/MCD

KEY NOTES

- CENTER PENDANT LIGHTS OVER TABLES (TYPICAL)
- ALL SOFFIT LOCATIONS, LIGHTING, & SUPPLY GRILLS SHALL BE COORDINATED WITH DECOR COMPANY DRAWING PRIOR TO INSTALLATION.
- EC SHALL INSTALL AND CONFIGURE REMOTE EMERGENCY LIGHTING AT ALL EGRESS EXTERIOR DOORS FOR MAXIMUM ILLUMINATION AT POINTS OF EGRESS. INSTALL WP J-BOX WITHIN SOFFIT TO ALLOW A FLUSH INSTALLATION OF ANY EXTERIOR EMERGENCY EGRESS LIGHTING (TYPICAL).
- PROVIDE LIGHTING INVERTER FOR USE WITH FIXTURES SHOWN SHADED OR SLASHED. MODEL #LG12ST SHOULD BE USED FOR L2R, L4 & F12G WITH NOT MORE THAN EIGHT DOWNLIGHTS CONNECTED TO EACH INVERTER. IF DECOR USES ALTERNATE FIXTURES, COORDINATE INVERTER TO BE USED WITH LIGHTING SUPPLIER. E.C. SHALL VERIFY THE QUANTITY OF FIXTURES THAT CAN BE CONNECTED WITHOUT EXCEEDING OPERATING CAPACITY OF UNIT AND PROVIDE ADDITIONAL CIRCUITS AND INVERTERS AS REQUIRED (TYPICAL)
- PROVIDE POWER FOR LIGHT WITHIN TBY DISPLAY. COORDINATE EXACT LOCATION WITH DECOR DRAWINGS.

EMERGENCY LIGHTING NOTES

EL1. EC SHALL INSTALL A LOCK ON CIRCUIT BREAKER HANDLE. FOR ALL EMERGENCY LIGHTING CIRCUITS. EC SHALL VERIFY ALL REQUIREMENTS AND FINAL EMERGENCY LIGHTING LOCATIONS WITH LOCAL AUTHORITIES. INCLUDE ALL COSTS IN BASE BID.

EL2. IF NOT INSTALLED BY MANUFACTURER, EC SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE EMERGENCY INVERTER IN NIGHT LIGHTING FIXTURES SHOWN ON THIS SHEET.

EL3. LED FIXTURES DENOTED AS NIGHT LIGHTING OR SWITCHED EMERGENCY SHALL BE CONNECTED TO AN INVERTER. INVERTER SHALL BE CAPABLE OF ILLUMINATING FIXTURE FOR 1.5 HOURS TO COMPLY WITH NEC SECTION 700 AND UL924.

EL4. EMERGENCY BATTERY LIGHTING WALL PACKS IN PLAYPLACE SHALL BE LOCATED SO AS TO PROVIDE FOR MAXIMUM ILLUMINATION OF AREA. EC SHALL VERIFY EXACT PLACEMENT IN THE FIELD WITH McDONALD'S ACM. (IF APPLICABLE)

EL5. EMERGENCY LIGHTING HAS BEEN DESIGNED PER NFPA 101 TO MAINTAIN 1 FC IN PATH OF EGRESS. IF FIELD CONDITIONS REQUIRE ANY CHANGES TO LIGHTING DESIGN, EMERGENCY LIGHTING SHALL BE INSTALLED TO MEET THE ABOVE REQUIREMENTS.

PREPARED FOR: **McDonald's USA, LLC**

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DATE: 4/9/2024

PROFESSIONAL ENGINEER  
 COMMONWEALTH OF VIRGINIA  
 Lic. No. 049829  
 4/9/2024

REVIEWED BY: FTH  
 DATE ISSUED: 04/09/2024

DRAWN BY: DUA  
 TEP PID NO. 1

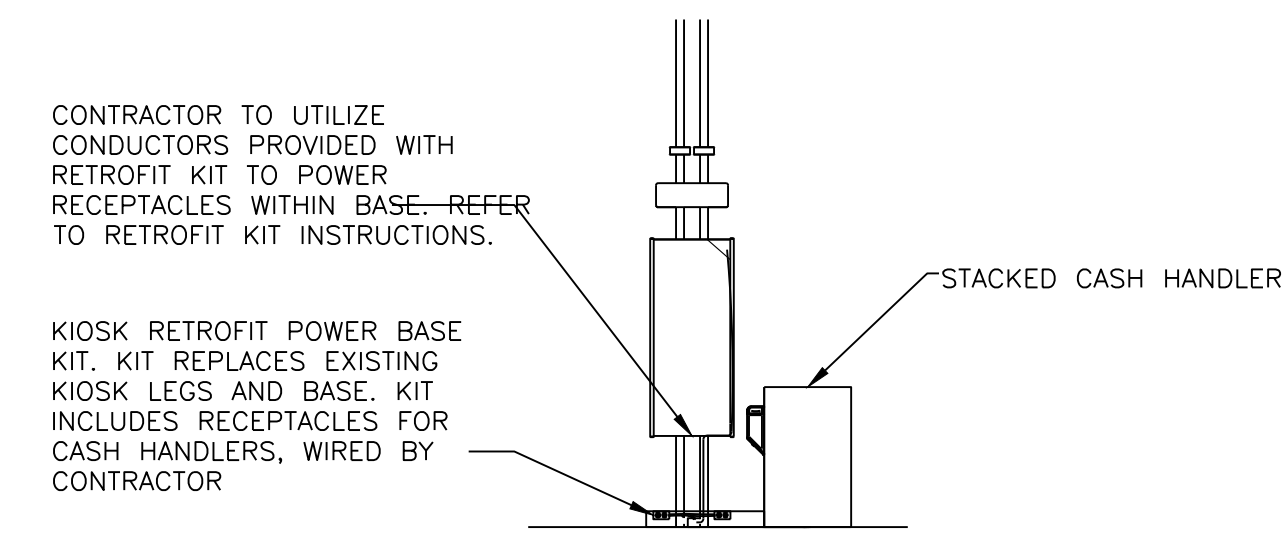
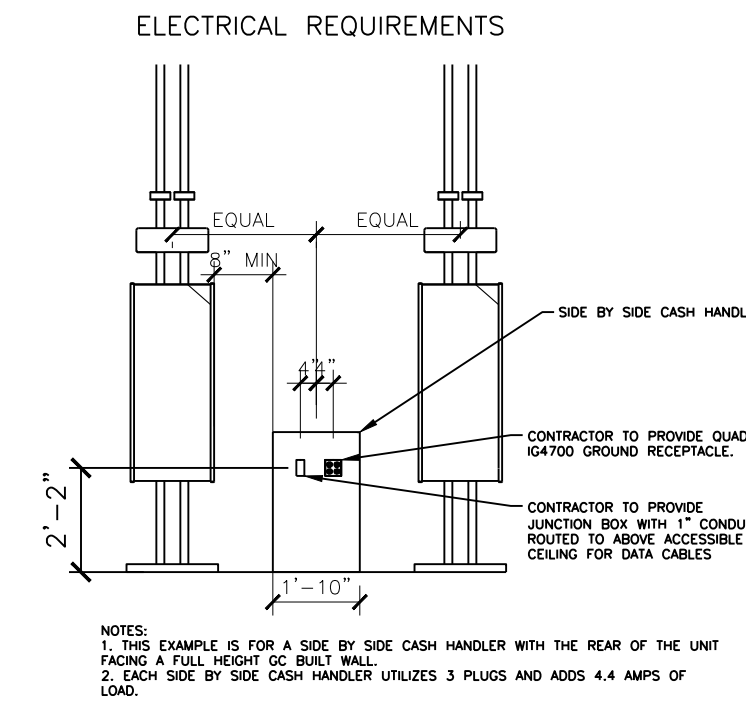
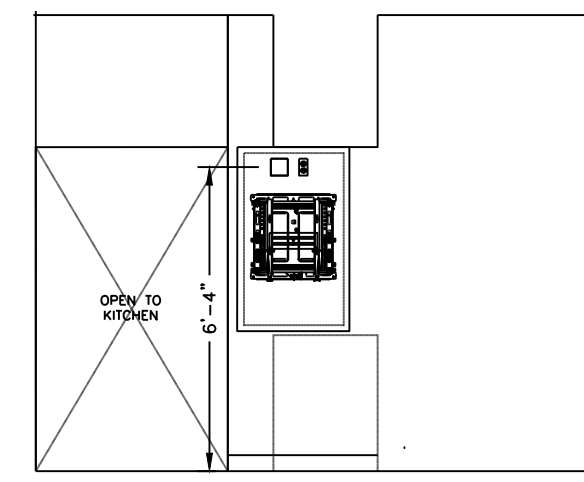
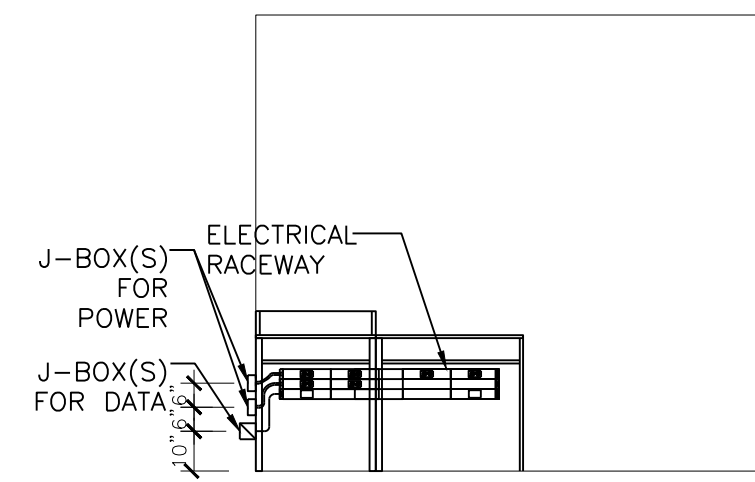
TITLE: ALEXANDRIA - DUKE ST  
 DESCRIPTION: CONSTRUCTION DRAWINGS

SHEET NO. E2.0  
 LIGHTING PLAN

FOR CONSTRUCTION

REV	DATE	DESCRIPTION
0	04/09/2024	

45-0002  
 3510 DUKE ST., ALEXANDRIA, VA 22304



1 FRONT COUNTER RACEWAY DETAIL  
E3.0 1/4" = 1'-0"

3 DIGITAL MERCHANDISER ELEVATION  
E3.0 1/4" = 1'-0"

4 STACKED CASH HANDLER ELEVATION DETAIL  
E3.0 1/4" = 1'-0"

5 CASH HANDLER POWERED VIA KIOSK  
E3.0 N.T.S.

SYMBOL	CATALOG #	DESCRIPTION	QUANTITY
	HBLALU57DR & IG4700	RECEPTACLE COVERPLATE WITH ORANGE, TWIST LOCK, ISOLATED GROUND DUPLEX RECEPTACLE	1 PER ISOLATED GRD RECEPTACLE
	HBLALU57DR & 5-20R FOR BAKED GOODS AND IG5262 FOR CASH	RECEPTACLE COVERPLATE WITH STRAIGHT BLADE RECEPTACLE	1 PER STRAIGHT BLADE RECEPTACLE
	HBLALU57LPB	COMMUNICATIONS COVERPLATE	2
	HBLALU7620B02M290	2' SECTION OF RACEWAY, INCLUDES COUPLERS	4
	HBLALU7620B03M290	3' SECTION OF RACEWAY, INCLUDES COUPLERS	0
	HBLALU7610B2M2	SERVICE ENTRANCE FITTING & BUSHING FOR DATA CABLES	1
	HBLALU7610B	BLANK END FITTING	1
N/A	HBLALU5701	COUPLER (INCLUDED WITH RACEWAY SECTION)	0
N/A	HBLALU5709	GROUND ADAPTER	1

NOTES:  
1. REFER TO SERVICE POD MANUFACTURER INSTRUCTIONS FOR EXACT PLACEMENT OF RACEWAY  
2. RACEWAY AND RECEPTABLES TO BE PROVIDED WITH SERVICE POD, INSTALLED BY CONTRACTOR.  
3. DETAIL SHOWN IS A TYPICAL CONFIGURATION ONLY. SITE SPECIFICS MIGHT CAUSE DEVIATIONS.

ELECTRICAL SCHEDULE										
TAG #	QTY	DESCRIPTION	VOLT/PH	FLA	BRK SIZE	COND/WIRE	PNL/CCT	RECEP TYPE	HGT AFF	REQUIREMENTS & REMARKS
004.20E6	2	DIGITAL MERCHANDISER	120/1 ISOLATED	2.6	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG5262	6'-5"	-
004.23E1	2	DIGITAL MERCHANDISER - MEDIA PLAYER	120/1 ISOLATED	1.0	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG5262	6'-5"	USE SAME RECEPTACLE AS 4.20E6
004.23E2	2	DIGITAL MERCHANDISER - MEDIA PLAYER	DATA CABLE	-	-	-	EC TO DETERMINE IN FIELD	JB	6'-5"	JB W/ 1" C. TO FULL HEIGHT WALL AND TO ABOVE CEILING W/BUSHINGS, FOR DATA CABLES. SUPPLY W/GROMMETED OPENING IN COVER PLATE
210.00E10	1	CASH RECYCLER	120/1 ISOLATED	4.4	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	(2) IG5262	SEE RMKS	PROVIDE RECEPT. IN COUNTER-MOUNTED RACEWAY
213.00E10	1	TABLE LOCATOR SYSTEM	120/1 ISOLATED	2.6	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG5262	SEE RMKS	PROVIDE IG RECEPT. IN COUNTER-MOUNTED RACEWAY
213.00E8	1	TABLE LOCATOR SYSTEM	120/1 ISOLATED	2.6	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	SEE RMKS	4'-0"	TSS SERVER, COORDINATE WITH MANUFACTURERS REQUIREMENTS
214.02E1	1	TECHNOLOGY RACK	120/1 ISOLATED	5.0	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	7'-6"	FOR SWITCHES, HUBS AND RADIUS
214.02E3	1	TECHNOLOGY RACK	120/1 ISOLATED	10.0	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	3'-0"	FOR CASHLESS DEVICE UPS
214.02E4	1	TECHNOLOGY RACK	120/1 ISOLATED	12.0	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	3'-0"	FOR POS SYSTEM UPS AND ORB CONTROLLER
214.02E5	1	TECHNOLOGY RACK	DATA CABLE	-	-	-	EC TO DETERMINE IN FIELD	8x6x4 PB	7'-6"	EXTEND (2) 2 1/2" CONDUIT ABOVE CLG. W/BUSHING FOR DATA CABLES
214.02E6	1	TECHNOLOGY RACK	120/1 ISOLATED	14.0	30A	1/2"C-2#10IG	EC TO DETERMINE IN FIELD	L5-30R IG	3'-0"	FOR POS SYSTEM UPS
215.00E12	1	POS REGISTER - FRONT COUNTER	120/1 ISOLATED	3.0 EA.	-	3/4"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	SEE RMKS	PROVIDE IG RECEPT. IN COUNTER-MOUNTED RACEWAY
216.04E1	1	ORB MONITOR (MINI)/SCANNER	120/1 ISOLATED	1.5 EA.	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	SEE RMKS	PROVIDE IG RECEPT. IN COUNTER-MOUNTED RACEWAY
216.05E4	1	ORB MONITOR	120/1 ISOLATED	1.5 EA.	20A	1/2"C-2#12IG	EC TO DETERMINE IN FIELD	IG4700	8'-2"	-
216.05E5	1	ORB MONITOR	DATA CABLE	-	-	-	EC TO DETERMINE IN FIELD	JB	8'-2"	JB W/ 1-1/2" C. TO TERMINATE ABOVE CEILING W/BUSHINGS, FOR DATA CABLES. SUPPLY W/ GROMMETED OPENING IN COVER PLATE
219.00E10	2	POS - RECEIPT PRINTER	120/1 ISOLATED	0.7	20A	3/4"C-2#12IG	SEE RMKS	IG4700	SEE RMKS	PROVIDE IG RECEPT. IN COUNTER-MOUNTED RACEWAY, POWER FROM SAME CIRCUIT AS 215.00E12

ELECTRICAL SCHEDULE NOTES:  
1. CIRCUIT NUMBERS SHOWN ARE FOR DESIGN INTENT ONLY. ACTUAL CONDITIONS WILL AFFECT CIRCUITRY.  
2. WHEN AVAILABLE ONLY ONE BAKED GOODS CASE WILL BE PROVIDED PER RESTAURANT.  
3. SEE KITCHEN PLANS FOR KITCHEN EQUIPMENT ELECTRIC SCHEDULE

NO.	DATE	DESCRIPTION
0	04/09/2024	FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
0	04/09/2024	REV

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April 9, 2024

PREPARED FOR:  
**McDonald's USA, LLC**  
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SHEET NO.	TITLE	DESCRIPTION	DATE ISSUED	SITE ADDRESS
E3.0	ALEXANDRIA - DUKE ST	CONSTRUCTION DRAWINGS	04/09/2024	3510 DUKE ST., ALEXANDRIA, VA 22304



EXISTING MDP		208/120 V 3 PHASE 4 WIRE		800 A MINIMUM BUS SIZE MAIN LUGS ONLY			SURFACE MOUNTING NEMA 1 ENCLOSURE GROUND BAR	
CCT	DESCRIPTION	CB	PHASE			CB	DESCRIPTION	CCT
			A	B	C			
1		90	A			30		2
3	D1	90		B		30	TVSS	4
5		90			C	30		6
7		30	A			125		8
9	K2	30		B		125	LP1	10
11		30			C	125		12
13		40	A			200		14
15	K3	40		B		200	NEW AP4	16
17		40			C	200		18
19		125	A			100		20
21	KES	125		B		100	K1	22
23		-			C	100		24
25		200	A			70		26
27	AP1	200		B		70	CP	28
29		200			C	70		30
31		200	A			80		32
33	AP2	200		B		80	MAC UNIT CONDENSER	34
35		200			C	80		36
37		150	A			-		38
39	AP3	150		B		-	SPARE	40
41		150			C	-		42

NEW AP4		208/120 V 3 PHASE 4 WIRE		200 A MINIMUM BUS SIZE MAIN LUG ONLY			SURFACE MOUNTING NEMA 1 ENCLOSURE GROUND BAR		
CCT	DESCRIPTION	CB	PHASE			CB	DESCRIPTION	CCT	
			VOLT-AMPS	A	B				C
1		20	1560	A		1356	REACH-IN REFRIGERATOR	2	
3	COMBO SHAKE MACHINE	20	1560		B	300	5-PAN REFRIGERATED RAIL	4	
5		20	1560			1356	REACH-IN FREEZER	6	
7		20	1296	A		936	GRILL SIDE MEAT FREEZER	8	
9	ICE MACHINE REMOTE CONDENSER - 1000 LB	20	1296		B	600	AUTOMATED BEVERAGE SYSTEM	10	
11		20	1296			600	AUTOMATED BEVERAGE SYSTEM	12	
13		20	1296	A		384	BASE REFRIGERATOR	14	
15	ICE MACHINE REMOTE CONDENSER - 1000 LB	20	1296		B	1788	ABS PRECOOLER	16	
17		20	1296			1656	EXHAUST HOOD - CLAMS/FRYER	18	
19		50	4320	A		360	DELIVERY TABLET	20	
21	36" CLAMSHELL GRILL	50	4320		B	1668	EXHAUST HOOD - GRILL	22	
23		50	4320			384	BASE REFRIGERATOR	24	
25	UNIVERSAL HOLDING CABINET	20	1800	A		1464	4-VAT LOV FRYER	26	
27		20	1800		B	132	ICE MACHINE - 1000LB	28	
29	UNIVERSAL HOLDING CABINET	20	1800			132	ICE MACHINE - 1000LB	30	
31		20	1800	A		-	SPARE	32	
33	STAGING CABINET	20	1092		B	240	UHC TABLE	34	
35		20	1092			384	BASE REFRIGERATOR	36	
37	BDAP MINISPLIT	30	3000	A		-	SPARE	38	
39		30	3000		B	384	BASE REFRIGERATOR	40	
41	EXHAUST HOOD CLAMS/FRYER	30	2112			1788	ABS PRECOOLER	42	
		PHASE		A		B		C	
		TOTAL LOAD PER PHASE (W)		19572		19476		19776	
		TOTAL AMPERES PER PHASE (A)		164		163		165	

NEW KES PANEL		208/120 V 1 PHASE 3 WIRE		125 A MINIMUM BUS SIZE MAIN LUG ONLY			SURFACE MOUNTING NEMA 1 ENCLOSURE GROUND BAR		
CCT	DESCRIPTION	CB	PHASE			CB	DESCRIPTION	CCT	
			VOLT-AMPS	A	B				
1		30	1716	A		1560		2	
3	BUN STEAMER	30	1716		B	1560	ELEC. COMM. UTILITY	4	
5		30	1716	A		588		6	
7	BUN STEAMER	30	1716		B	588	CONVEYOR	8	
9		30	3024	A		840	PREP TABLE	10	
11	BUN TOASTER	30	3024		B	720	POS MONITORS	12	
13	SPARE	-	-	A		252	POS PRINTER	14	
15	SPARE	-	-		B	-	SPARE	16	
17	SPARE	-	-	A		-	SPARE	18	
19	SPARE	-	-		B	-	SPARE	20	
21	SPARE	-	-	A		-	SPARE	22	
23	SPARE	-	-		B	-	SPARE	24	
		PHASE		A		B			
		TOTAL LOAD PER PHASE (W)		9696		9324			
		TOTAL AMPERES PER PHASE (A)		81		78			

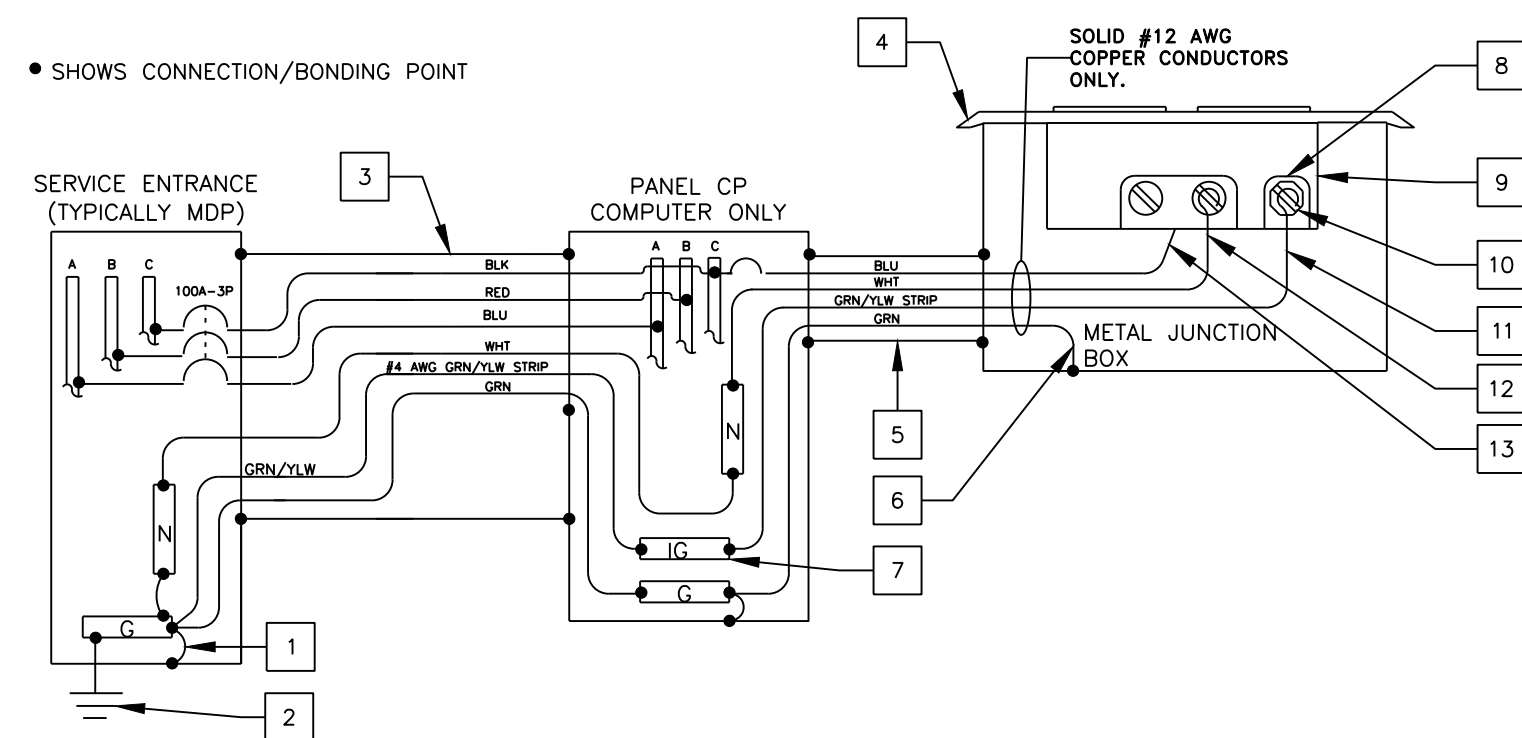
## PANEL SCHEDULES

### POS NOTES:

POS LOADS (THE POINT OF SALE COMPUTERS, MONITORS, COIN CHANGERS, PRINTERS, ETC...) SHALL BE INSTALLED ON PHASE "C". OTHER ELECTRONIC LOADS SHALL BE INSTALLED ON PHASE "A". SEE POS & COD ISOLATED GROUND/DEDICATED CIRCUIT DETAIL ON THIS SHEET. THE AUTOMATIC BEVERAGE SYSTEM (ABS) HAS A DATA LINE THAT CONNECTS TO THE POINT OF SALE COMPUTERS. THEREFORE, IT NEEDS TO BE POWERED FROM THE SAME POWER PHASE, "C", AS THE POS SYSTEM. VERIFY, OR CORRECT AS NECESSARY, THAT THE ABS CIRCUIT BREAKER IS ON THE SAME PHASE OF POWER AS THE POS SYSTEM IN ITS ORIGINAL SUBPANEL. DO NOT WIRE THE ABS INTO THE COMPUTER PANEL. PERMANENTLY MARK THE ABS CIRCUIT BREAKER CASE AS "PHASE C ONLY".

### POS & COD ISOLATED GROUND/DEDICATED CIRCUIT

• SHOWS CONNECTION/BONDING POINT



#### KEY NOTES

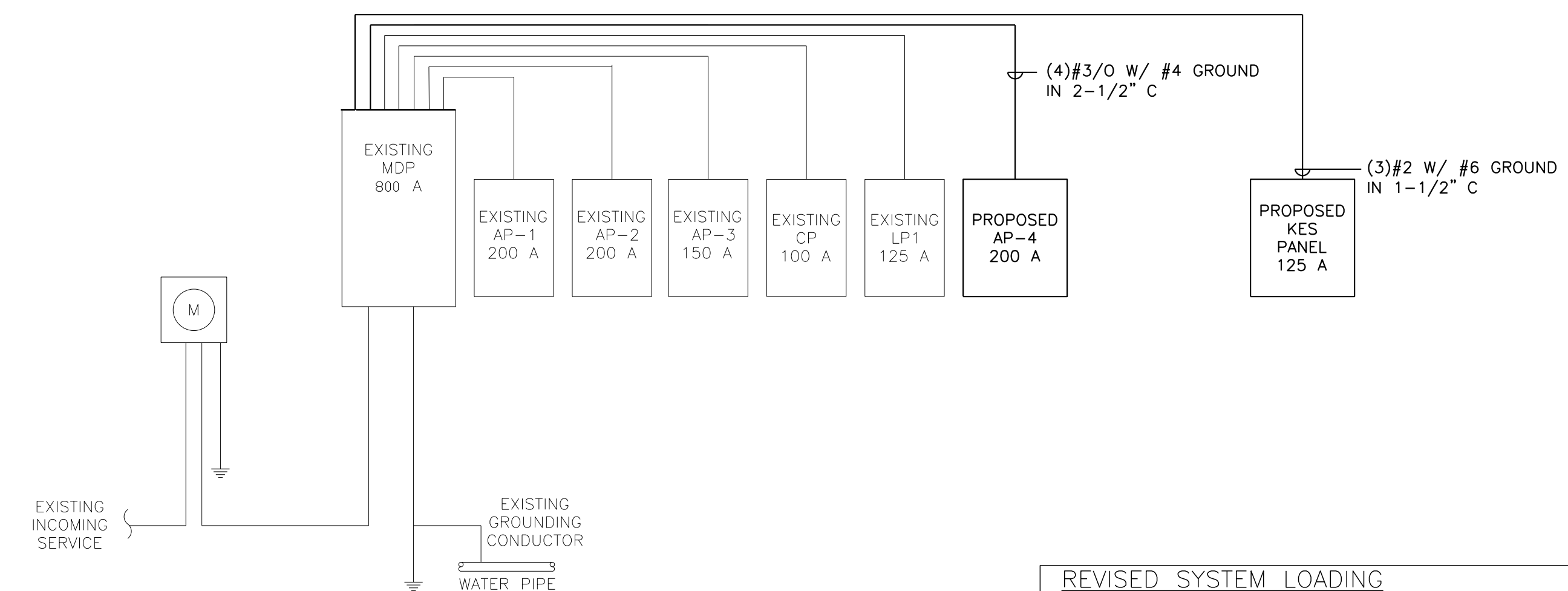
- THIS IS THE ONLY POINT WHERE THE ISOLATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE CONNECTED TO THE BUILDING'S GROUNDING SYSTEM. SEE BUILDING GROUNDING DETAIL THIS SHEET.
- 1-1/2" METAL CONDUIT: 4-#1 CU + 1-#6 CU EQUIP GND + 1-#4 CU ISOLATED GND.
- ALL ISOLATED GROUND/ DEDICATED CIRCUIT RECEPTACLE COVER PLATES SHALL BE ORANGE HUBBELL P/J2CO (SINGLE), P/J8CO (ONE DUPLEX) OR P/J82CO (TWO DUPLEX) MARKED "COMPUTER ONLY".

- METAL CONDUIT SHALL CONTAIN ONLY P.O.S. CIRCUIT CONDUCTORS (DEDICATED CIRCUIT). ONLY USE RIGID NON-METALLIC CONDUIT BELOW GRADE WHEN REQUIRED BY LOCAL CODE.
- EQUIPMENT GROUNDING BONDING CONDUCTOR (TYPICAL)
- ISOLATED GROUND BUS, ELECTRICALLY INSULATED FROM PANEL ENCLOSURE USED TO TERMINATE ONLY ISOLATED EQUIPMENT GROUNDING CONDUCTORS.
- ALL CONDUCTORS SHALL BE SOLID COPPER AND TERMINATED TO THEIR APPROPRIATE TERMINAL SCREWS BY WRAPPING THE CONDUCTOR COMPLETELY AROUND THE SCREW BARREL AND TIGHTENING THE SCREW PER MANUFACTURER'S TORQUE SPECIFICATIONS.

#### NOTES

- ALL P.O.S. EQUIPMENT (COMPUTERS, PRINTERS, MONITORS, KVS, MODEM, HUB & COD) SHALL BE POWERED FROM THE COMPUTER PANEL. ALL OTHER COMPUTER/DIGITAL EQUIPMENT SHALL BE POWERED FROM PHASE "A" IN THE COMPUTER PANEL.
- ISOLATED GROUND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF NEC SECTION 250.
- EACH 20 AMP CIRCUIT SHALL HAVE ITS OWN ISOLATED EQUIPMENT GROUNDING CONDUCTOR.
- ENTIRE GROUNDING SYSTEM SHALL COMPLY WITH NEC ARTICLE 250 AND MCDONALD'S BUILDING GROUNDING DETAIL.
- EC SHALL VERIFY CORRECT POLARITY AT RECEPTACLE.
- EC SHALL VERIFY THAT SUBPANEL CP DOES NOT CONTAIN ANY ILLEGAL NEUTRAL TO GROUND BONDS.
- PANEL CP SHALL ONLY BE USED TO POWER SENSITIVE ELECTRONIC EQUIPMENT, AS OUTLINED IN NOTE #1. IT SHALL NOT BE USED TO POWER ANY OTHER LOADS.
- IT IS A SAFETY HAZARD AND AN NEC VIOLATION FOR THE POS SYSTEM TO HAVE ITS OWN INDEPENDENT GROUNDING ROD. IF AN INDEPENDENT GROUND ROD IS FOUND FOR THE POS SYSTEM, IT SHALL BE BONDED TO THE BUILDING GROUNDING SYSTEM.

- ISOLATED GROUND RECEPTACLE HUBBELL-IG4700, IG4710, IG5262 OR IG5261. SEE ROUGH IN SCHEDULE FOR THE APPROPRIATE RECEPTACLE TO USE.
- ISOLATED GREEN GROUND SCREW.
- ISOLATED EQUIPMENT GROUNDING CONDUCTOR (GRN W/YLW STRIP)
- NEUTRAL CONDUCTOR TERMINATED ON SILVER SCREW.
- PHASE CONDUCTOR TERMINATED ON BRASS SCREW



### RISER DIAGRAM

#### REVISED SYSTEM LOADING

ELECTRICAL LOADING FOR ADDITIONAL EQUIPMENT CONNECTING TO AN EXISTING SERVICE PER NEC 220.87		DESIGN
PEAK DEMAND FOR THE LAST 12 MONTHS*		84.3 kW
PEAK DEMAND x 125%		105.4 kW
INCREASED DEMAND LOAD		63.5 kW
TOTAL kW		168.8 kW
TOTAL AMPERES		469 A
EXISTING SERVICE SIZE		800 A

\* MAXIMUM PEAK DEMAND PROVIDED BY PROPERTY OWNER IN SEPTEMBER 2023

DATE	04/09/2024
REV	0
DESCRIPTION	FOR CONSTRUCTION

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April 9, 2024

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PREPARED FOR: McDonald's USA, LLC  
DRAWN BY: DUA  
TEP PID NO.:  
REVIEWED BY: FTH  
DATE ISSUED: 04/09/2024

TITLE: ALEXANDRIA - DUKE ST  
DESCRIPTION: CONSTRUCTION DRAWINGS  
SITE ADDRESS: 3510 DUKE ST., ALEXANDRIA, VA 22304  
SHEET NO.: 45-0002

E4.2  
PANEL SCHEDULES



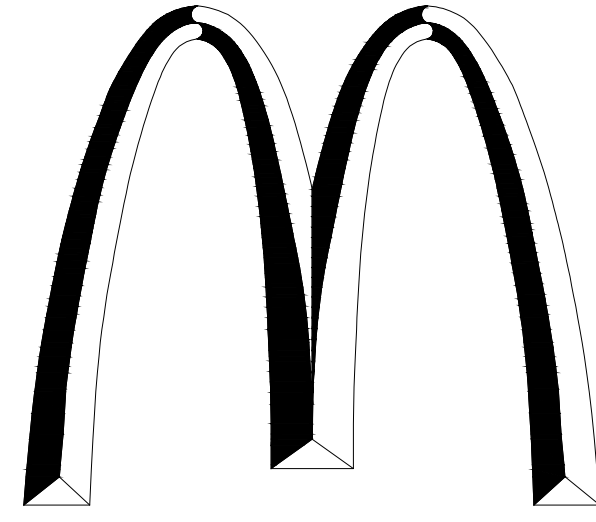
# CONSTRUCTION PLANS

FOR

## 450002 DUKE ST - ALEXANDRIA

LOCATED AT

3510 DUKE STREET, ALEXANDRIA, VA 22304



### GENERAL NOTES

#### MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

**VERTICAL DATUM**  
THE HORIZONTAL DATUM IS NAD 83 BASED UPON GPS OBSERVATIONS. THE VERTICAL DATUM IS BASED UPON GPS OBSERVATIONS NAVD 88.

**FLOOD ZONE**  
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) NUMBER 5155190037E, CITY OF ALEXANDRIA, VIRGINIA, EFFECTIVE DATE OF 06/16/2011, THE PROPERTY DESCRIBED HEREON DOES NOT LIE WITHIN A FLOODPLAIN.

#### GENERAL NOTES

1. INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED TO CONTROL SEDIMENT FROM LEAVING THE SITE PRIOR TO COMMENCING DEMOLITION WORK ON SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE UNDERGUT SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER.
9. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO EXISTING BUILDINGS TO REMAIN AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
12. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
13. CONCRETE/ASPHALT/BRICK, ETC. CAN BE CRUSHED (ON SITE OR OFFSITE) AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION PER PLANS, CITY/COUNTY REQUIREMENTS AND GEOTECH REPORT.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
15. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN FOR THE LOCATION OF THE TREES THAT ARE ALLOWED TO REMAIN TO BE REMOVED ONCE A TREE REMOVAL PERMIT IS OBTAINED BY THE CONTRACTOR.
16. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
17. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
18. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT THE APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
19. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
20. ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES.
21. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
22. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
23. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
24. CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
25. ALL IRRIGATION ON-SITE NOT TO BE RE-USED SHOULD BE REMOVED.
26. REMOVE AND/OR PLUS EXISTING UTILITIES SUCH AS STORM DRAINAGE, SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN OR AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
27. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
28. REFERENCE ALTA SURVEY FOR TREE SIZE AND SPECIES INFO.
29. GENERAL CONTRACTOR SHALL COORDINATE WITH MCDONALD'S STORE MANAGER ON CONSTRUCTION PRIOR TO MOBILIZATION.

### VICINITY MAP



SCALE: 1" = 500'



### SHEET INDEX

Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-050	ALTA SURVEY
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-250	CONSTRUCTION DETAILS
C-251	CONSTRUCTION DETAILS
C-252	CONSTRUCTION DETAILS
C-300	GRADING PLAN
C-400	UTILITY PLAN
C-500	LAND AREA MAP

### PROJECT TEAM

#### CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
11400 COMMERCE PARK DRIVE, SUITE 400  
RESTON, VA 20191  
CONTACT: CHRIS HOWELL, PE  
EMAIL: CHRIS.HOWELL@KIMLEY-HORN.COM  
TEL: (703) 674-1317

#### OWNER

GOLDEN ARCH REALTY CORP  
MCDONALD'S CORPORATION PO BOX 182571  
COLUMBUS, OH 43218

#### SURVEYOR

GRS GROUP, LLC  
6703 DELAND COURT  
SPRINGFIELD, VA 22152  
CONTACT: GREGORY STEINHILBER  
EMAIL: GRSGROUPLLC@GMAIL.COM  
TEL: (703) 727-5828

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DIAL 811

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**Kimley»Horn**

2024 KIMLEY-HORN AND ASSOCIATES, INC.  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM



KHA PROJECT	110368121
DATE	09/29/2024
SCALE	AS SHOWN
DESIGNED BY	DIR
DRAWN BY	DIR
CHECKED BY	CMH

COVER SHEET

450002  
DUKE ST. - ALEXANDRIA  
PREPARED FOR  
MCDONALD'S CORPORATION  
CITY OF ALEXANDRIA  
VIRGINIA

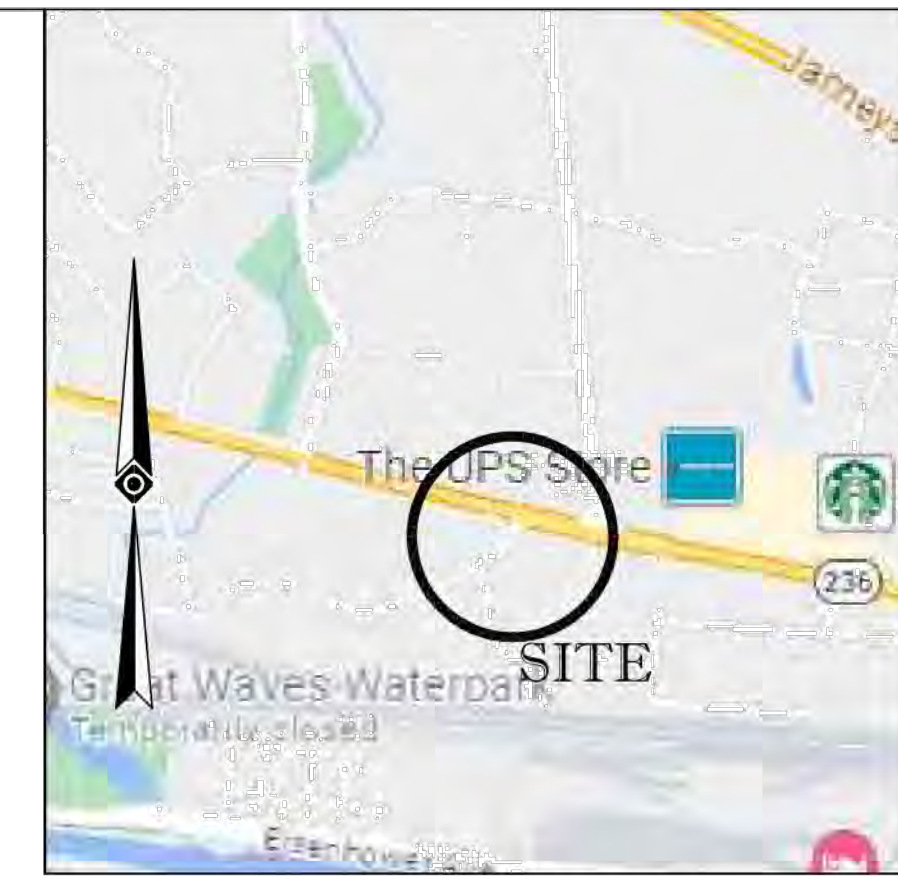
SHEET NUMBER  
C-000

No.	REVISIONS	DATE	BY

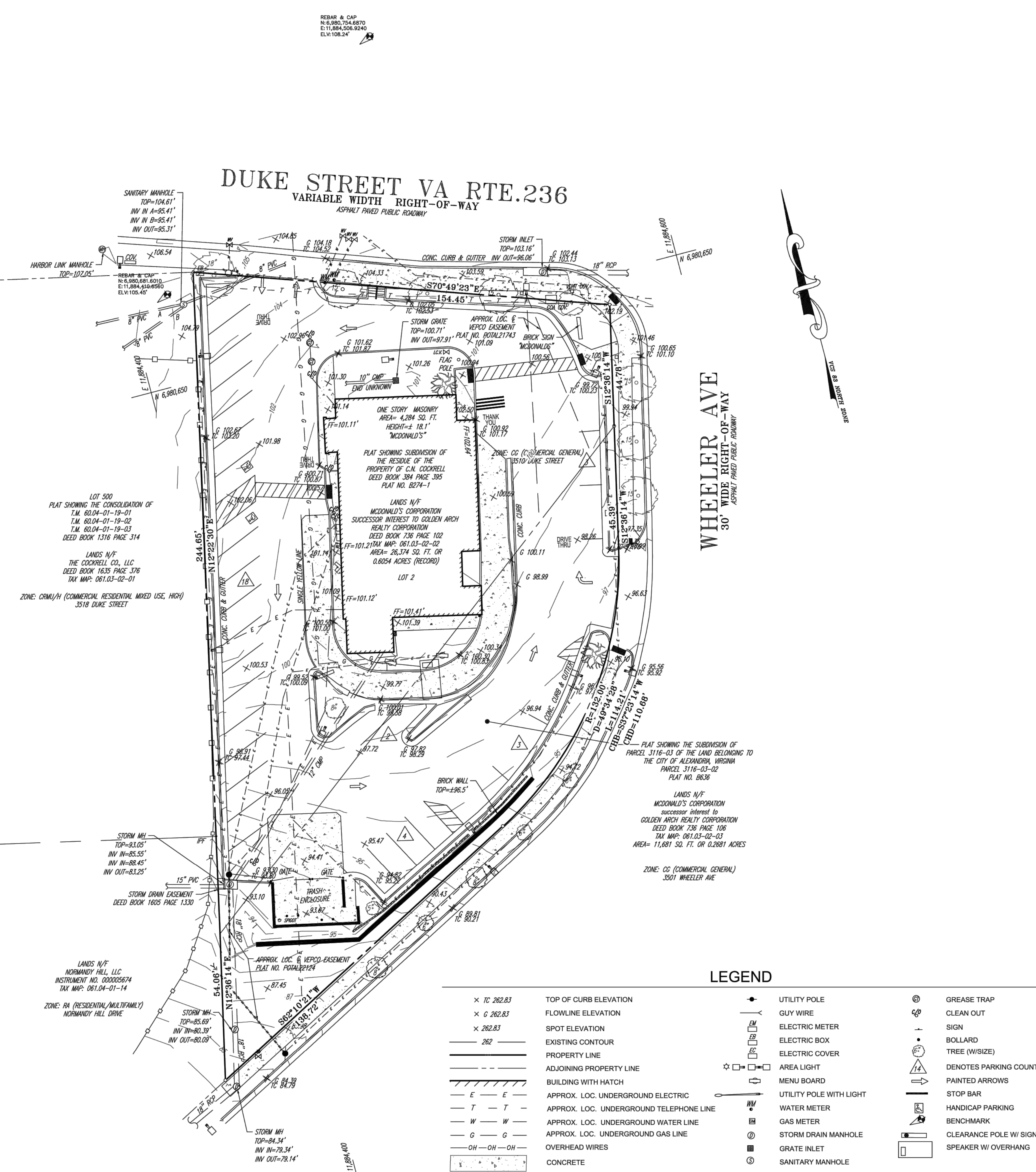
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**DUKE STREET VA RTE.236**  
 VARIABLE WIDTH RIGHT-OF-WAY  
 ASPHALT PAVED PUBLIC ROADWAY

**WHEELER AVE**  
 30' WIDE RIGHT-OF-WAY  
 ASPHALT PAVED PUBLIC ROADWAY



VICINITY MAP



LOT 500  
 PLAT SHOWING THE CONSOLIDATION OF  
 T.M. 60.04-01-19-01  
 T.M. 60.04-01-19-02  
 T.M. 60.04-01-19-03  
 DEED BOOK 1316 PAGE 314

LANDS N/F  
 THE COCKRELL CO., LLC  
 DEED BOOK 1635 PAGE 376  
 TAX MAP: 061.03-02-01

ZONE: CR(M)/H (COMMERCIAL RESIDENTIAL MIXED USE, HIGH)  
 3518 DUKE STREET

LANDS N/F  
 NORMANDY HILL, LLC  
 INSTRUMENT NO. 000005674  
 TAX MAP: 061.04-01-14

ZONE: RA (RESIDENTIAL/MULTIFAMILY)  
 NORMANDY HILL DRIVE

LANDS N/F  
 MCDONALD'S CORPORATION  
 SUCCESSOR INTEREST TO  
 GOLDEN ARCH REALTY CORPORATION  
 DEED BOOK 736 PAGE 106  
 TAX MAP: 061.03-02-03  
 AREA= 11,681 SQ. FT. OR 0.2681 ACRES

ZONE: CG (COMMERCIAL GENERAL)  
 3501 WHEELER AVE

**LEGEND**

× TC 262.83	TOP OF CURB ELEVATION	●	UTILITY POLE	⊙	GREASE TRAP
— G 262.83	FLOWLINE ELEVATION	—	GUY WIRE	⊕	CLEAN OUT
× 262.83	SPOT ELEVATION	EM	ELECTRIC METER	⊙	SIGN
— 262	EXISTING CONTOUR	EB	ELECTRIC BOX	⊙	BOLLARD
— — —	PROPERTY LINE	EC	ELECTRIC COVER	⊙	TREE (W/SIZE)
— — — —	ADJOINING PROPERTY LINE	EL	AREA LIGHT	⊙	DENOTES PARKING COUNT
— — — —	BUILDING WITH HATCH	EL	MENU BOARD	→	PAINTED ARROWS
— — — —	APPROX. LOC. UNDERGROUND ELECTRIC	EL	UTILITY POLE WITH LIGHT	→	STOP BAR
— — — —	APPROX. LOC. UNDERGROUND TELEPHONE LINE	WM	WATER METER	→	HANDICAP PARKING
— — — —	APPROX. LOC. UNDERGROUND WATER LINE	WM	GAS METER	→	BENCHMARK
— — — —	APPROX. LOC. UNDERGROUND GAS LINE	WM	STORM DRAIN MANHOLE	→	CLEARANCE POLE W/ SIGN
— — — —	OVERHEAD WIRES	WM	GRATE INLET	→	SPEAKER W/ OVERHANG
— — — —	CONCRETE	WM	SANITARY MANHOLE	→	
— — — —	METAL RAIL	WM		→	

- NOTES:
- PROPERTY IS THE LANDS OF MCDONALD'S CORPORATION, SUCCESSOR IN INTEREST TO GOLDEN ARCHES REALTY CORPORATION AS RECORDED IN DEED BOOK 763 AT PAGE 102 AND DEED BOOK 736 AT PAGE 106 AND HAVING A TAX MAP NUMBER OF 061.03-02-03 & 061.03-02-02.
  - AREA TAX MAP 061.03-02-03 = 11,681 SQ. FT. OR 0.2681 ACRES  
 AREA TAX MAP 061.03-02-02 = 26,374 SQ. FT. OR 0.6054 ACRES
  - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS BUILT PLANS AND UTILITY MARK OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
  - THE HORIZONTAL DATUM IS VIRGINIA STATE PLANE COORDINATE SYSTEM, NAD 83 NORTH ZONE BASED UPON GPS OBSERVATIONS. THE VERTICAL DATUM IN NAVD 1988 BASED UPON GPS OBSERVATIONS.
  - BY GRAPHIC PLOTTING THE PROPERTY IS LOCATED IN OTHER AREAS, ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF ALEXANDRIA, VIRGINIA INDEPENDENT CITY, PANEL 37 OF 45", MAP NUMBER 5156190037E, MAP EFFECTIVE DATE JUNE 16, 2011.
  - THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.
  - THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
  - THERE WAS NO EVIDENCE OF A FIELD DELINEATION OF WETLANDS CONDUCTED ON THE SITE.
  - THERE ARE NO VISIBLE, POSSIBLE ENCROACHMENTS, EXCEPT AS SHOWN ON THE SURVEY.
  - THERE WERE NO CEMETERIES OR FAMILY BURIAL GROUNDS OBSERVED AT THE TIME OF SURVEY.
  - THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WATER DUMP, SUMP OR SANITARY LANDFILL.
  - THE PROPERTY HAS DIRECT VEHICULAR, PEDESTRIAN AND UTILITY ACCESS TO DUKE STREET, VA ROUTE 236 AND WHEELER AVE, PUBLICLY DEDICATED AND MAINTAINED RIGHTS OF WAY.
  - THE SURVEYED PROPERTY CONTAINS 30 REGULAR PARKING SPACES INCLUDING 2 HANDICAPPED SPACES.

- REFERENCES:
- CITY OF ALEXANDRIA, VIRGINIA - ONLINE GIS PARCEL VIEWER.
  - MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, CITY OF ALEXANDRIA, VIRGINIA INDEPENDENT CITY, PANEL 37 OF 45", MAP NUMBER 5156190037E, MAP EFFECTIVE DATE JUNE 16, 2011.

THIS "BOUNDARY AND TOPOGRAPHIC SURVEY, THE LANDS OF GOLDEN ARCHES REALTY CORPORATION AS RECORDED IN DEED BOOK 763 AT PAGE 102 AND DEED BOOK 736 AT PAGE 106 WAS COMPLETED UNDER MY SUPERVISION FROM AN ACTUAL GROUND SURVEY; THE FIELD WORK WAS COMPLETED ON OCTOBER 31, 2023 AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA, INCLUDING METADATA, MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

**GREGORY R. STEINHILBER**  
 No. 3430  
 VIRGINIA LICENSED LAND SURVEYOR NO. 3430

NOVEMBER 10, 2023  
 DATE

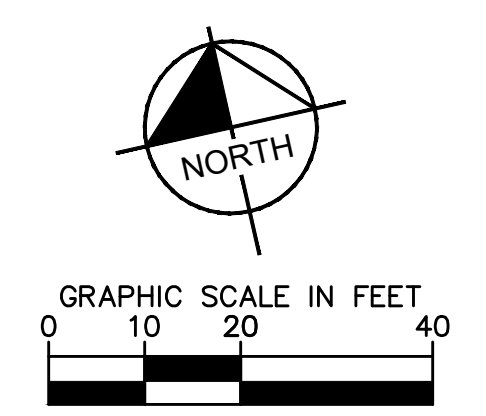
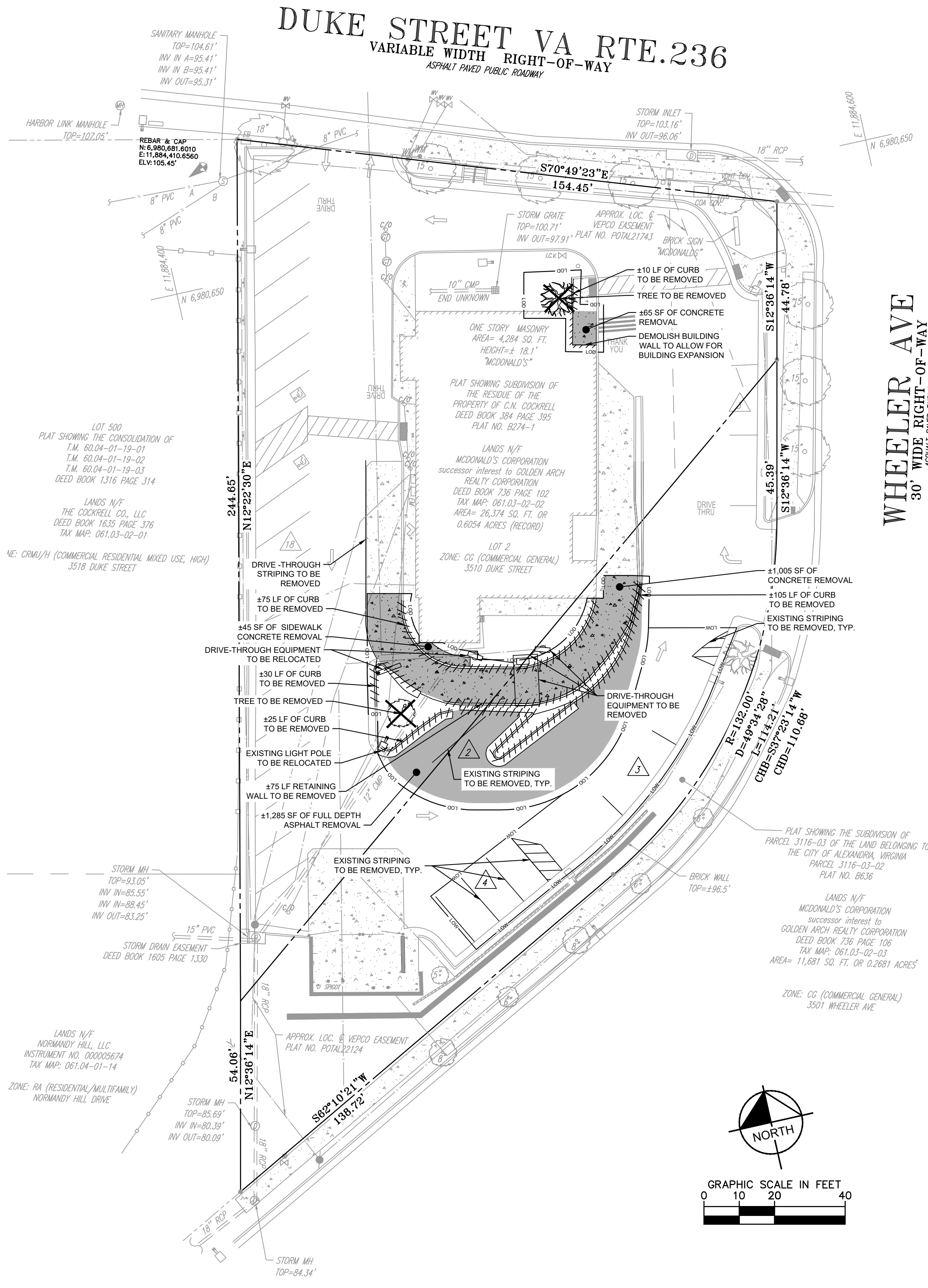
DATE	BY	REVISION

BOUNDARY AND TOPOGRAPHIC SURVEY  
 LANDS N/F  
 MCDONALD'S CORPORATION  
 SUCCESSOR IN INTEREST TO  
 GOLDEN ARCH REALTY CORPORATION  
 DEED BOOK 763 PAGE 102 & DEED BOOK 763 PAGE 106  
 CITY OF ALEXANDRIA, VIRGINIA  
 DATE: NOVEMBER 10, 2023  
 SCALE: 1" = 20'

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**GRS GROUP, LLC**  
 6703 DELAND COURT  
 SPRINGFIELD, VA 22152  
 TELE: 703-727-5828  
 FAX: 703-763-2320  
 email: grsgroup.llc@gmail.com

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LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE (±3,860 SF)
	LIMITS OF WORK
	LIMITS OF ITEM TO BE REMOVED
	SAWCUT LINE
	MILL AND OVERLAY
	FULL DEPTH ASPHALT REMOVAL
	CONCRETE REMOVAL
	PARTIAL DEPTH ASPHALT REMOVAL (REMOVAL TO TOP OF AGGREGATE LAYER)
	EXISTING TREE TO BE REMOVED

- ### DEMOLITION NOTES
- THIS DEMOLITION PLAN IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION AND FOR THE DEMOLITION, REMOVAL, OR RELOCATION OF ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - CONTRACTOR IS TO RESTORE ALL OFF-SITE DISTURBED AREAS TO EXISTING CONDITIONS AFTER CONSTRUCTION.
  - LOCATIONS OF EXISTING UTILITIES ARE FOR REFERENCE ONLY. CONTRACTOR IS TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
  - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT THE SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
  - DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF THE UTILITY HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY. PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
  - PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF DIFFERENT FROM CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
  - THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
  - DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
  - ANY PAVEMENT REPLACEMENT WITHIN THE ROW SHALL MATCH THE EXISTING PAVEMENT SECTION.
  - FOR ALL UTILITIES TO BE RELOCATED, THE SERVICE SHALL NOT BE INTERRUPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

<h1 style="font-size: 2em; margin: 0;">Kimley-Horn</h1> <p style="font-size: 0.8em; margin: 5px 0;">© 2024 KIMLEY-HORN AND ASSOCIATES, INC.        11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191        PHONE: 703-674-1300 FAX: 703-674-1350        WWW.KIMLEY-HORN.COM</p>		REVIEWS	DATE
		No.	
		<b>DEMOLITION PLAN</b>	

**450002**  
**DUKE ST. - ALEXANDRIA**  
 PREPARED FOR  
**MCDONALD'S CORPORATION**  
 CITY OF ALEXANDRIA, VIRGINIA

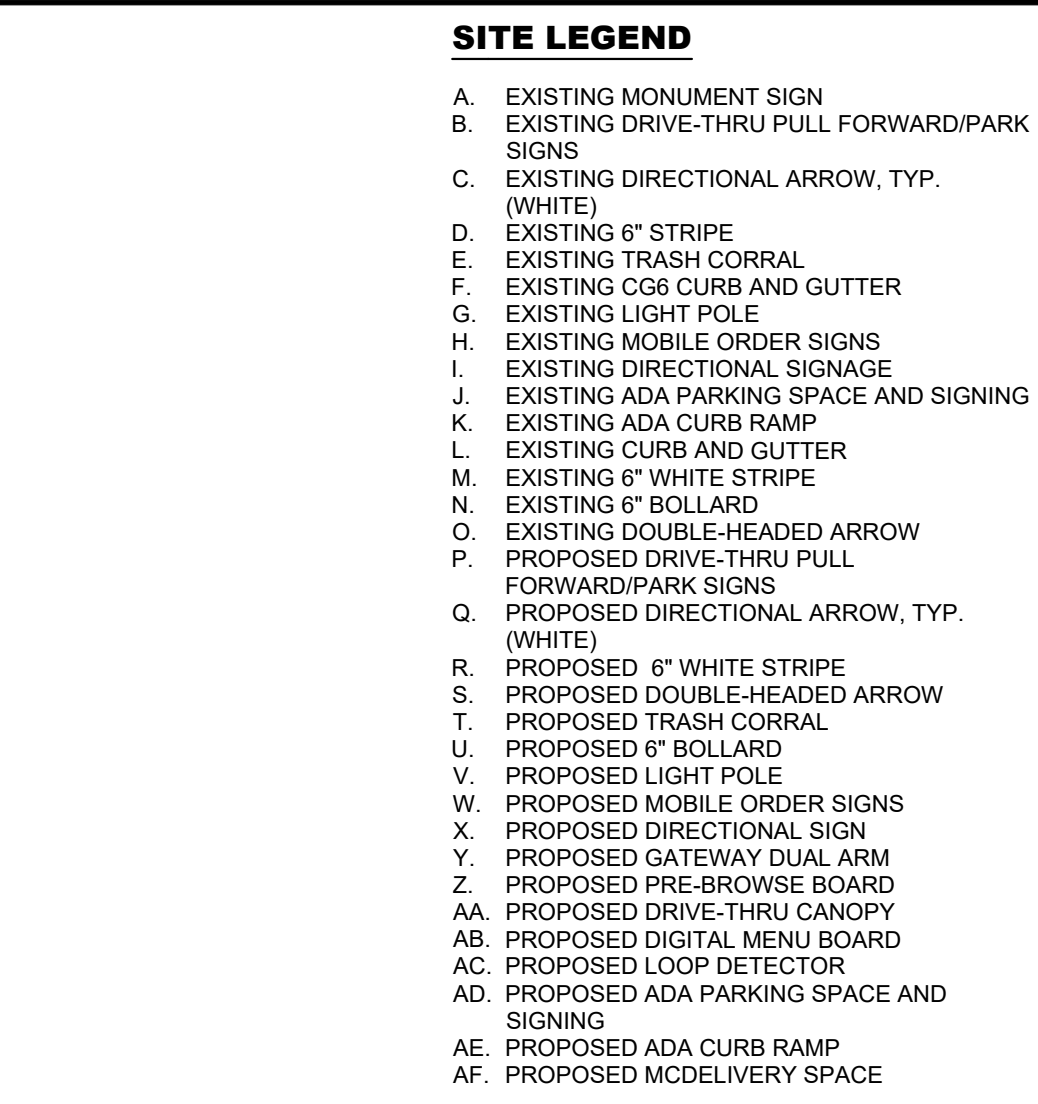
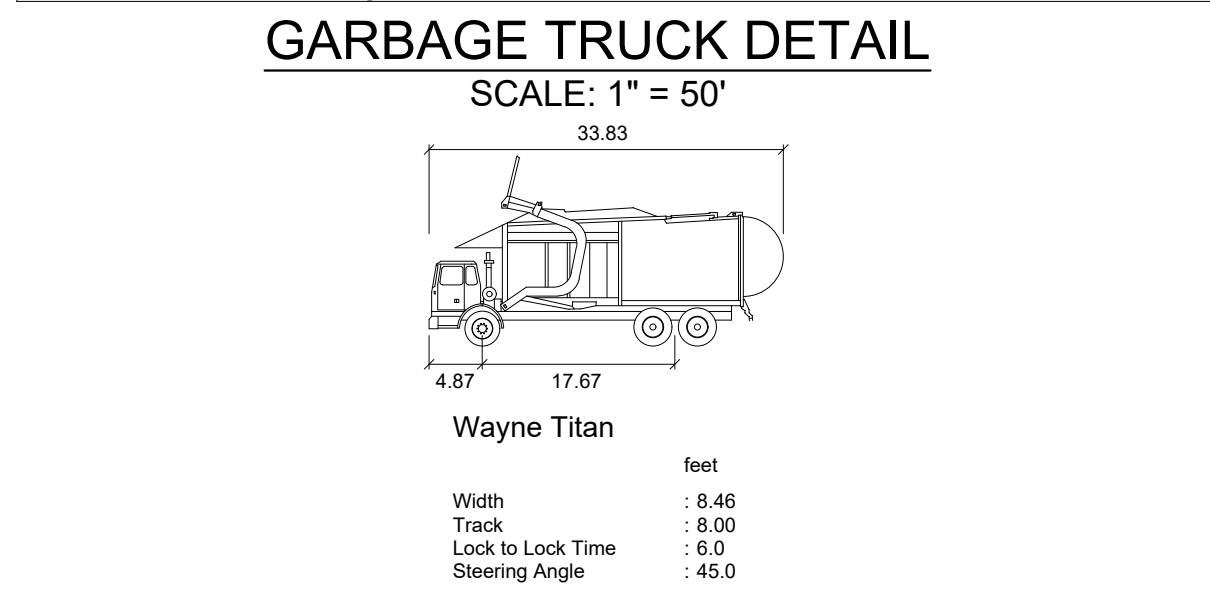
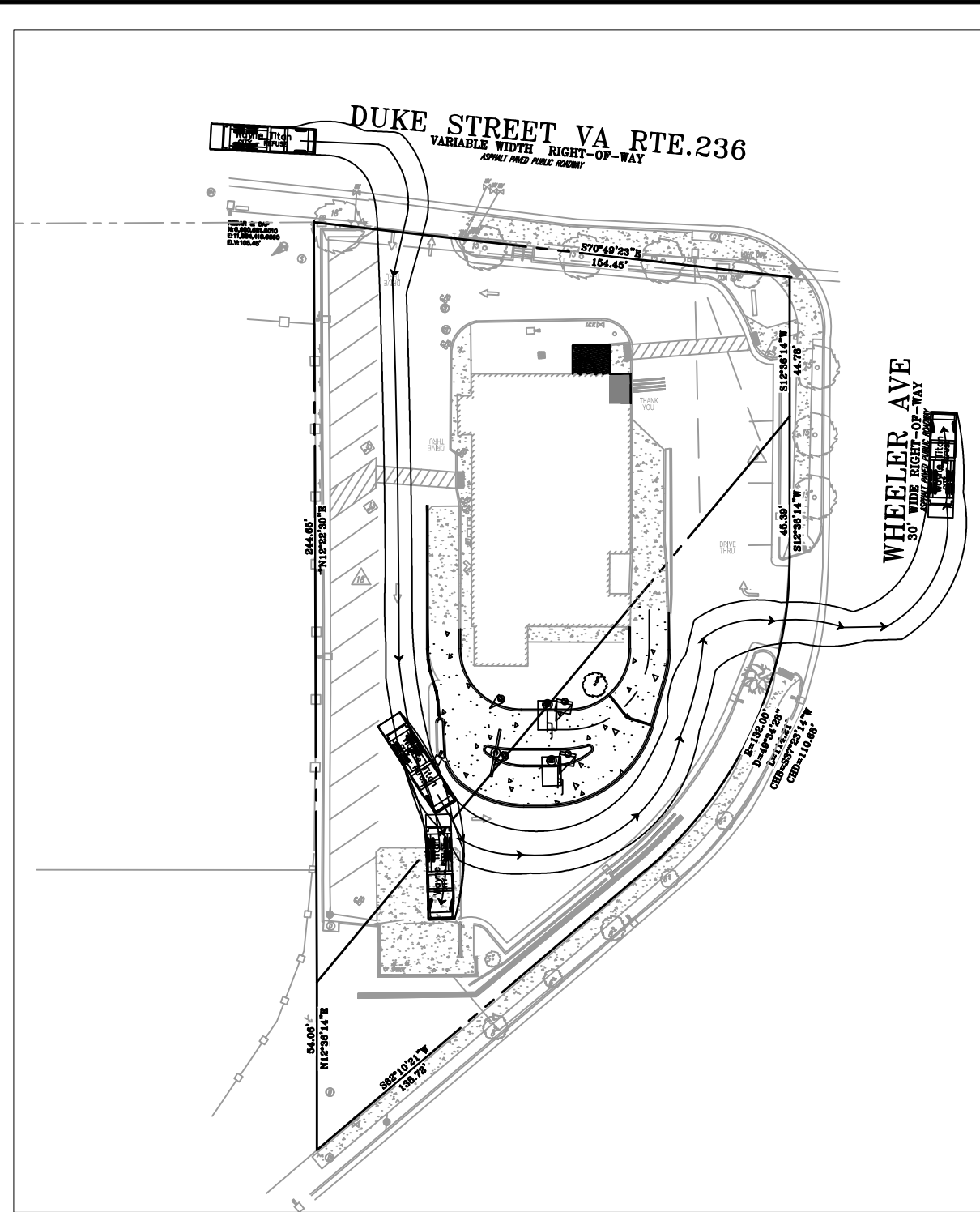
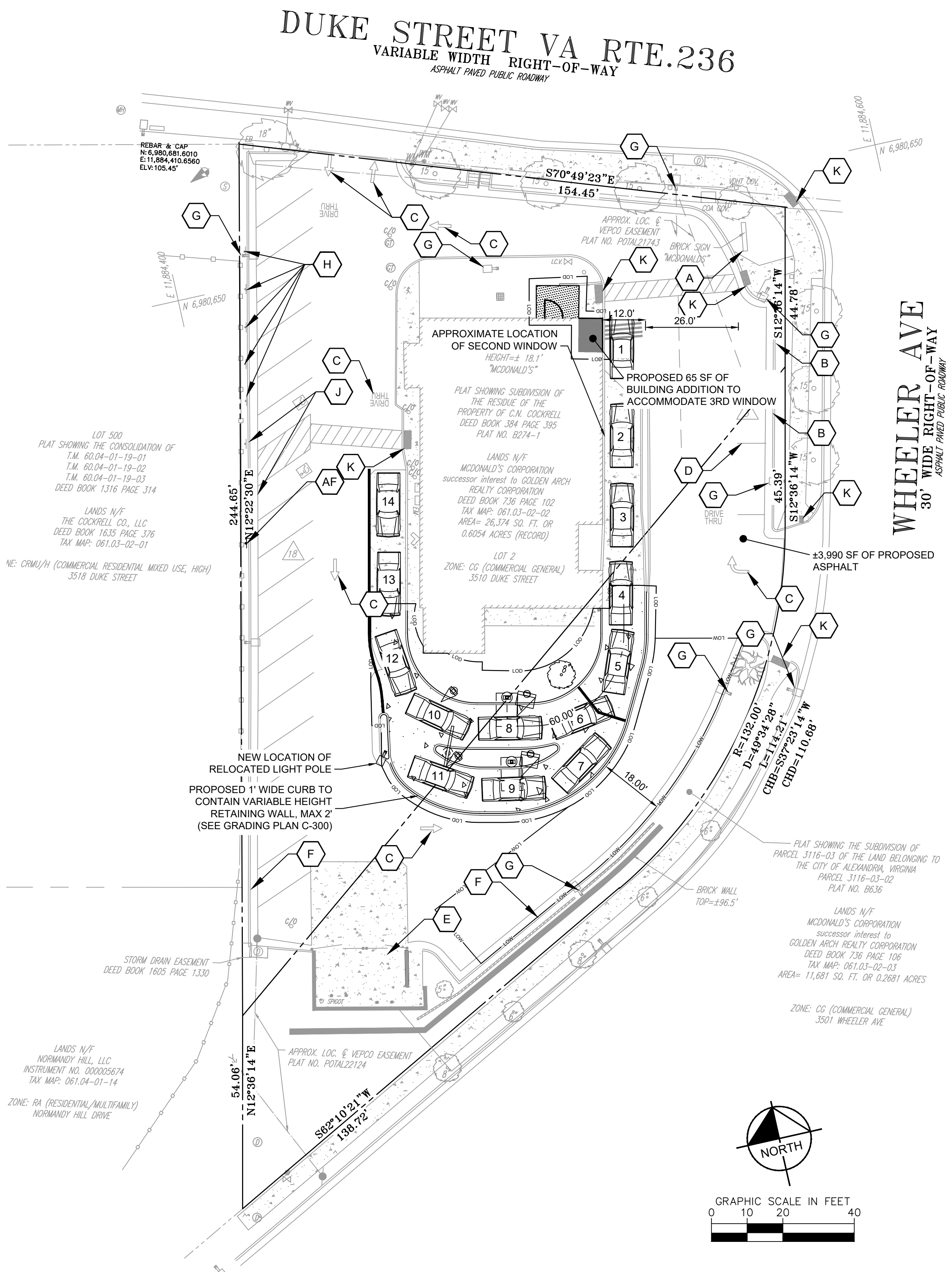
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- SITE LEGEND**
- A. EXISTING MONUMENT SIGN
  - B. EXISTING DRIVE-THRU PULL FORWARD/PARK SIGNS
  - C. EXISTING DIRECTIONAL ARROW, TYP. (WHITE)
  - D. EXISTING 6" STRIPE
  - E. EXISTING TRASH CORRAL
  - F. EXISTING C&G CURB AND GUTTER
  - G. EXISTING LIGHT POLE
  - H. EXISTING MOBILE ORDER SIGNS
  - I. EXISTING DIRECTIONAL SIGNAGE
  - J. EXISTING ADA PARKING SPACE AND SIGNING
  - K. EXISTING ADA CURB RAMP
  - L. EXISTING CURB AND GUTTER
  - M. EXISTING 6" WHITE STRIPE
  - N. EXISTING 6" BOLLARD
  - O. EXISTING DOUBLE-HEADED ARROW
  - P. PROPOSED DRIVE-THRU PULL FORWARD/PARK SIGNS
  - Q. PROPOSED DIRECTIONAL ARROW, TYP. (WHITE)
  - R. PROPOSED 6" WHITE STRIPE
  - S. PROPOSED DOUBLE-HEADED ARROW
  - T. PROPOSED TRASH CORRAL
  - U. PROPOSED 6" BOLLARD
  - V. PROPOSED LIGHT POLE
  - W. PROPOSED MOBILE ORDER SIGNS
  - X. PROPOSED DIRECTIONAL SIGN
  - Y. PROPOSED GATEWAY DUAL ARM
  - Z. PROPOSED PRE-BROWSE BOARD
  - AA. PROPOSED DRIVE-THRU CANOPY
  - AB. PROPOSED DIGITAL MENU BOARD
  - AC. PROPOSED LOOP DETECTOR
  - AD. PROPOSED ADA PARKING SPACE AND SIGNING
  - AE. PROPOSED ADA CURB RAMP
  - AF. PROPOSED MCDelivery SPACE
- LEGEND**
- PROPERTY LINE
  - LIMITS OF DISTURBANCE (±3,860 SF)
  - PROPOSED CURB
  - PROPOSED CURB AND GUTTER
  - PROPOSED SIGN
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED ASPHALT

**SITE DATA**

LOCATION: CITY OF ALEXANDRIA  
 ADDRESS: 3510 DUKE STREET ALEXANDRIA, VA 22304

ZONING: CR - COMMERCIAL REGIONAL

LAND USE: RESTAURANT, FAST FOOD  
 SITE AREA: ±38,055 SF ±0.87 AC

MIN. PARKING REQUIRED: 1 SPACE PER 1,000 SF OF FLOOR AREA  
 MAX. PARKING REQUIRED: 3 SPACES PER 1,000 SF OF FLOOR AREA

PARKING SUMMARY	REQUIRED	EXISTING	PROVIDED
TOTAL PARKING	5 MIN/13 MAX	30	21
ACCESSIBLE PER ADA	2	2	2

PARKING ANGLE	STALL WIDTH (FT.)	DEPTH OF STALLS PERPENDICULAR TO AISLE (FT.)	ONE-WAY AISLE (FT.)	TWO-WAY AISLE (FT.)
0° PARKING (STANDARD STALLS)	22	8	12	N/A
0° PARKING (COMPACT STALLS)	18	7	12	N/A
60° PARKING	9	19	16	16
90° PARKING (STANDARD STALLS)	9	18.5	22	22
90° PARKING (COMPACT STALLS)	8	16	20	20

NO.	REVISIONS	DATE	BY

**Kimley Horn**

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 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA  
 CHRIS HOWELL  
 Lic. No. 0402058105  
 03/29/2024  
 PROFESSIONAL ENGINEER

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
110368121	03/29/2024	AS SHOWN	DJR	DJR	CMH

**SITE PLAN**

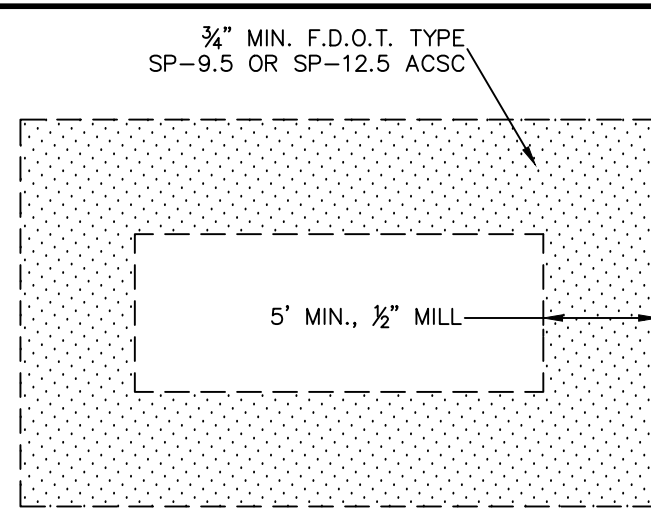
450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 CITY OF ALEXANDRIA VIRGINIA

SHEET NUMBER  
**C-200**

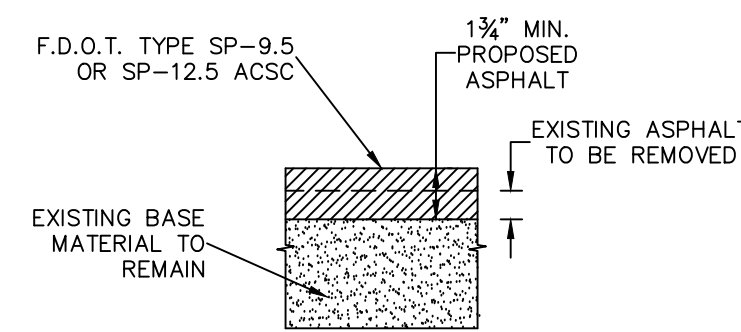
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 DIAL 811

Know what's below.  
 Call before you dig.

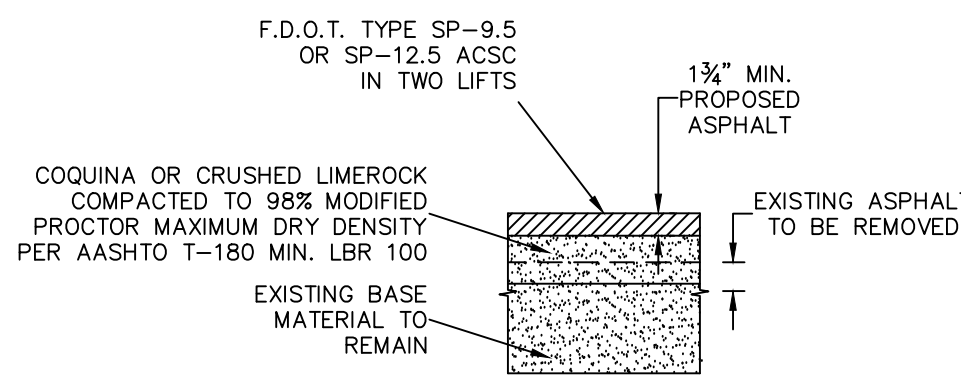
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OPTION #1  
MILL AND RESURFACE



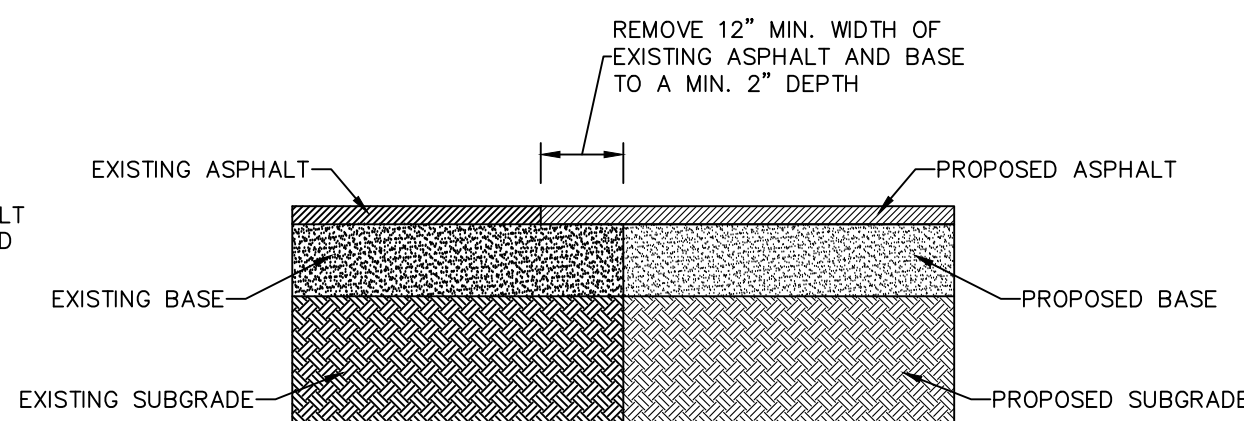
OPTION #2  
PAVEMENT REMOVAL AND OVERLAY



OPTION #3  
PAVEMENT REMOVAL AND OVERLAY WITH ADDITIONAL BASE MATERIAL

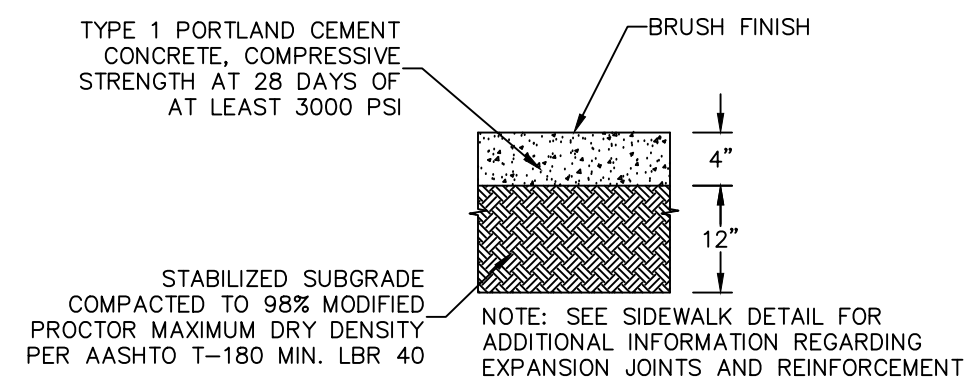
**ASPHALT PAVEMENT RESTORATION**

Scale: N.T.S.



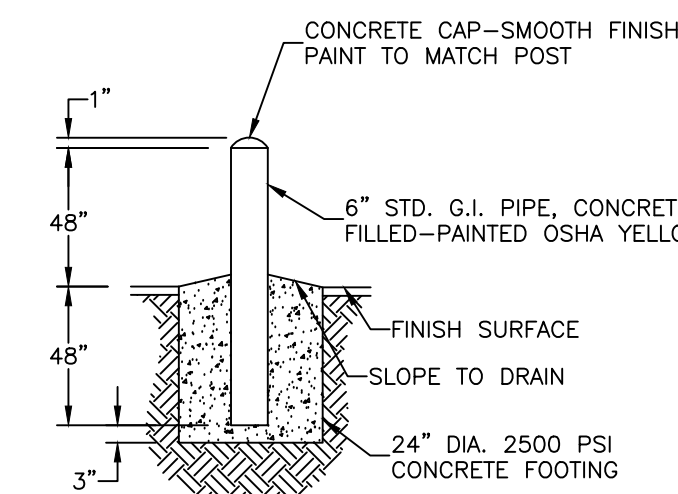
**SAW-CUT**

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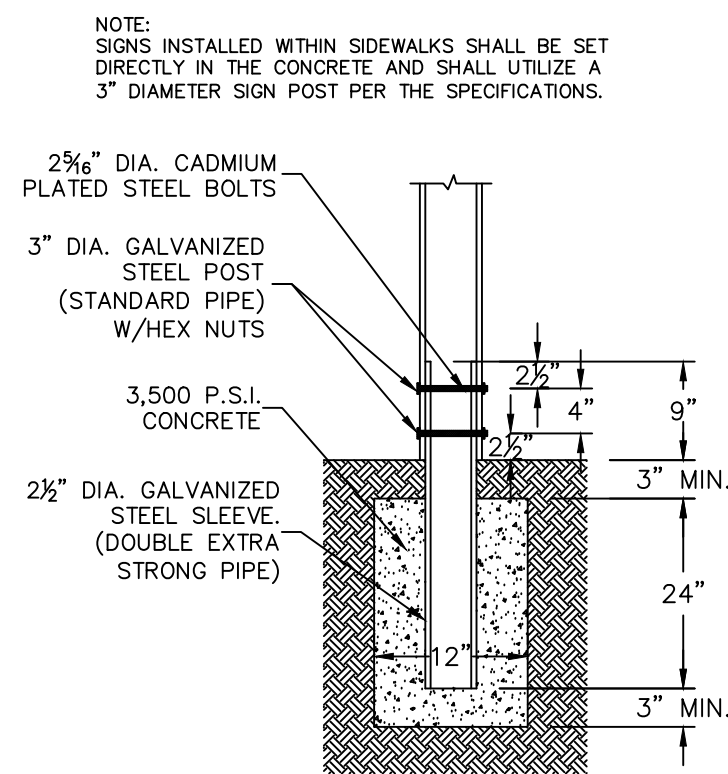
**CONCRETE PAVEMENT**

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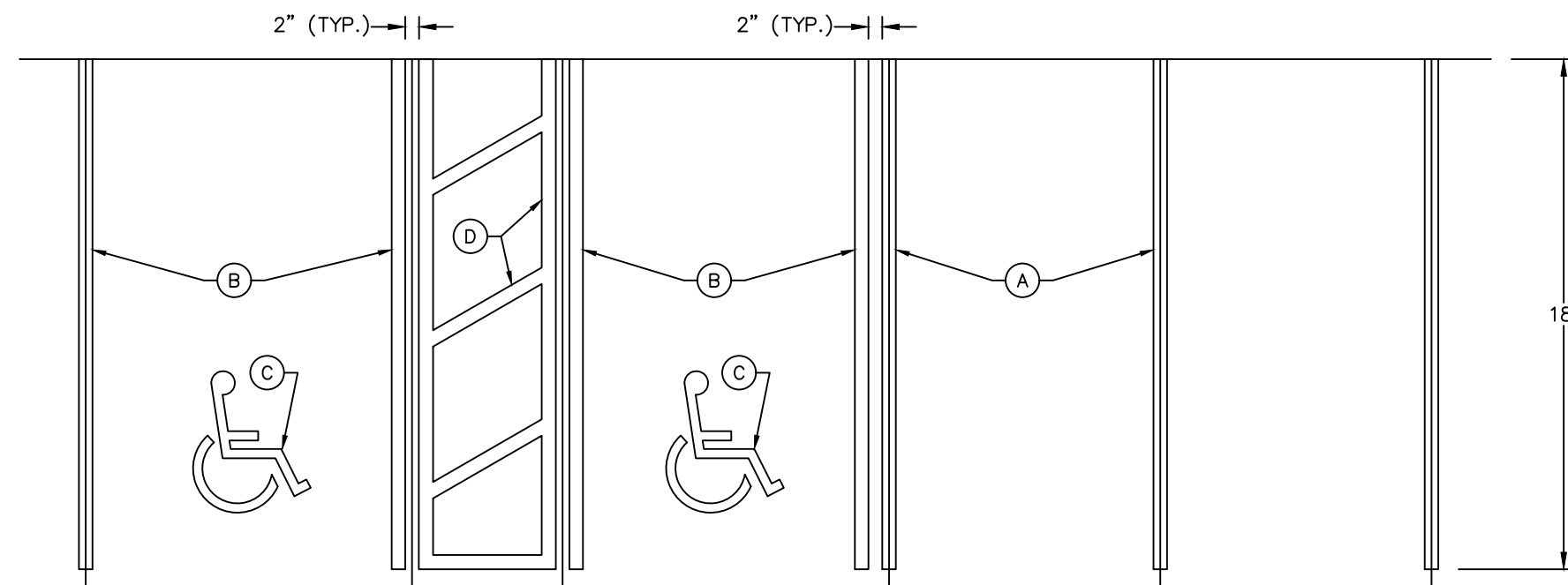
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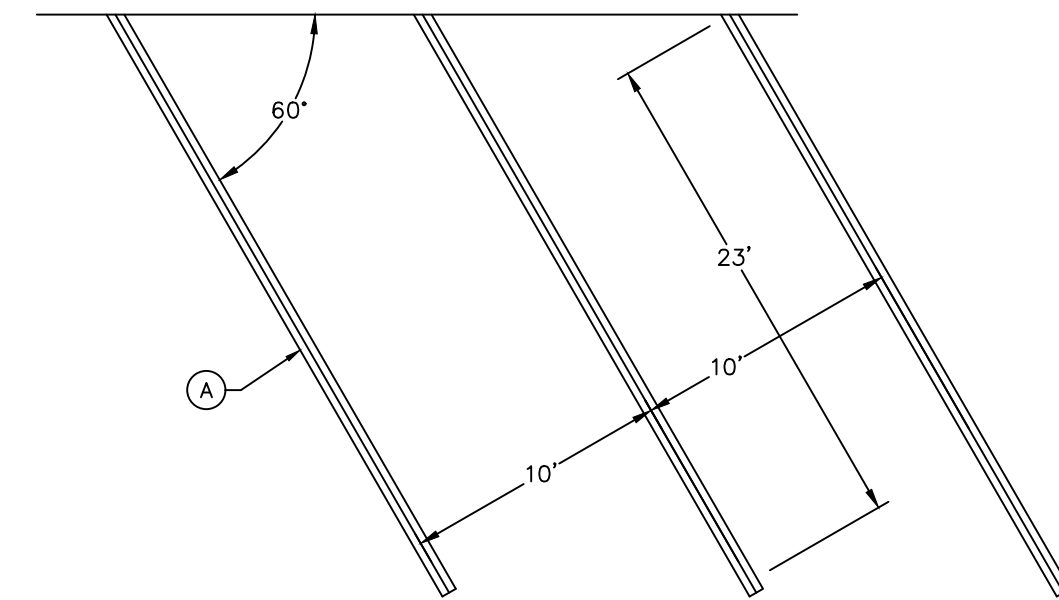
**SIGN BASE**

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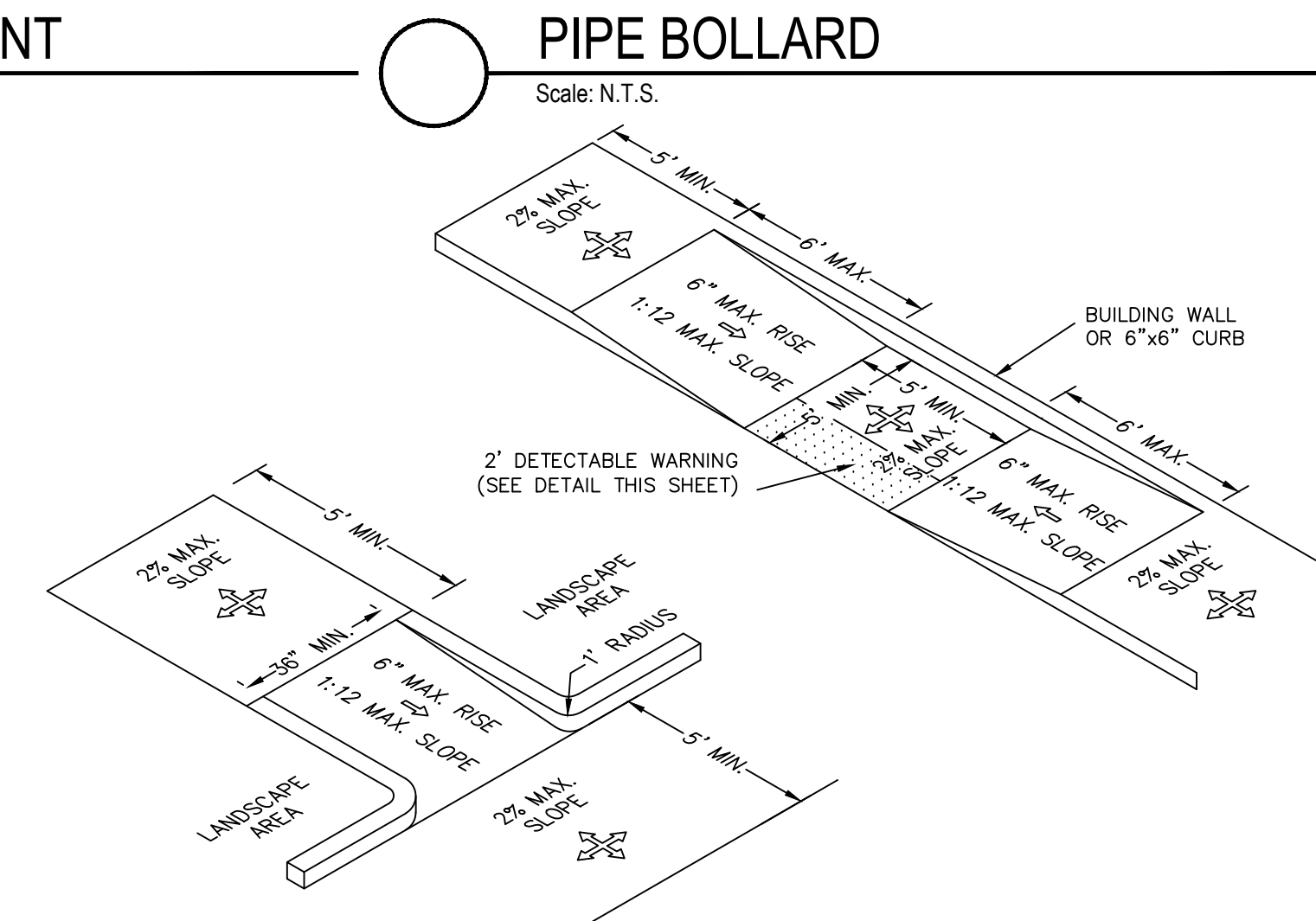
**PARKING STALL STRIPING**

Scale: N.T.S.



**60° STALL STRIPING**

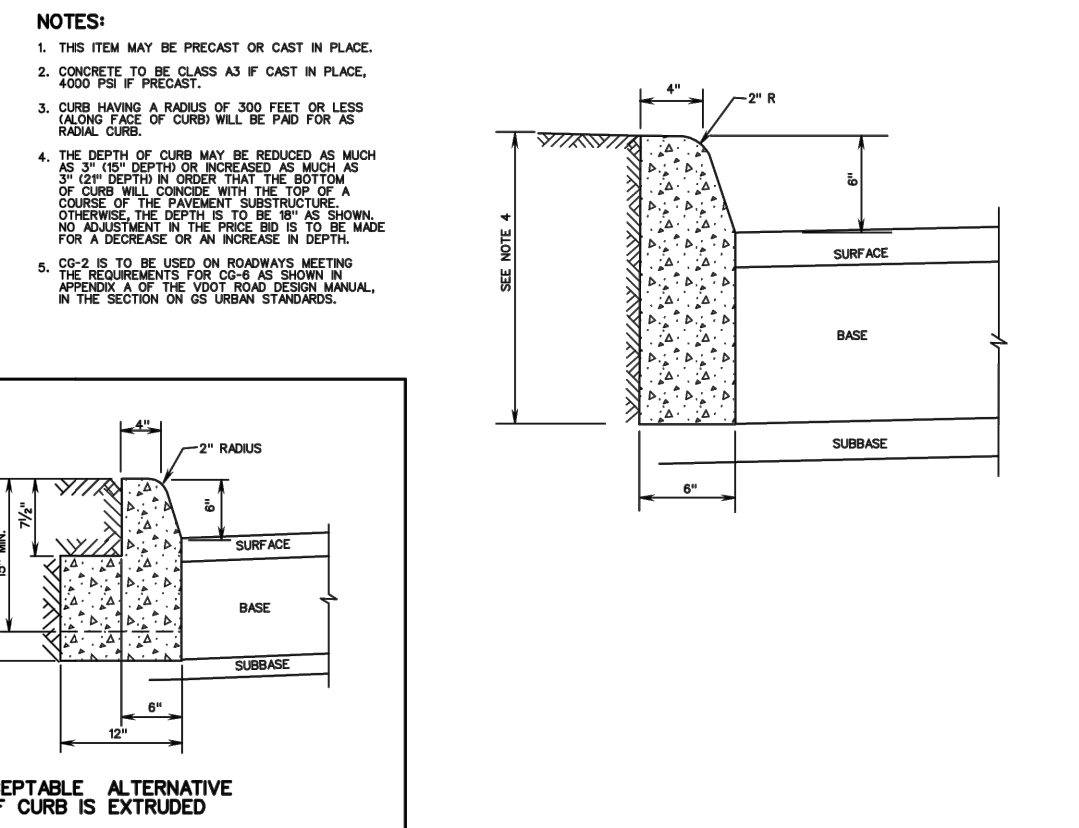
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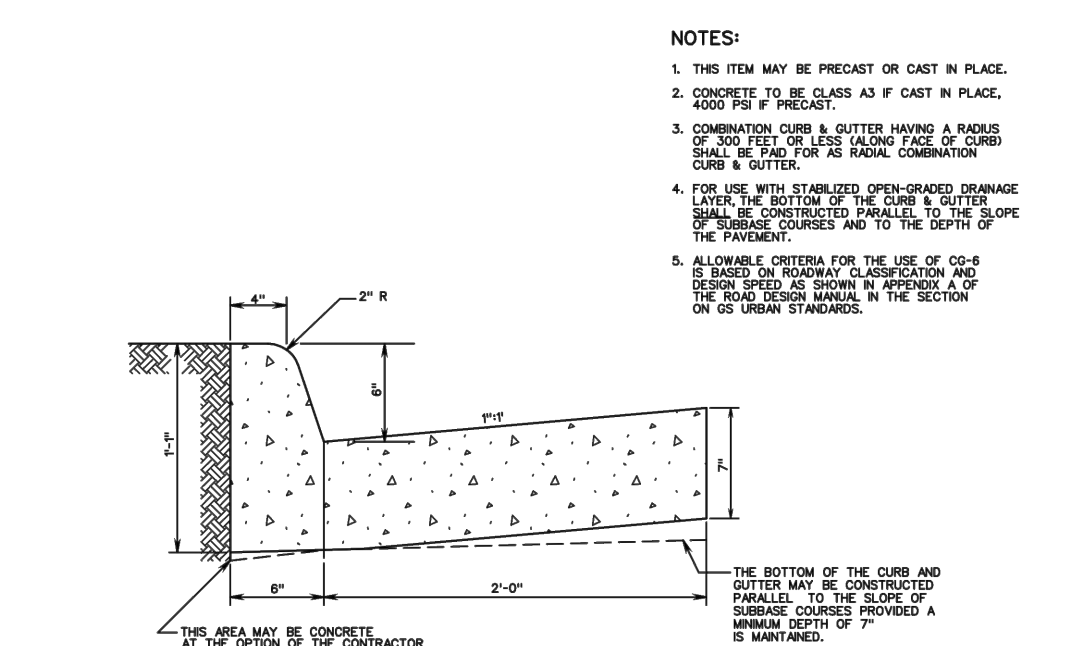
**ACCESSIBLE RAMPS**

Scale: N.T.S.

2016 ROAD & BRIDGE STANDARDS



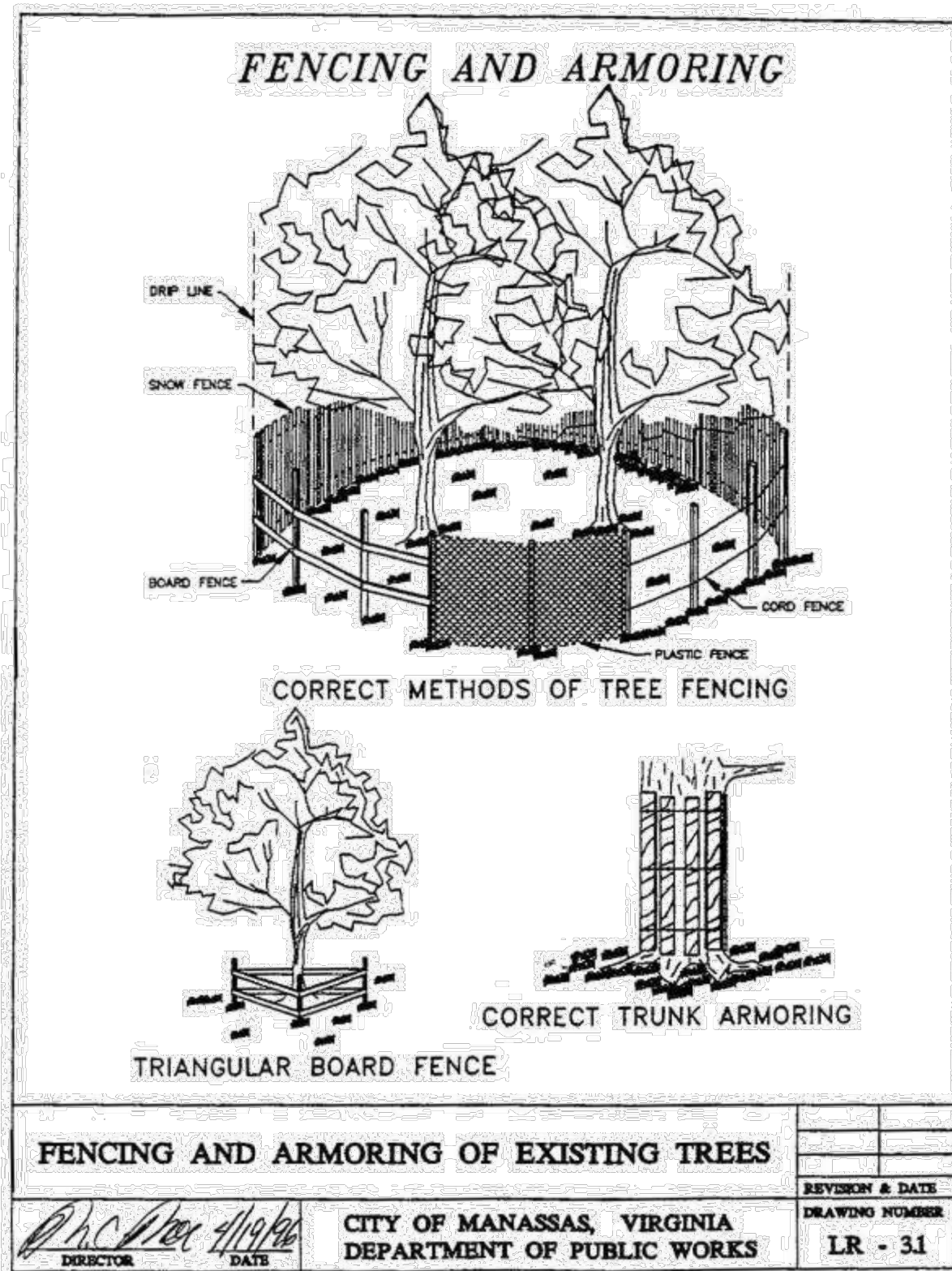
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606	2016 ROAD & BRIDGE STANDARDS



SPECIFICATION REFERENCE	COMBINATION 6\"/>
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606	2016 ROAD & BRIDGE STANDARDS

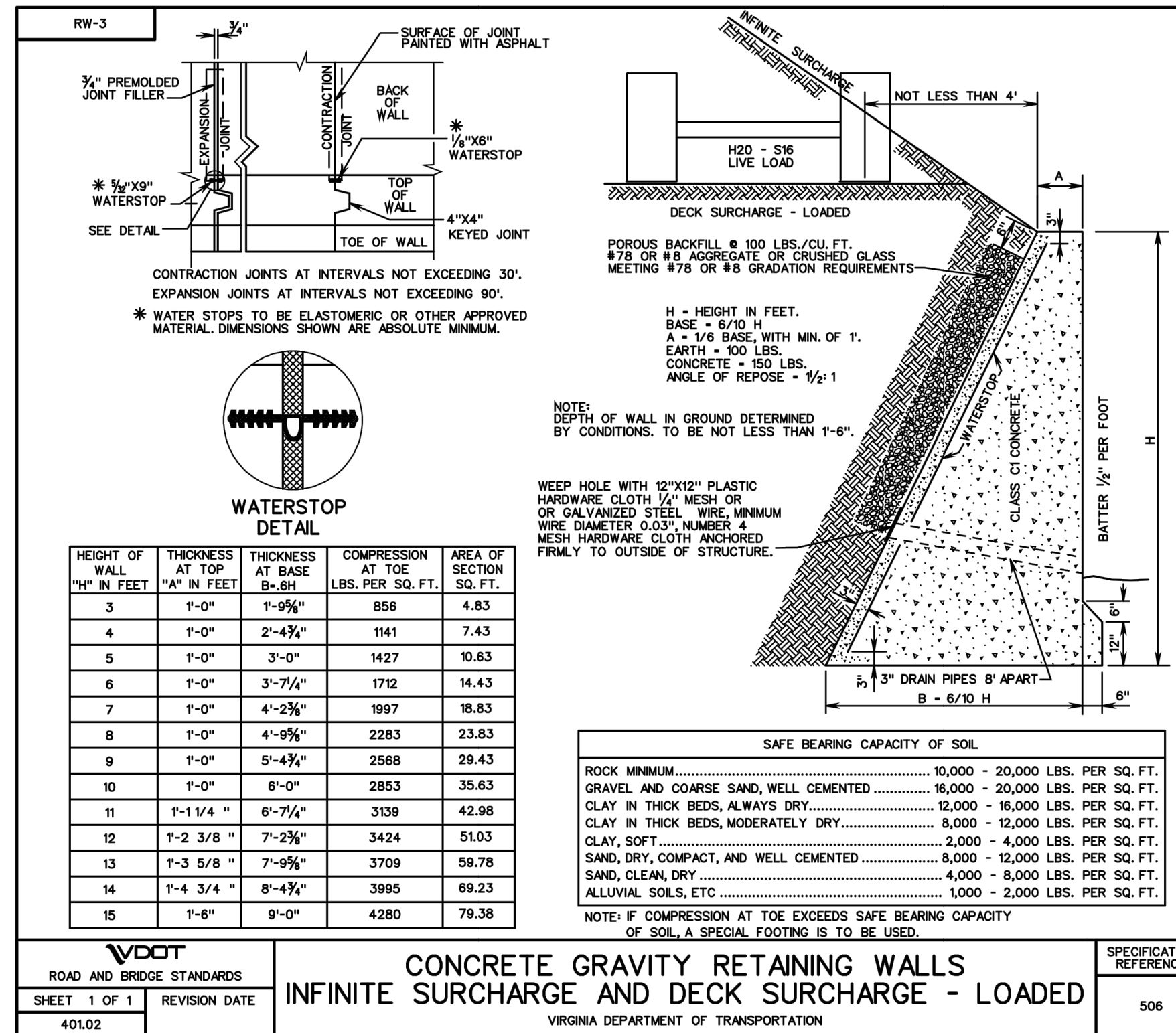
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606	2016 ROAD & BRIDGE STANDARDS
606	2016 ROAD & BRIDGE STANDARDS

**CURB DETAIL**  
Scale: N.T.S.



**FENCING AND ARMORING OF EXISTING TREES**

Scale: N.T.S.



**CONCRETE GRAVITY RETAINING WALL**

Scale: N.T.S.

NOTE: DURING BIDDING, CONTRACTOR TO INCLUDE PRICING FOR A SEGMENTED BLOCK WALL AS AN ALTERNATIVE TO THE CONCRETE RETAINING WALL.

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NO.	REVISIONS	DATE

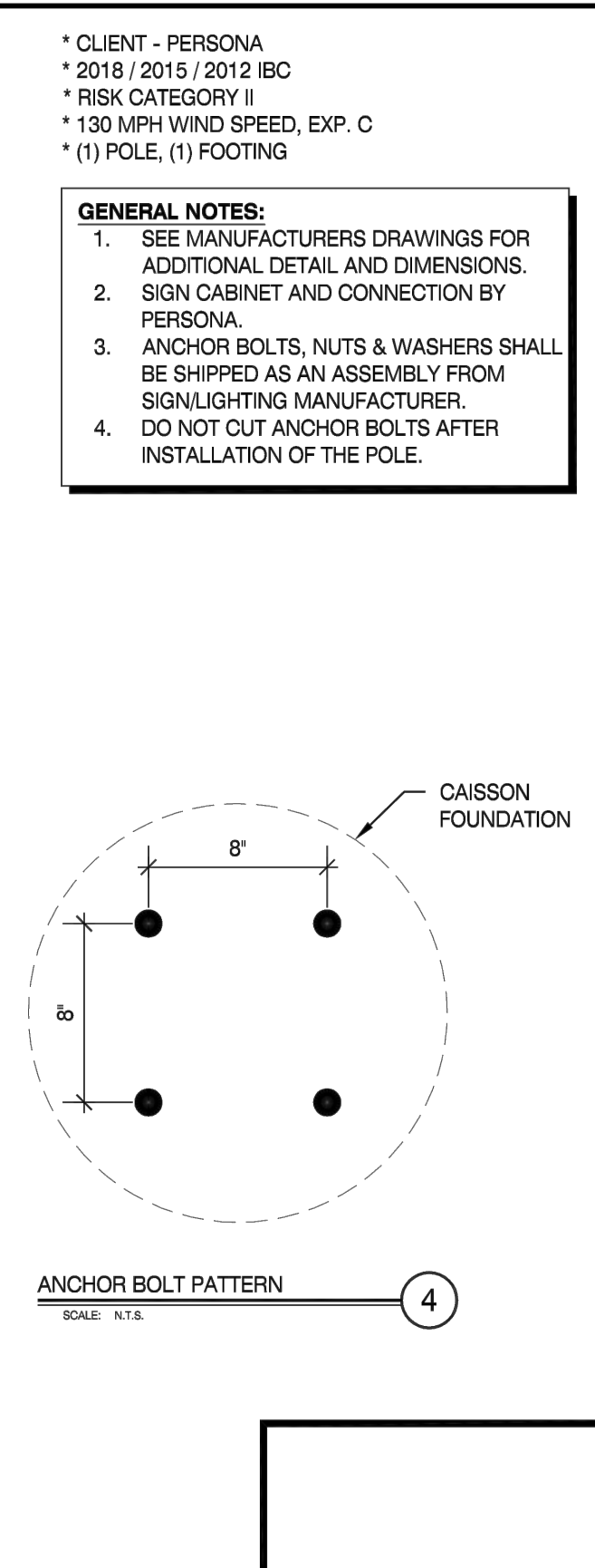
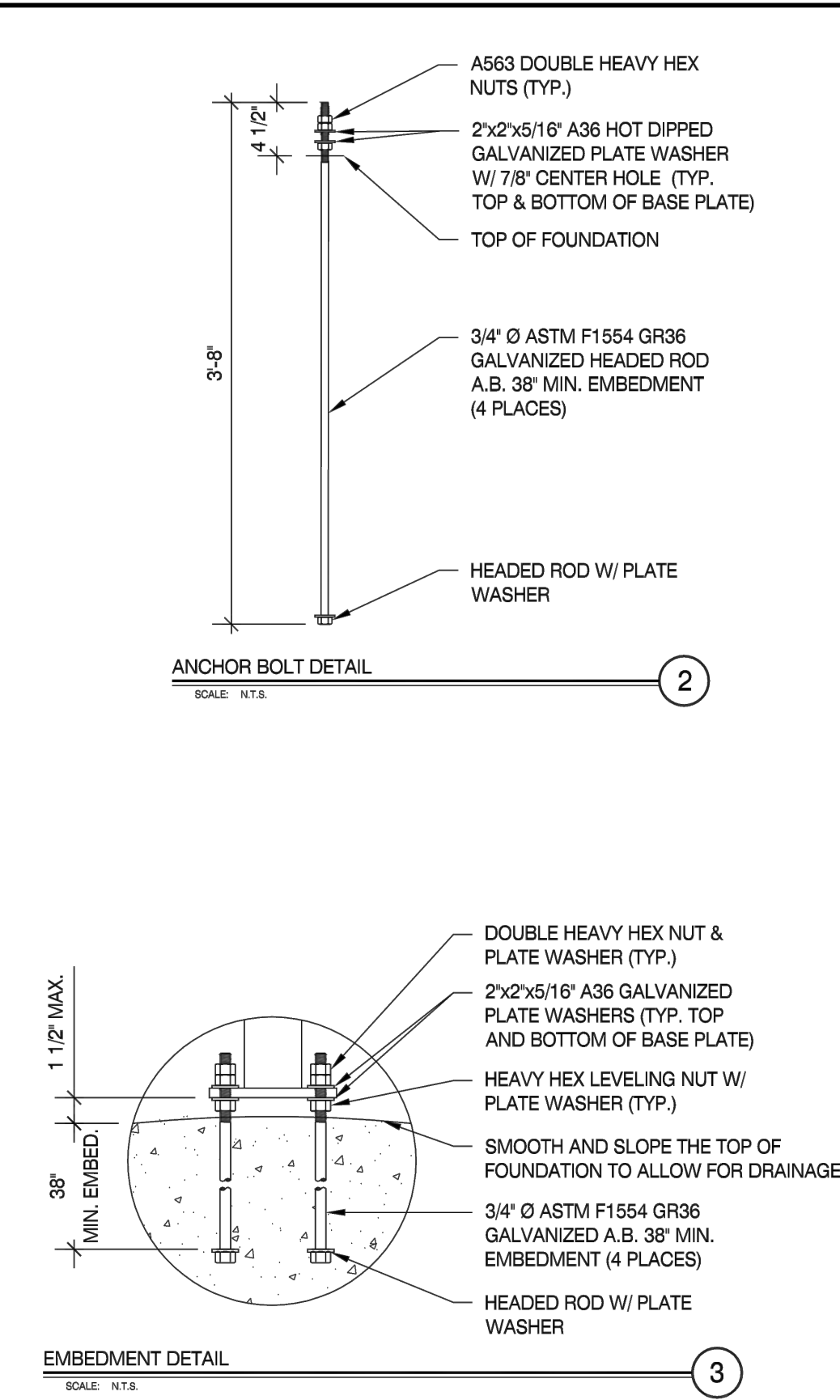
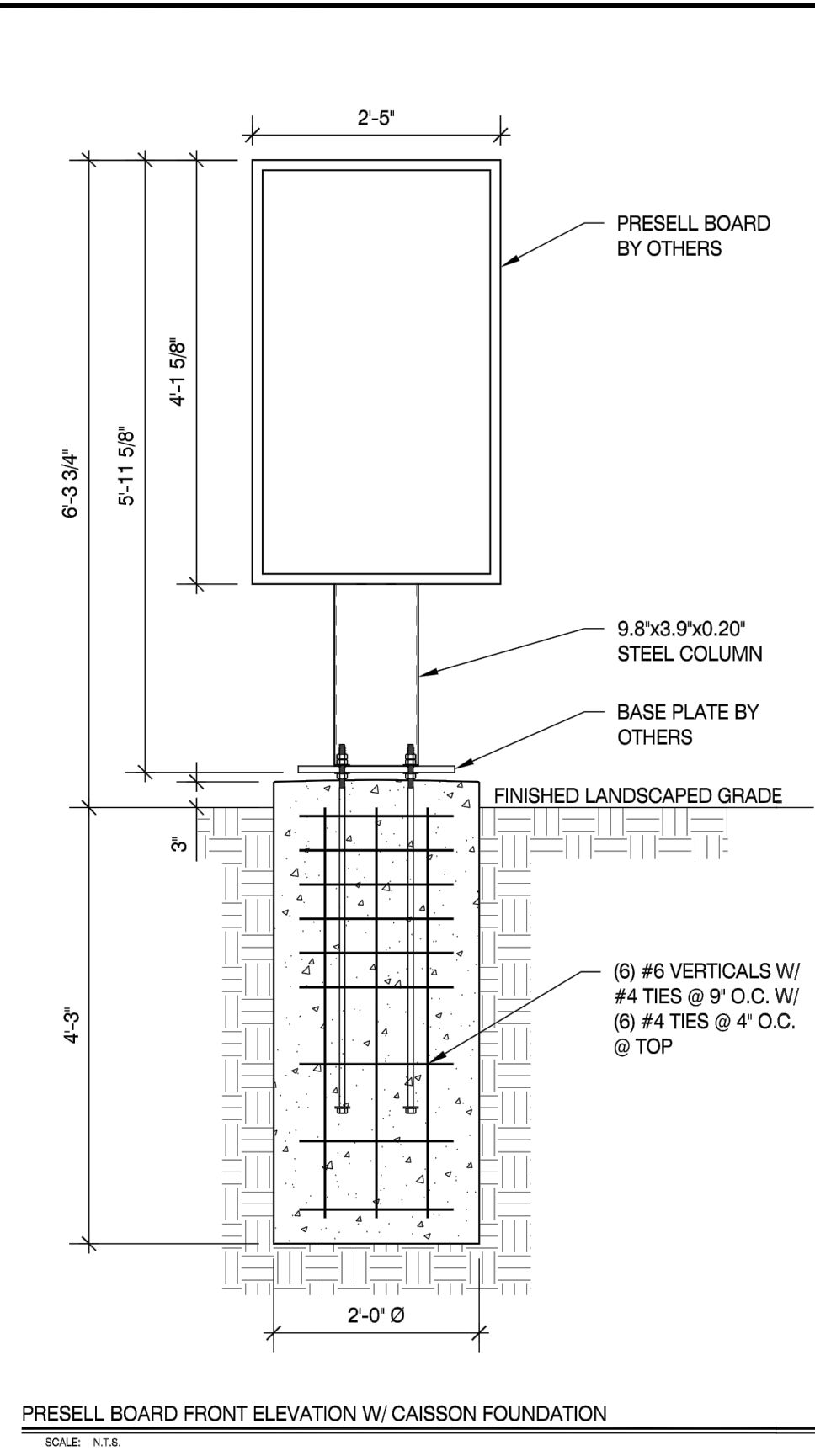
**Kimley-Horn**  
 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA  
 CHRIS HOWELL  
 Lic. No. 0402058105  
 02/19/2024  
 PROFESSIONAL ENGINEER

KHA PROJECT 110368121	DATE 03/29/2024	SCALE AS SHOWN	DESIGNED BY DJR	DRAWN BY DJR	CHECKED BY CMH
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450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 CITY OF ALEXANDRIA  
**CONSTRUCTION DETAILS**  
 SHEET NUMBER  
**C-250**

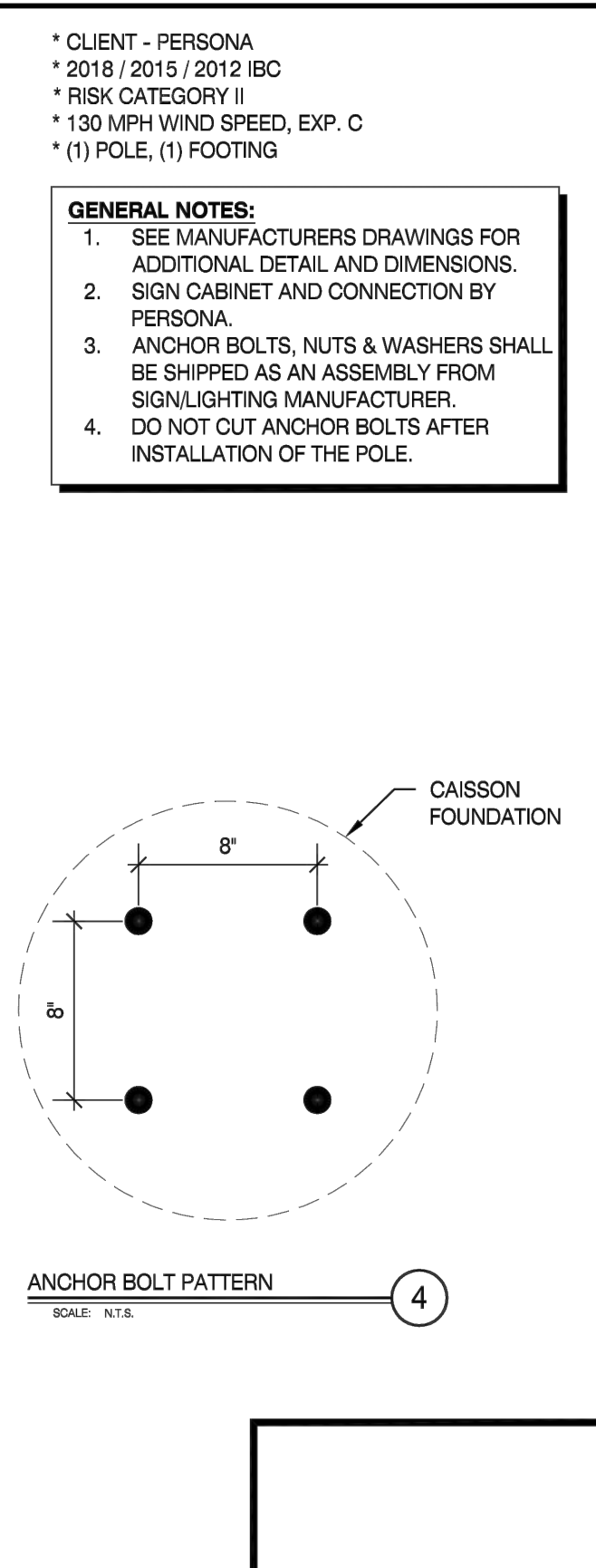
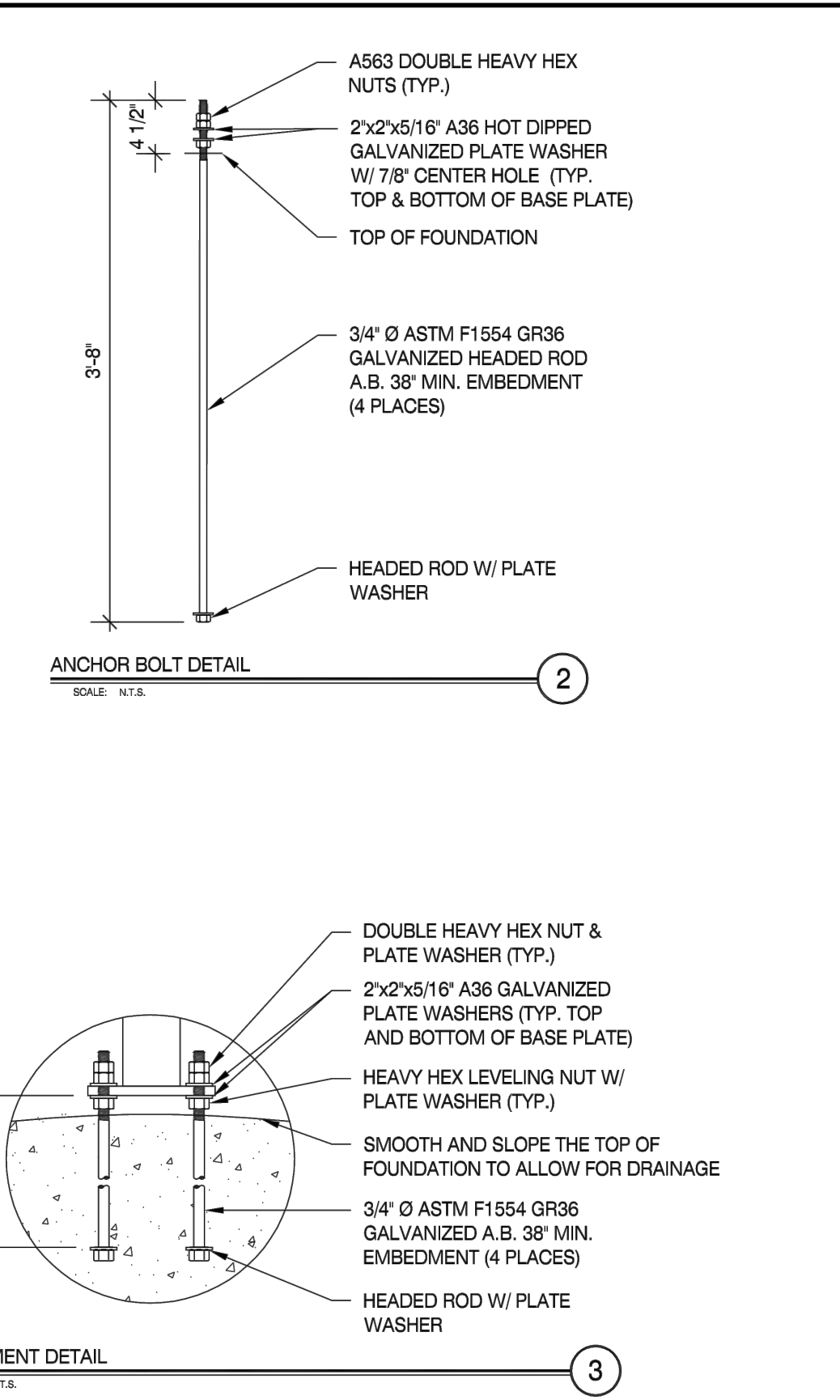
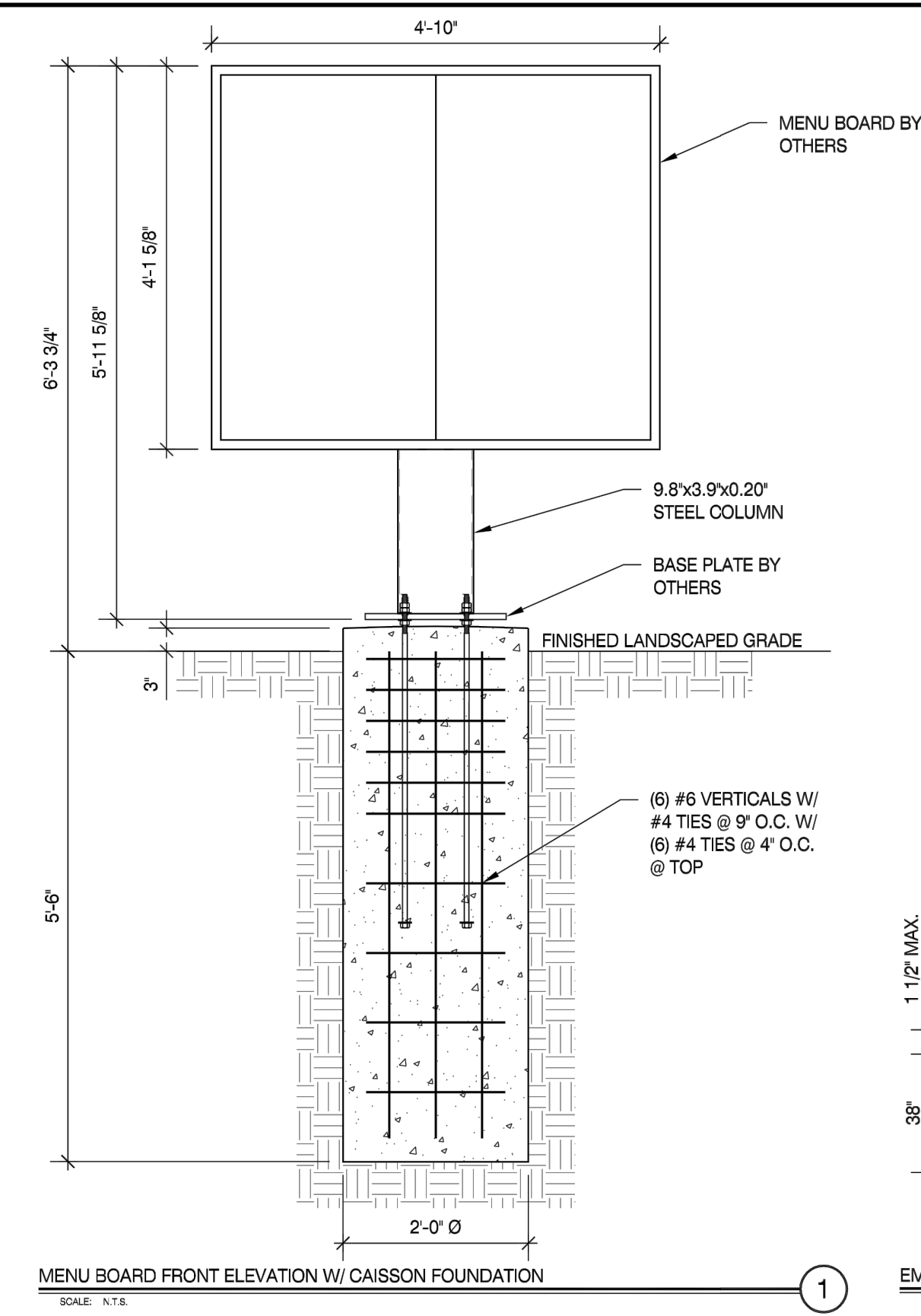
Plotted By: Bajani, Eite, Sheet Set: kha - Layout: SITE DETAILS - March 29, 2024, 10:14:14am, K:\INVA-CIVIL\108888\mcdonalds\110368121.mcdonalds - alexandria (3510.duke.sh.vac) \diblahsheet\C-250 CONSTRUCTION DETAILS.dwg  
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\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**  
 1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.  
 2. SIGN CABINET AND CONNECTION BY PERSONA.  
 3. ANCHOR BOLTS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM SIGNLIGHTING MANUFACTURER.  
 4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

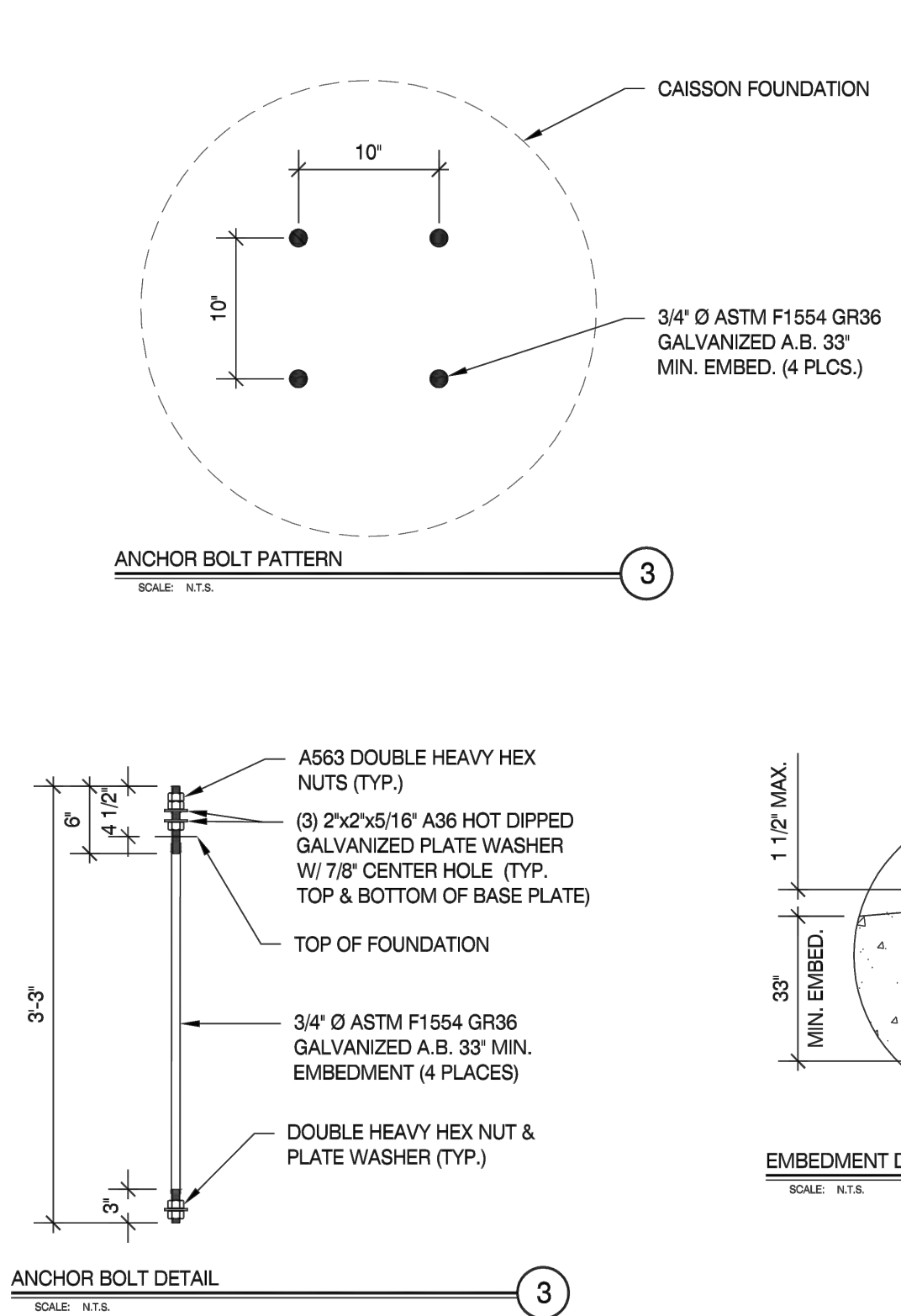
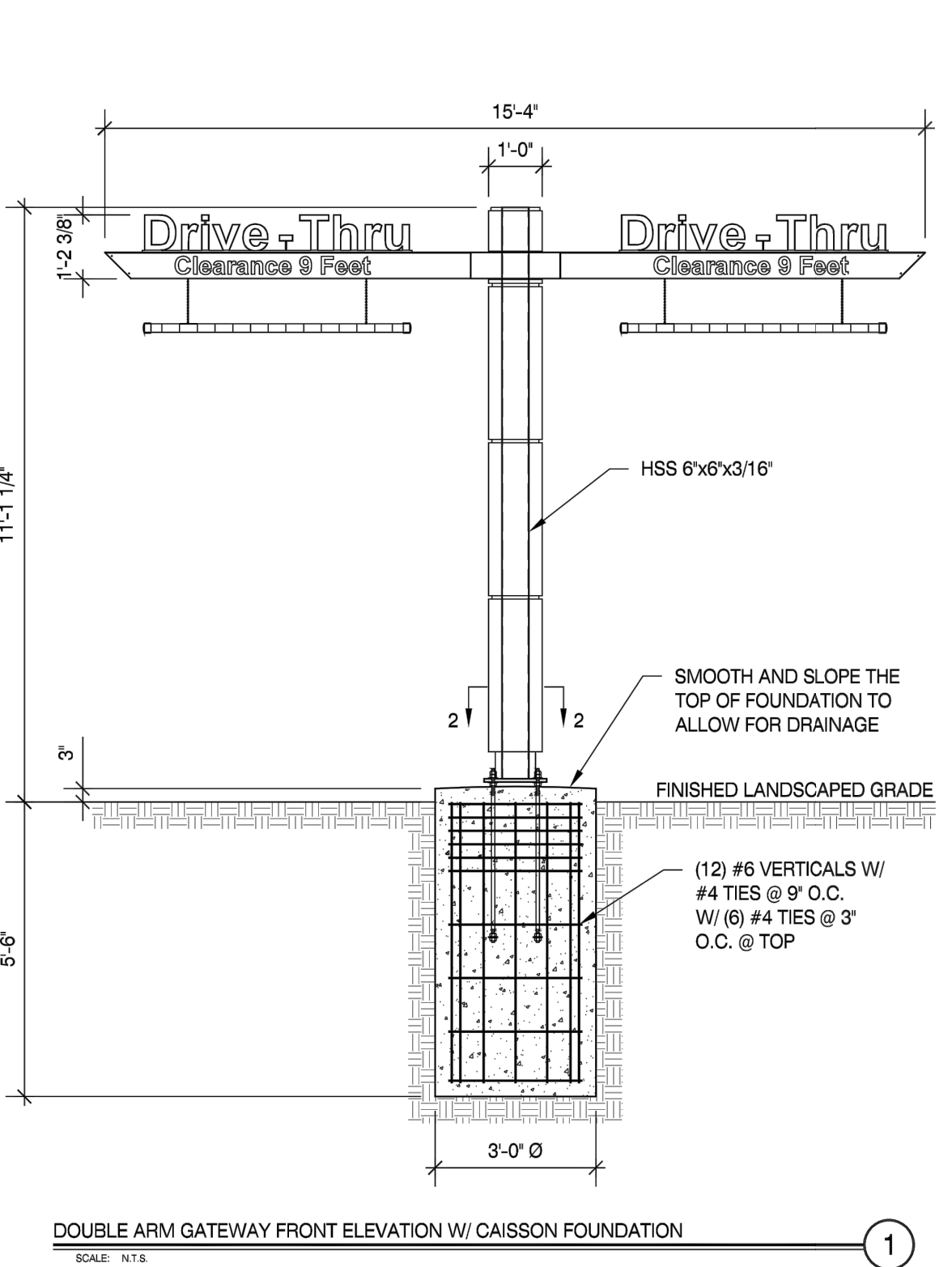
**PRE-SELL BOARDS**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

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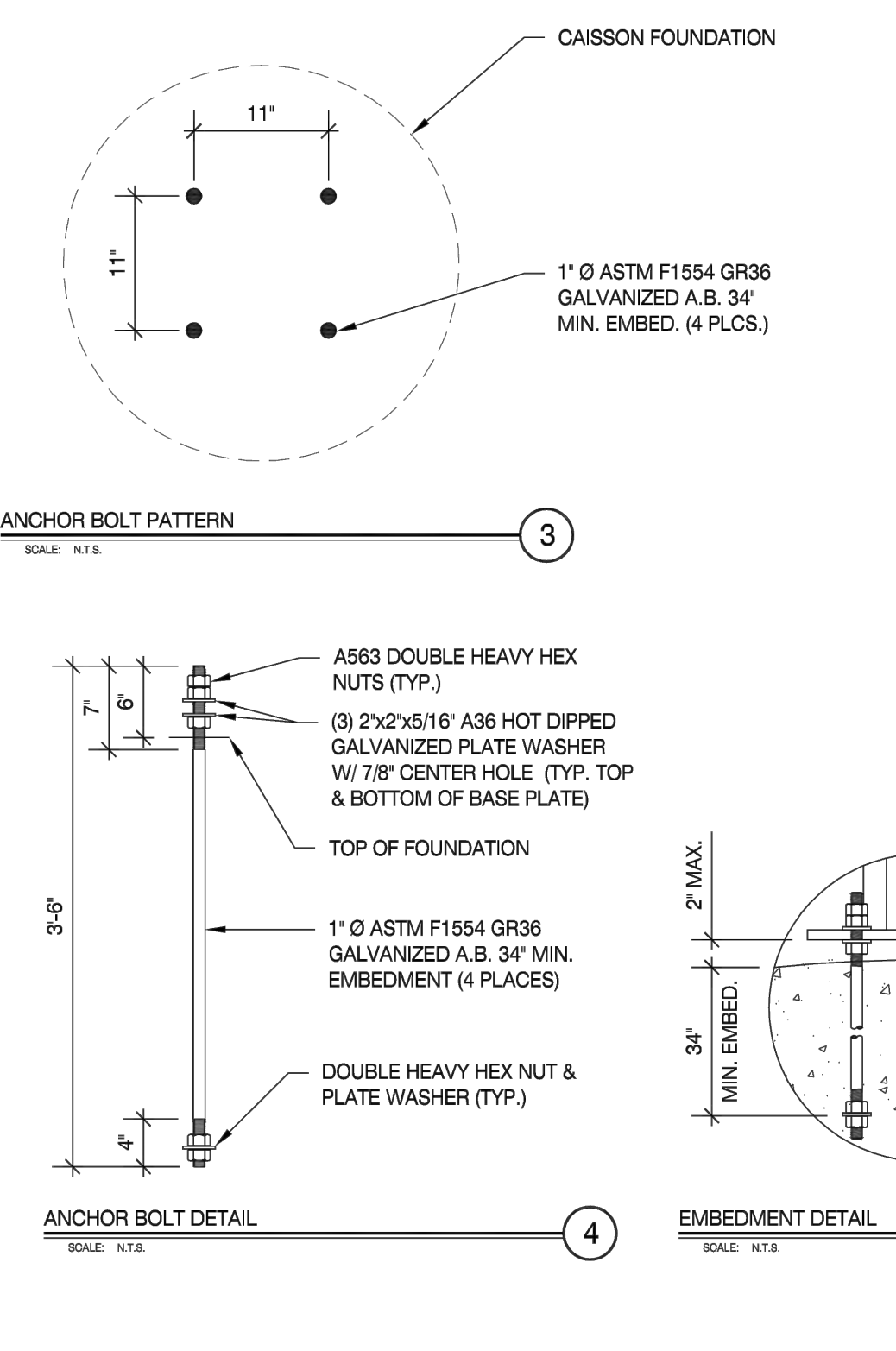
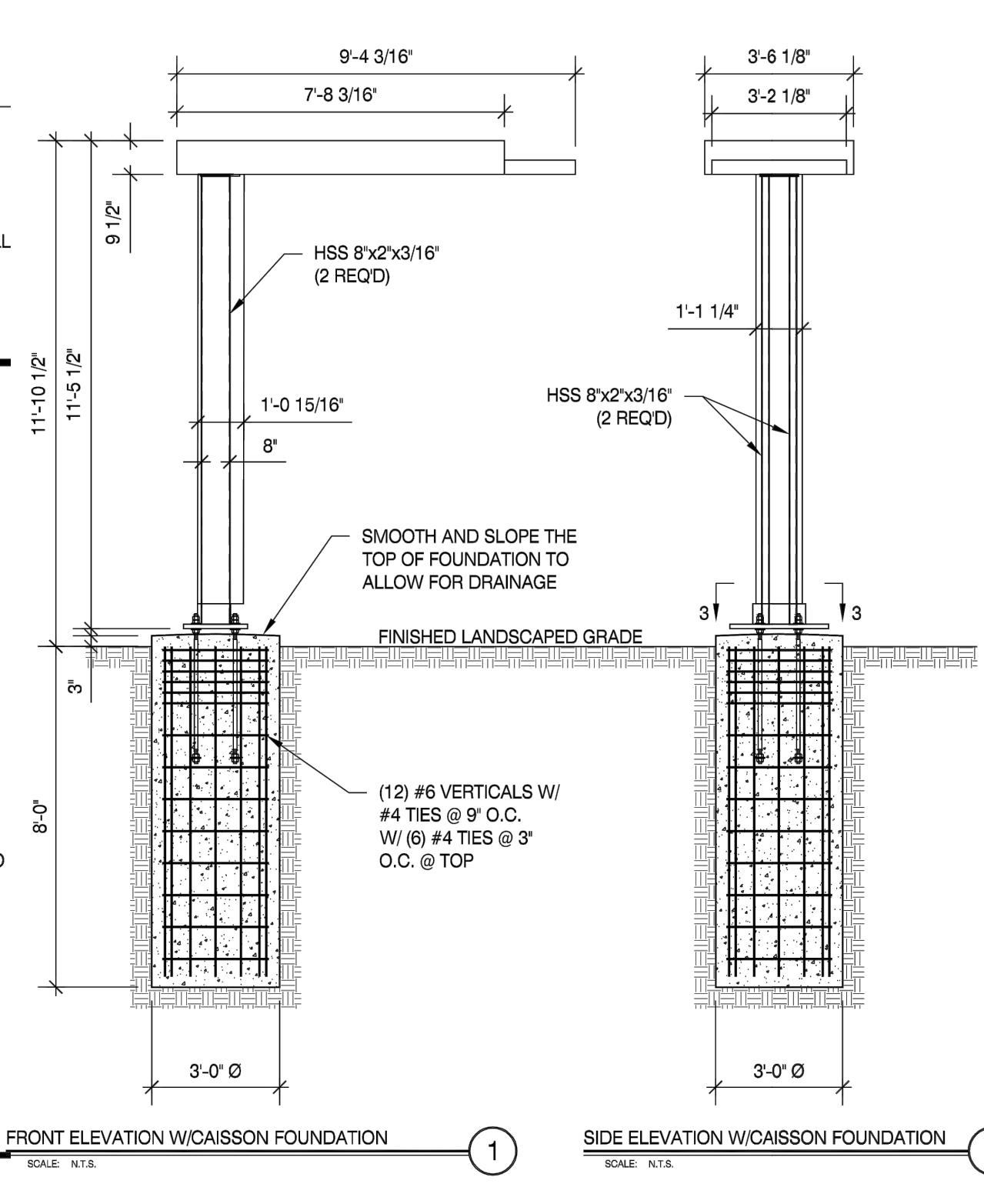
**MENU BOARDS**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

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**DOUBLE ARM GATEWAY**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (2) POLES, (1) FOOTING

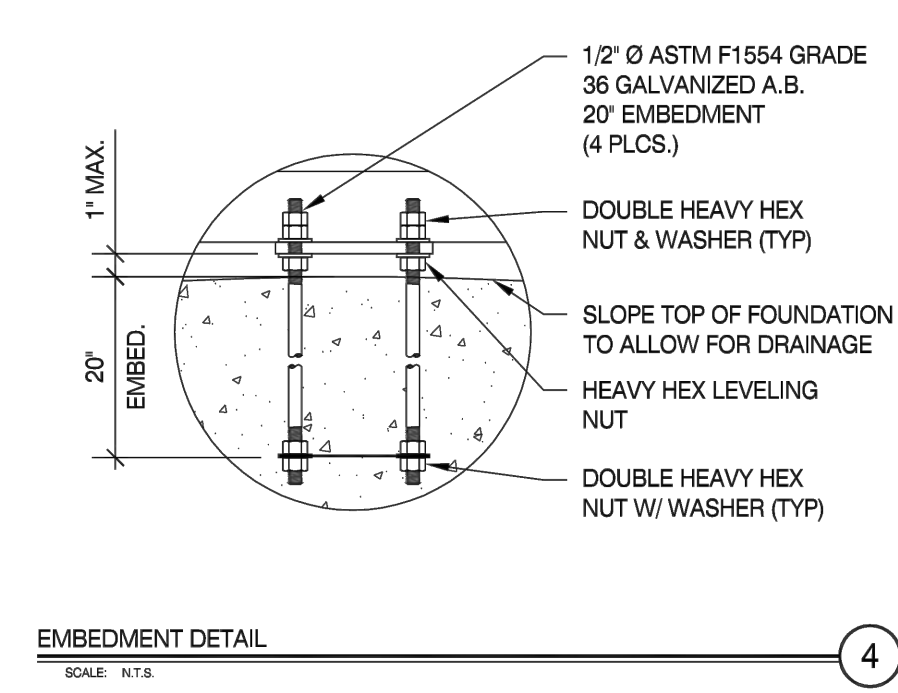
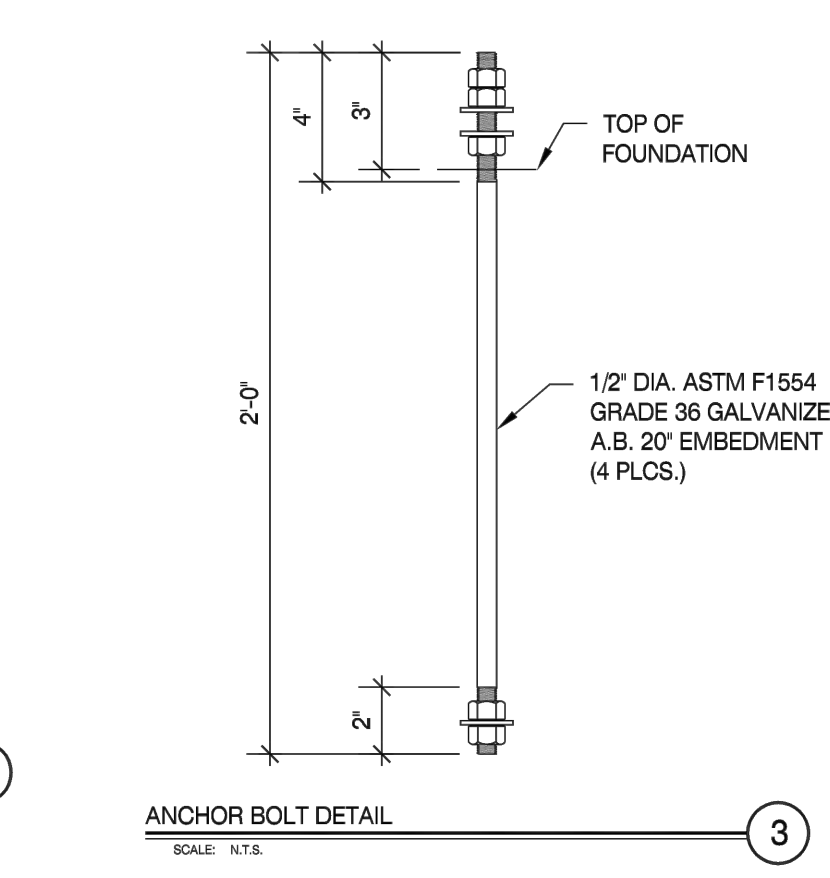
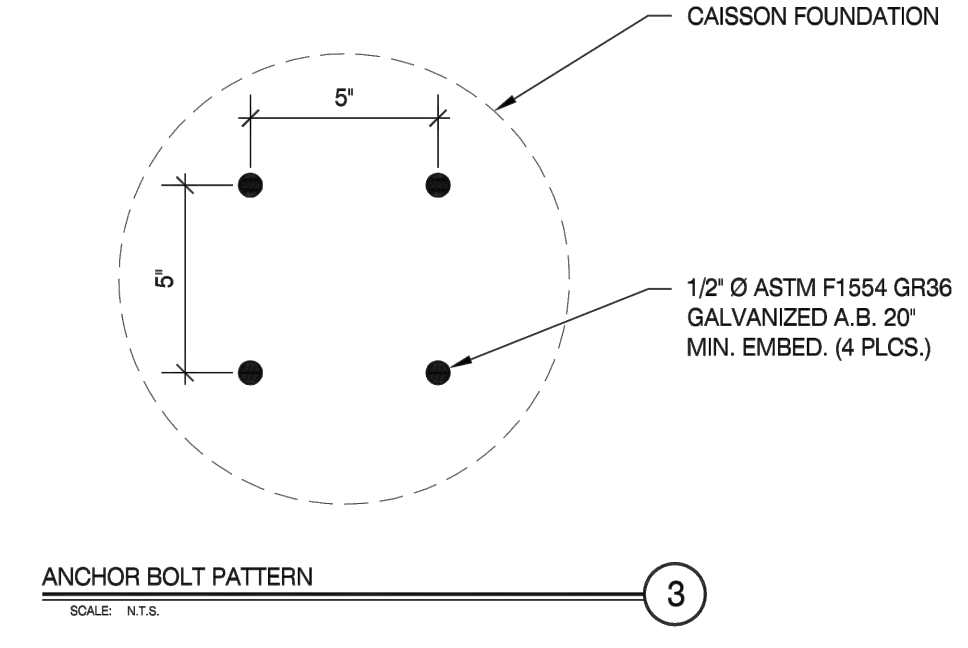
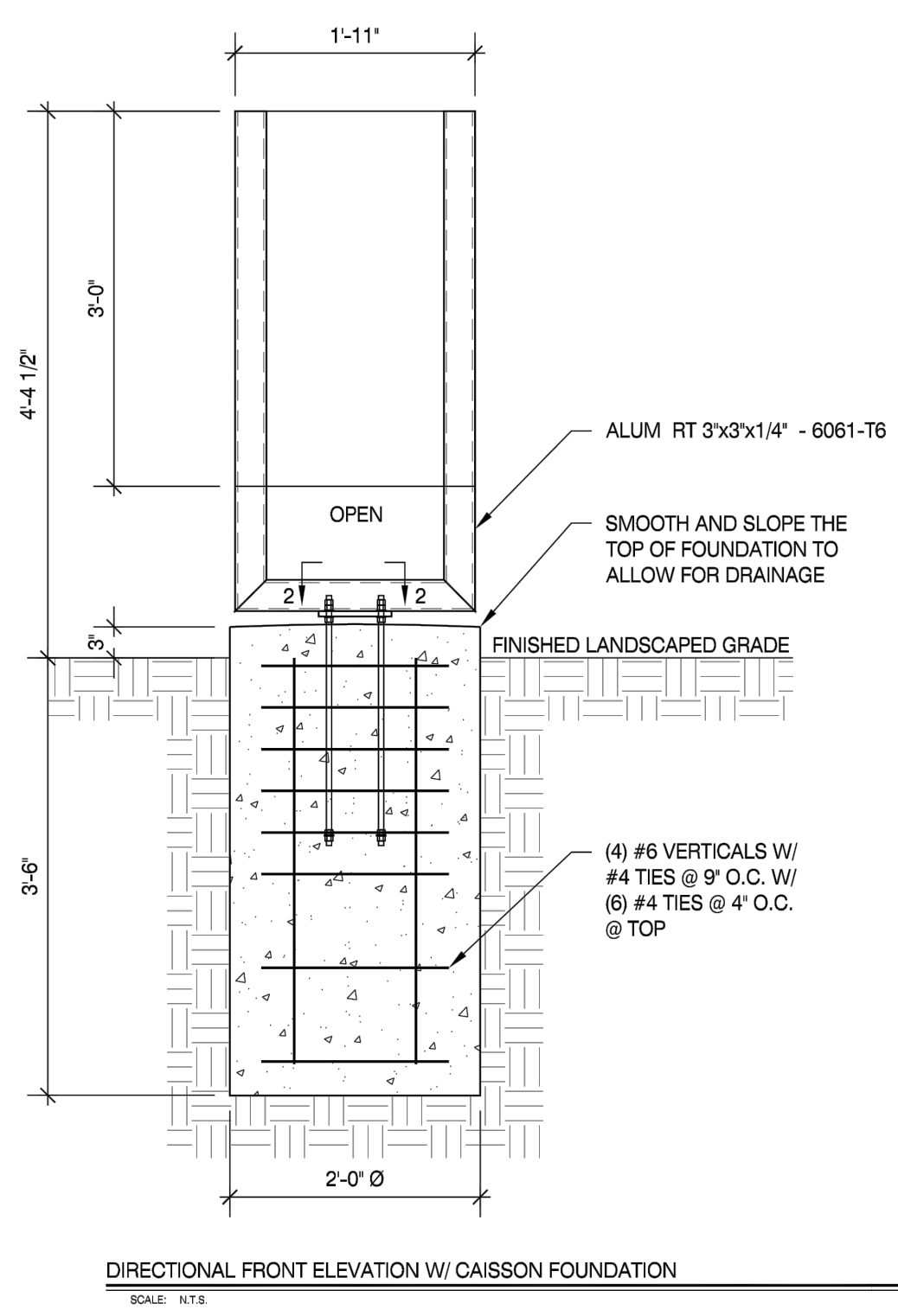
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**ORDER CANOPY**  
Scale: N.T.S.

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 DIAL 811  
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KHA PROJECT 110368121	DATE 03/29/2024	SCALE AS SHOWN	DESIGNED BY DJR	DRAWN BY DJR	CHECKED BY CMH
	<p> <b>CONSTRUCTION DETAILS</b>            450002            DUKE ST. - ALEXANDRIA            PREPARED FOR            MCDONALD'S CORPORATION            CITY OF ALEXANDRIA, VIRGINIA         </p>				
<p> <b>Kimley-Horn</b>            © 2024 KIMLEY-HORN AND ASSOCIATES, INC.            11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191            PHONE: 703-674-1300 FAX: 703-674-1350            WWW.KIMLEY-HORN.COM         </p>					
<p> <b>COMMONWEALTH OF VIRGINIA</b>            CHRIS HOWELL            Lic. No. 0402058105            03/29/2024            PROFESSIONAL ENGINEER         </p>					
SHEET NUMBER <b>C-251</b>					BY DATE

Plotted By: Bajani, Ele. Sheet Set: kha - Layout SITE DETAILS (2) - March 29, 2024 - 10:14:22am - K:\INVA - CIVIL\103888 - alexandria (3510 duke st) \VACAD\plan\sheet\c-250 CONSTRUCTION DETAILS.dwg  
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- \* CLIENT - PERSONA
- \* 2018 / 2015 / 2012 IBC
- \* RISK CATEGORY II
- \* 130 MPH WIND SPEED, EXP. C
- \* (1) POLE, (1) FOOTING

- GENERAL NOTES:**
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  4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

**DIRECTIONAL SIGNAGE**  
Scale: N.T.S.

**FREE STANDING SIGN SPECIFICATIONS:**

REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS. ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:

- 2018 / 2015 / 2012 IBC
- ACI
- AISC
- AMERICAN WELDING SOCIETY
- LOCAL BUILDING CODES & ORDINANCES
- CONCRETE: 2500 PSI @ 28 DAYS
- STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI)
- STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI)
- HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)
- ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)
- CONNECTION BOLTS: ASTM A325
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36
- REINFORCING: GRADE 60 ASTM A615
- PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.
- THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.
- WELDING ELECTRODES: E70XX
- ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 1500 PSF
- ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 100 PSF/FT OF DEPTH.
- ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.
- FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.
- EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE.
- WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING.
- ADJACENTLY BRACE POLES UNTIL CONCRETE HAS SET UP FOR 14 DAYS.
- THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.
- ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
- DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

- \* CLIENT - PERSONA
- \* 2018 / 2015 / 2012 IBC
- \* RISK CATEGORY II
- \* 130 MPH WIND SPEED, EXP. C

- GENERAL NOTES:**
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  4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

**FOUNDATION SPECIFICATIONS**  
Scale: N.T.S.

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NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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PHONE: 703-674-1300 FAX: 703-674-1350  
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COMMONWEALTH OF VIRGINIA  
CHRIS HOWELL  
Lic. No. 0402058105  
03/19/2024  
PROFESSIONAL ENGINEER

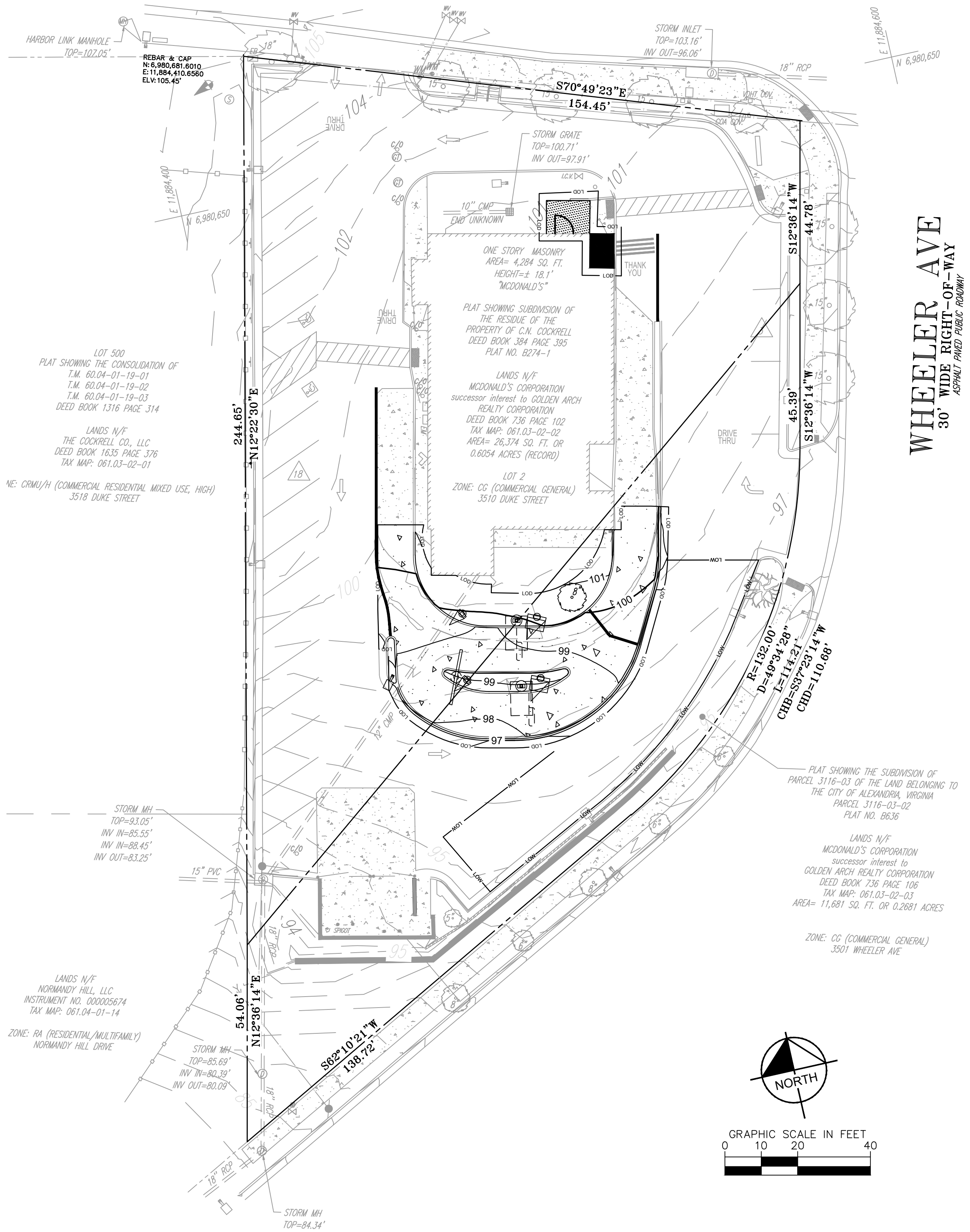
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DJR	DRAWN BY	DJR	CHECKED BY	CMH
110968121	03/29/2024	AS SHOWN							

**CONSTRUCTION DETAILS**

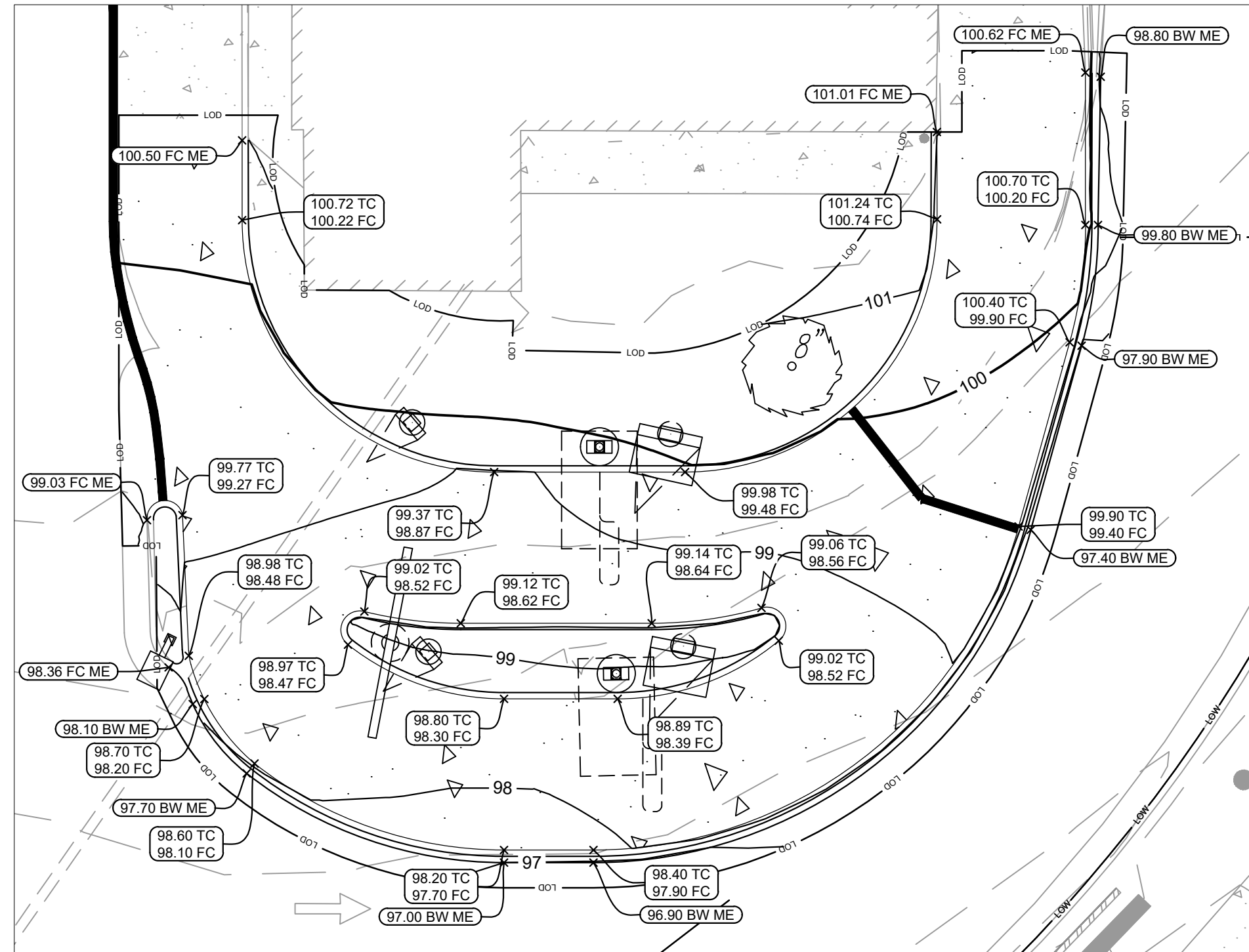
450002  
DUKE ST. - ALEXANDRIA  
PREPARED FOR  
MCDONALD'S CORPORATION  
CITY OF ALEXANDRIA VIRGINIA

Plotted By: Bajani, Elite Sheet Set: kha. Layout: 24x36. March 07, 2024. 08:09:31am. K:\VA\_CIV\110388.mcdonalds\110388121.mcdonalds - alexandria (3510 duke st) vtcad\plansheets\C-300 GRADING PLAN.dwg  
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# DUKE STREET VA RTE.236 VARIABLE WIDTH RIGHT-OF-WAY ASPHALT PAVED PUBLIC ROADWAY



## WHEELER AVE 30' WIDE RIGHT-OF-WAY ASPHALT PAVED PUBLIC ROADWAY



**GRADING DETAIL**  
SCALE: 1" = 10'

	PROPERTY LINE
	LIMITS OF DISTURBANCE (±3,860 SF)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION
	PROPOSED RIDGE

ME	MATCH EXISTING
LP	LOW POINT
FFE	FINISHED FLOOR ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
FC	FACE OF CURB
G	GUTTER

(UNLABELED SPOT ELEVATIONS ARE ASSUMED TO BE AT THE FLOWLINE)

- NOTES**
- CONTRACTOR TO MATCH EXISTING GRADES AT LIMITS OF DISTURBANCE.
  - IN PAVED AREAS DESIGNATED AS "ADA ROUTES", CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL (RUNNING) SLOPE SHALL NOT EXCEED 5%. IN TURNING OR LANDING AREAS, SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.

No.	REVISIONS	DATE	BY

**Kimley»Horn**

2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	110368121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

## GRADING PLAN

450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 VIRGINIA  
 CITY OF ALEXANDRIA

CALL 48 HOURS BEFORE YOU DIG  

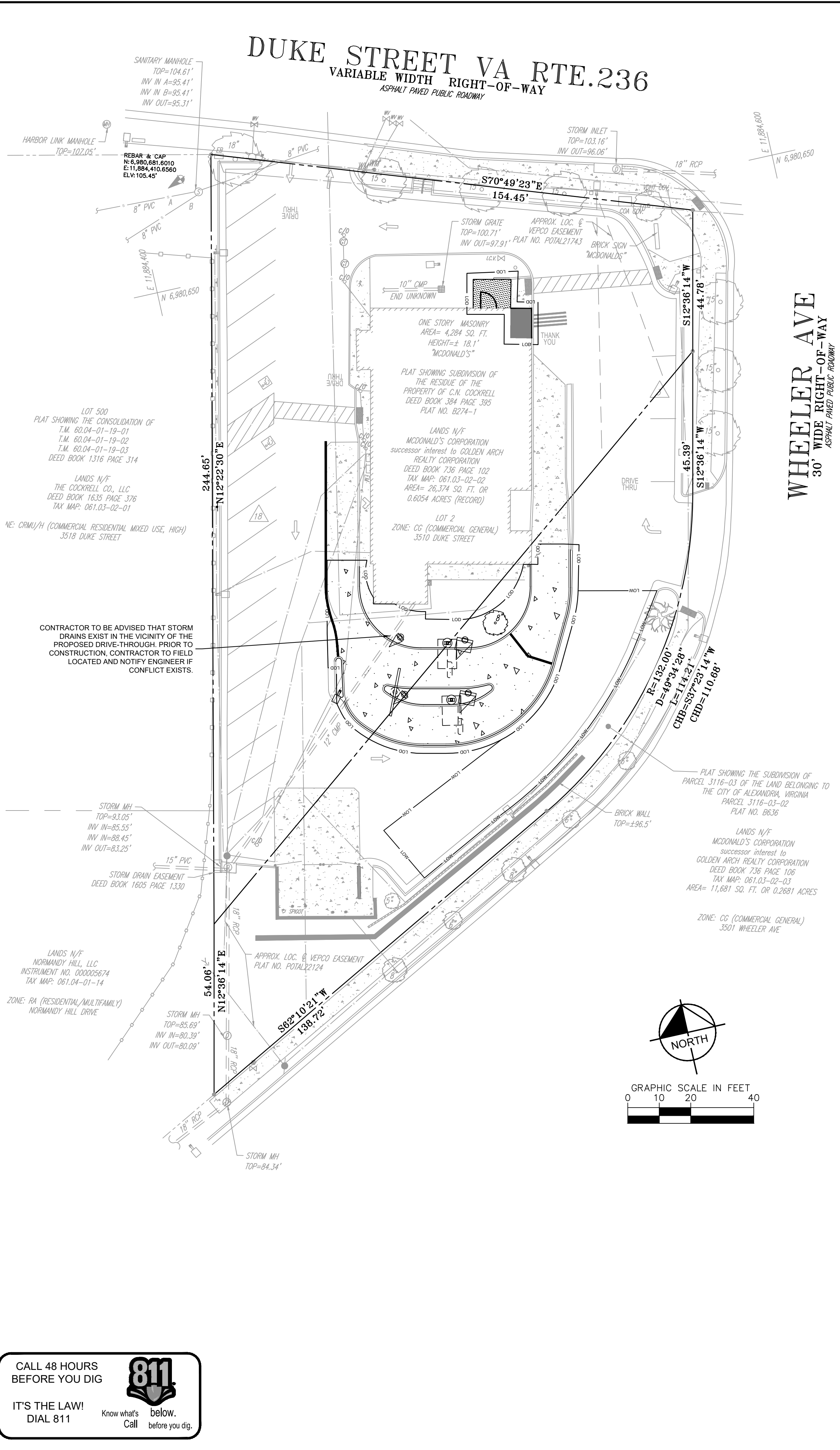
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**DUKE STREET VA RTE.236**  
VARIABLE WIDTH RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY

**WHEELER AVE**  
30' WIDE RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY

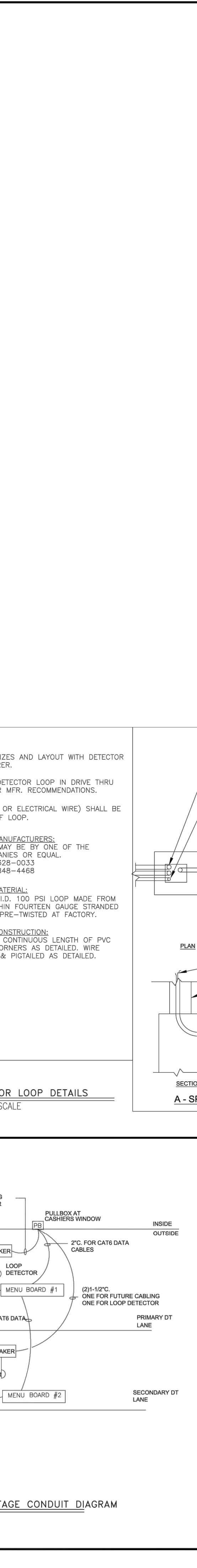
CONTRACTOR TO BE ADVISED THAT STORM DRAINS EXIST IN THE VICINITY OF THE PROPOSED DRIVE-THROUGH PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD LOCATED AND NOTIFY ENGINEER IF CONFLICT EXISTS.



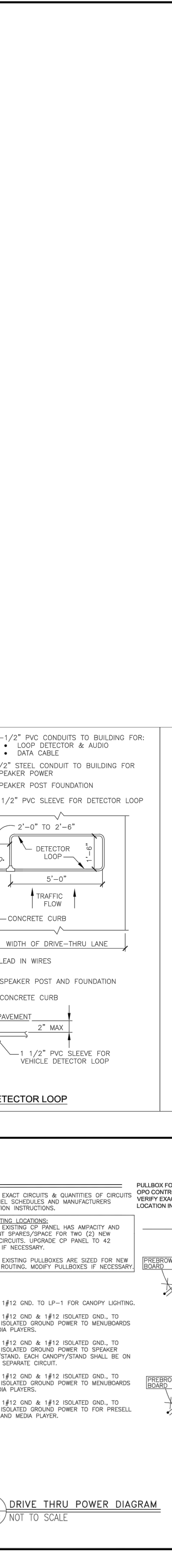
**NOTES**

- VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
- CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
- NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
- DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.  
SMA: 1-800-328-0033  
HME: 1-800-848-4488
- DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
- DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PITGAILED AS DETAILED.

**2 DETECTOR LOOP DETAILS**  
ODMB / NOT TO SCALE



**3 DT LOW VOLTAGE CONDUIT DIAGRAM**  
ODMB / NOT TO SCALE



**4 DRIVE THRU POWER DIAGRAM**  
ODMB / NOT TO SCALE

**UTILITY LEGEND**

T	UNDERGROUND TELEPHONE LINE
W	UNDERGROUND WATER LINE
G	UNDERGROUND GAS LINE
E	UNDERGROUND ELECTRIC LINE
Ⓢ	SANITARY SEWER MANHOLE
Ⓢ	UNDERGROUND SANITARY SEWER PIPE
Ⓢ	STORM MANHOLE
---	UNDERGROUND STORM PIPE

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR AS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL 811 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING ANY MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH A NOTIFICATION. HENRICO COUNTY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE.

No.	REVISIONS	DATE

**Kimley Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA  
CHRIS HOWELL  
Lic. No. 0402058105  
03/29/2024  
PROFESSIONAL ENGINEER

KHA PROJECT	110368121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

# UTILITY PLAN

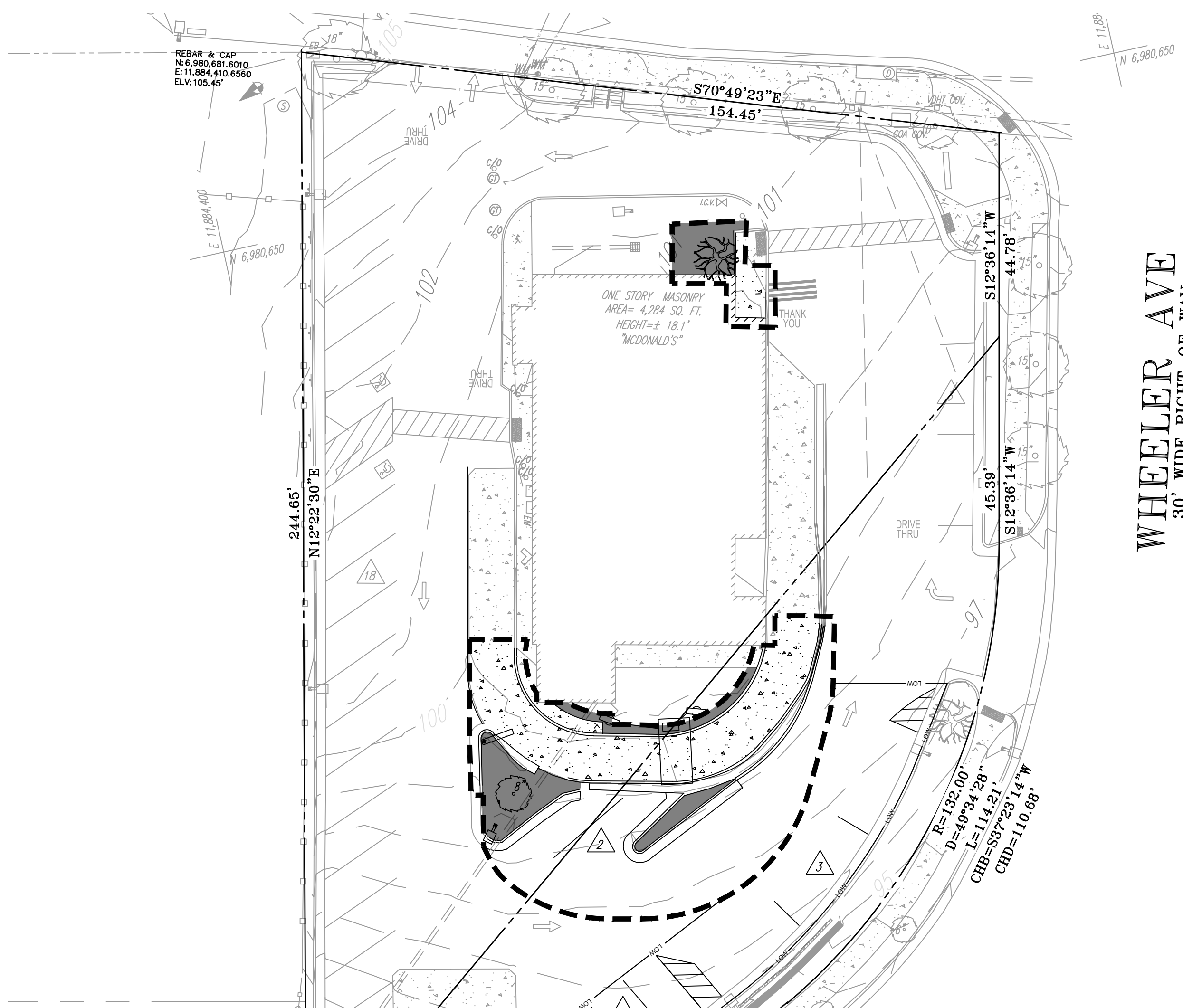
450002  
**DUKE ST. - ALEXANDRIA**  
PREPARED FOR  
**MCDONALD'S CORPORATION**  
CITY OF ALEXANDRIA, VIRGINIA

SHEET NUMBER  
**C-400**

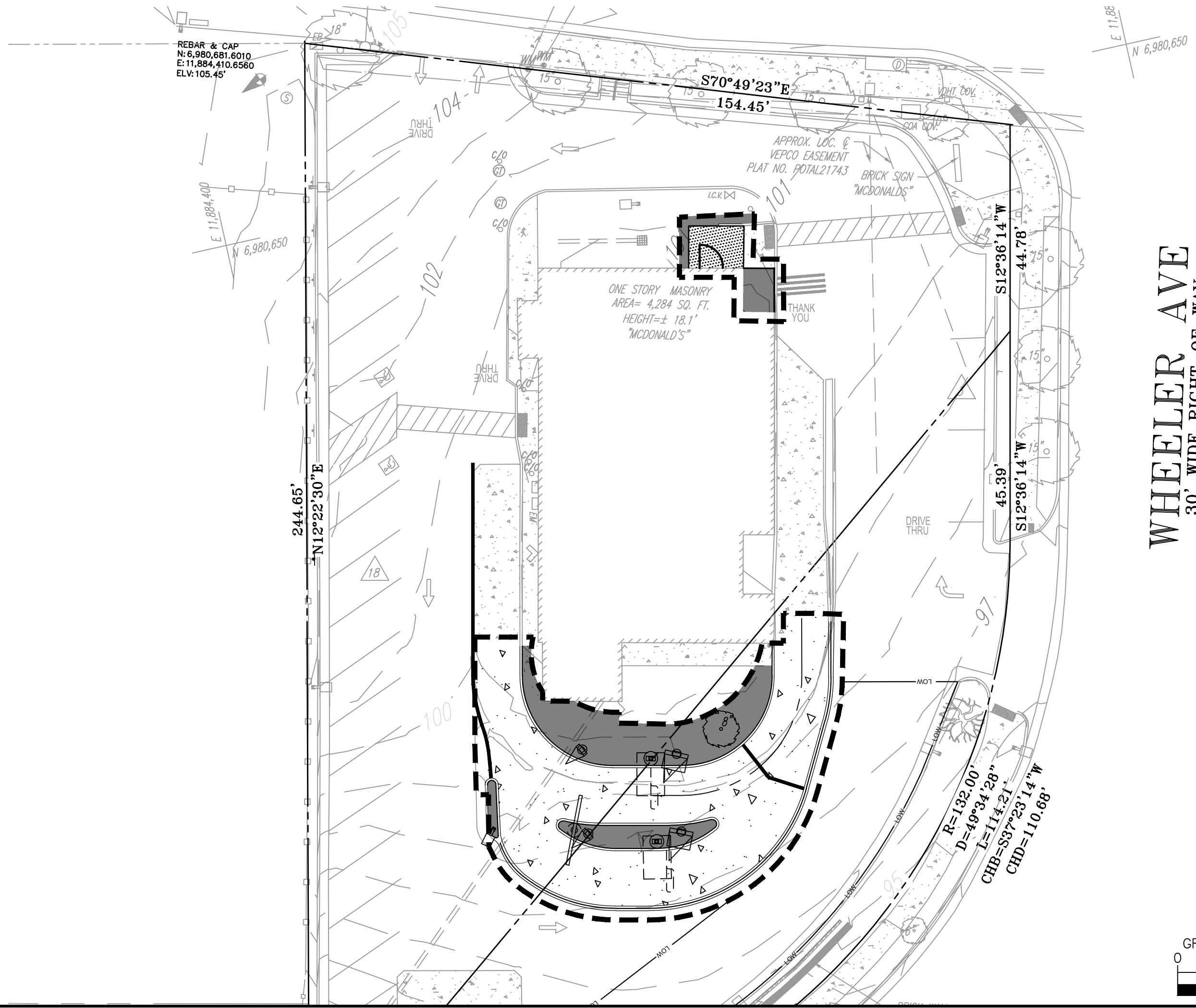
CALL 48 HOURS BEFORE YOU DIG  
**811**  
IT'S THE LAW!  
DIAL 811  
Know what's below. Call before you dig.

Plotted By: Bajani, Eite Sheet Set: KHA Layout: 24x36 March 29, 2024 10:15:06am K:\NVA\_CIV\110388.mcdonalds\110388121.mcdonalds - alexandria (3510.dwg) vs\CAD\plansheets\C-500 LAND AREA.MAP.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PRE-DEVELOPMENT LAND COVER MAP



POST-DEVELOPMENT LAND COVER MAP



PERVIOUS AREA (SF)	PRE-DEVELOPMENT	POST-DEVELOPMENT
	573	777

**LEGEND**

- PROPERTY LINE
- LOD
- LIMITS OF DISTURBANCE (±4,530 SF)
- DRAINAGE DIVIDE
- PERVIOUS AREA
- A. DRAINAGE AREA NAME
- B. ACREAGE
- C. CURVE NUMBER
- D. TIME OF CONCENTRATION

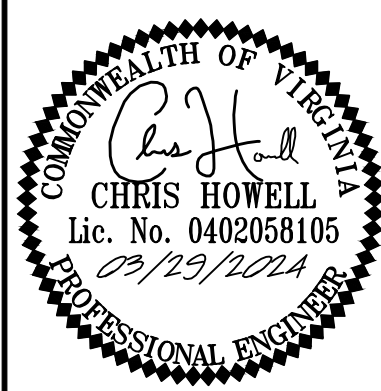
**WHEELER AVE**  
 30' WIDE RIGHT-OF-WAY  
 ASPHALT PAVED FABRIC ROADWAY

**WHEELER AVE**  
 30' WIDE RIGHT-OF-WAY  
 ASPHALT PAVED FABRIC ROADWAY

No.	REVISIONS	DATE	BY

**Kimley»Horn**

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 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM



KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DIR	DRAWN BY	DIR	CHECKED BY	CM/PI
110968121	03/29/2024								

**LAND AREA MAP**

450002  
**DUKE ST. - ALEXANDRIA**  
 PREPARED FOR  
**MCDONALD'S CORPORATION**  
 CITY OF ALEXANDRIA VIRGINIA

SHEET NUMBER  
**C-500**

**SITE QUANTITY ESTIMATE**

**ON SITE QUANTITIES**

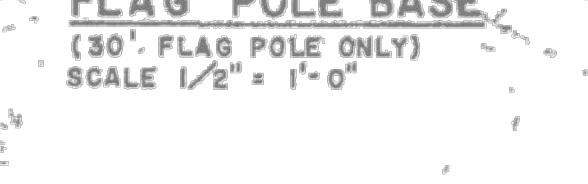
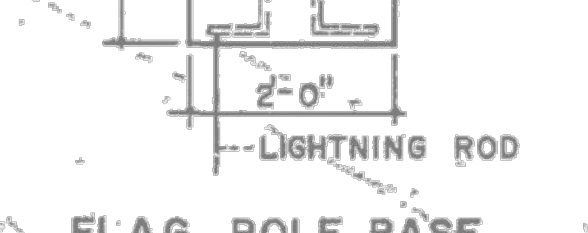
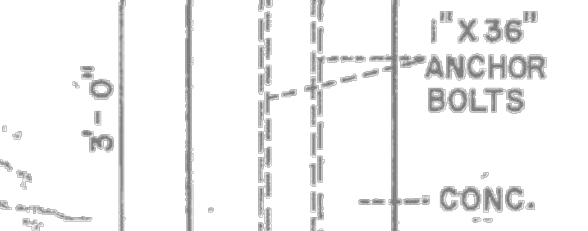
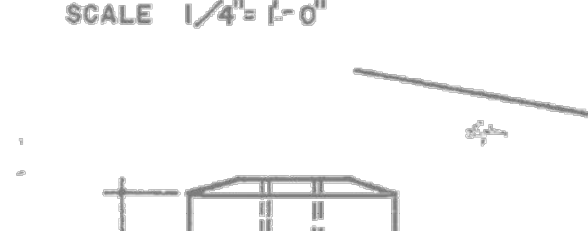
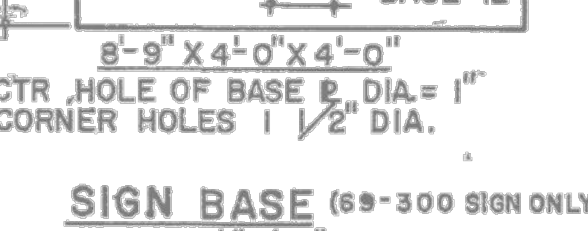
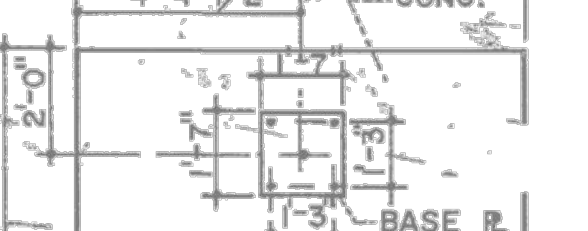
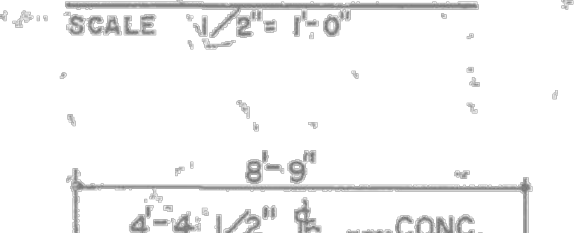
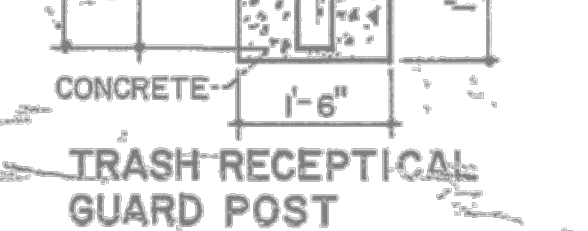
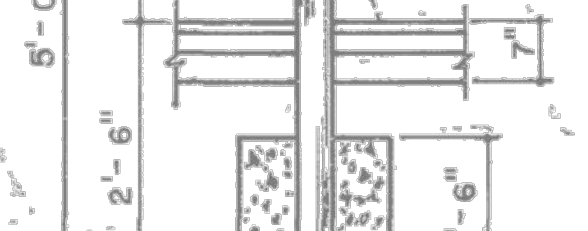
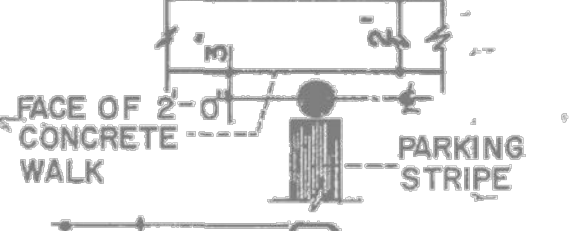
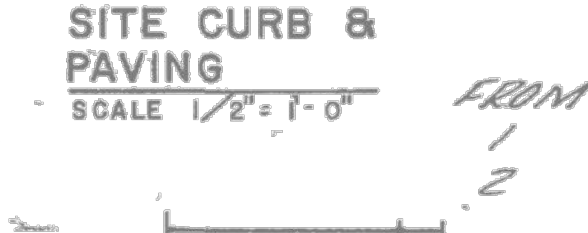
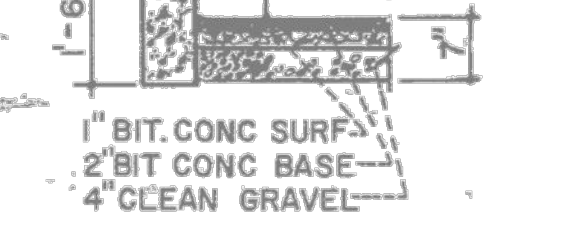
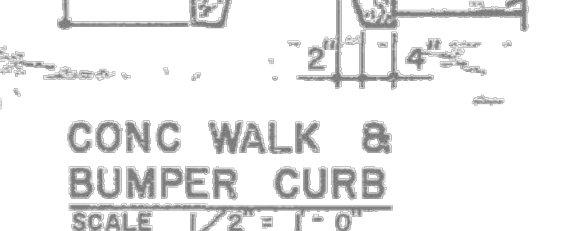
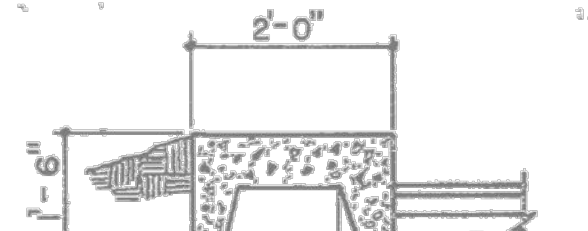
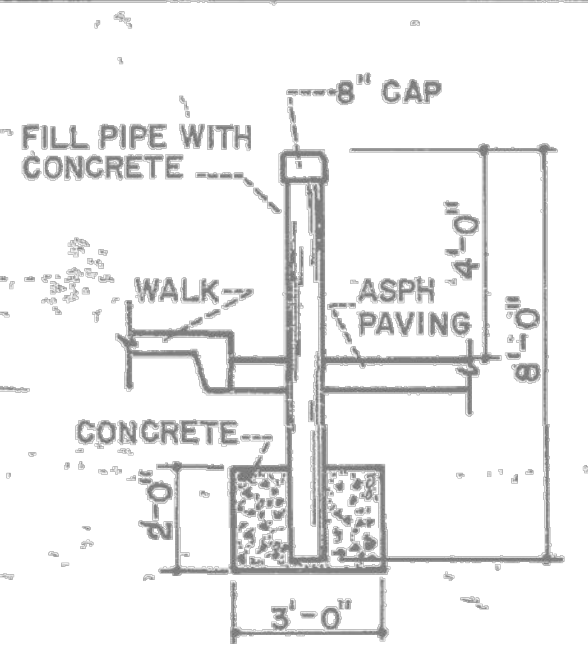
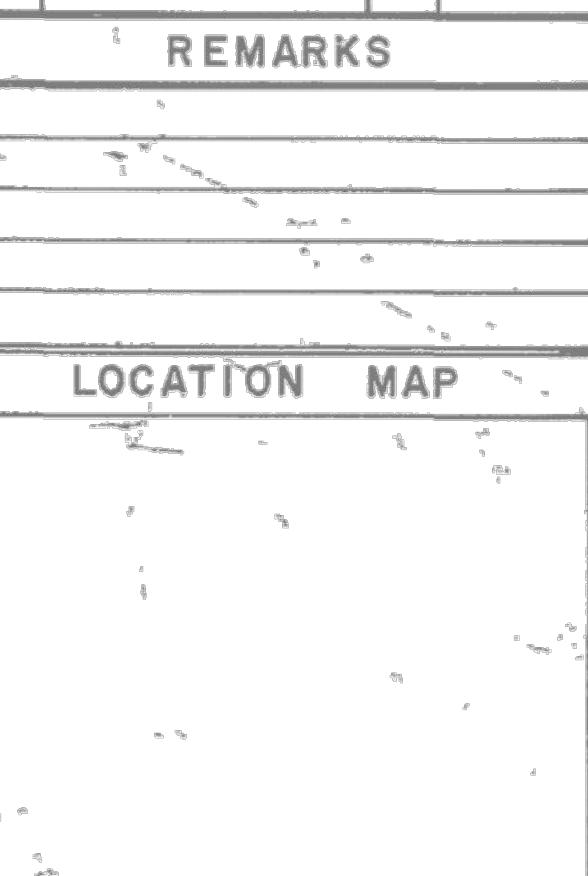
NO	ITEM	U <sub>N</sub>	QUANTITY
1	DEMOLITION	Eq.	
2	LAND CLEARANCE	ACR	
3	UTIL. POLE REMOVE	Eq.	
4	EXCAVATE		
A	FILL ON SITE	CY	
B	EXCAV. & DISP.	CY	
C	EXCAV & FILL	CY	
5	CATCH BASIN	Eq.	
6	AREA DRAINS	Eq.	
7	MANHOLES	Eq.	
8	SAN SEWER PIPE	LF	
9	STORM PIPE	LF	
10	WATER PIPE	LF	
11	SEPTIC SYSTEM		
12	GAS PIPE	LF	
13	GAS SERVICE		
14	ELECTRIC CONDUIT	LF	
15	ELECTRIC SERVICE		
16	INT. CURBS HDR	LF	
17	INT. CURBS 2'	LF	
18	CONC WALKS	SY	
19	CONC DRIVEWAYS	SY	
20	PAVING	SY	
21	GRAVEL BASE	SY	
22	SIGN BASES	CY	
23	MAIN SIGN	Eq.	
24	ENT SIGNS	Eq.	
25	FLAG POLE	Eq.	
26	FLAG POLE BASE	CY	
27	TOP SOIL	SY	
28	SOD	SY	
29	SEEDING	SY	
30	RETAINING WALL	LF	
31	WROT IRON RAIL	LF	
32	GUARD RAILS	LF	
33	EVERGREENS	Eq.	
34	MASONRY WALL	LF	
35	PATIO	SF	
36	FENCE	LF	
37	CONC PAD	SY	
38	BRICK WALL	LF	
39	8" GUARD POST	Eq.	
40	4" GUARD POST	Eq.	
41	TRASH RECP.	Eq.	
42	YARD LIGHTS	Eq.	

**OFF SITE QUANTITIES**

NO	ITEM	U <sub>N</sub>	QUANTITY
1	UTIL. POLE REMOVE	Eq.	
2	LAND CLEARING		
3	STRUCTURES	Eq.	
4	CURB & GUTTER	LF	
5	PUBLIC WALKS	SY	
6	PAVING	SY	
7	TOPSOIL	SY	
8	SOD	SY	
9	SEED	SY	

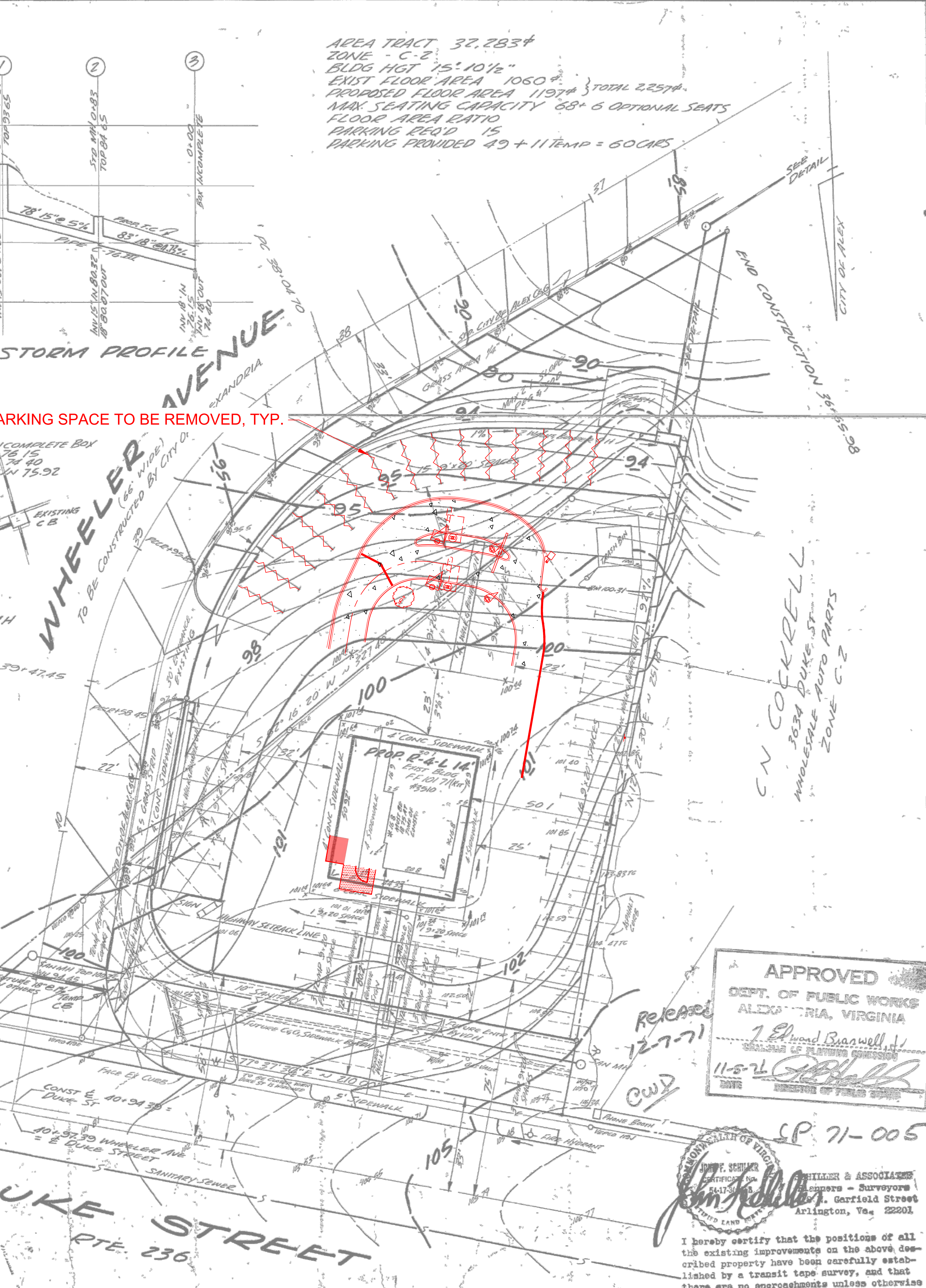
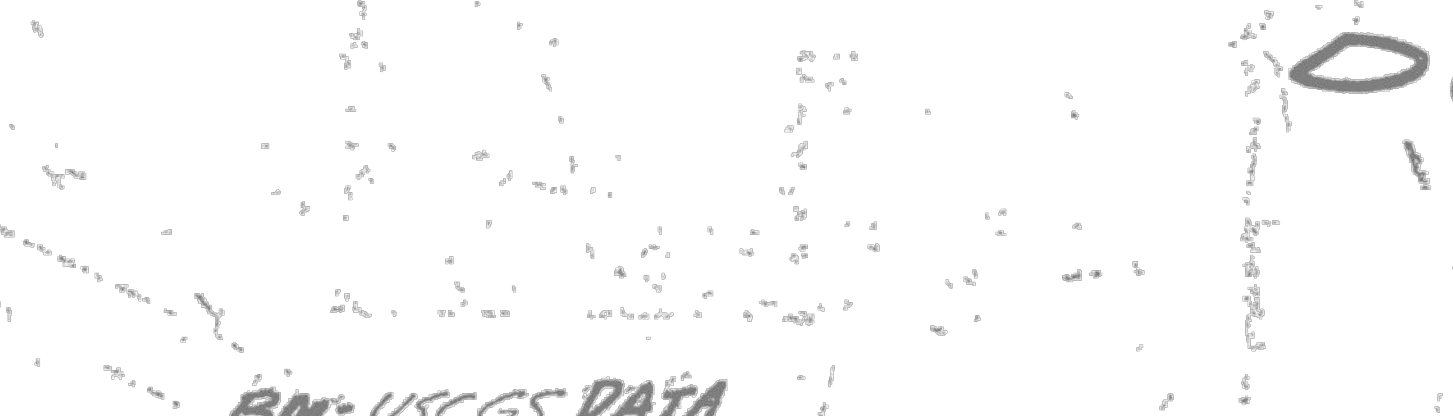
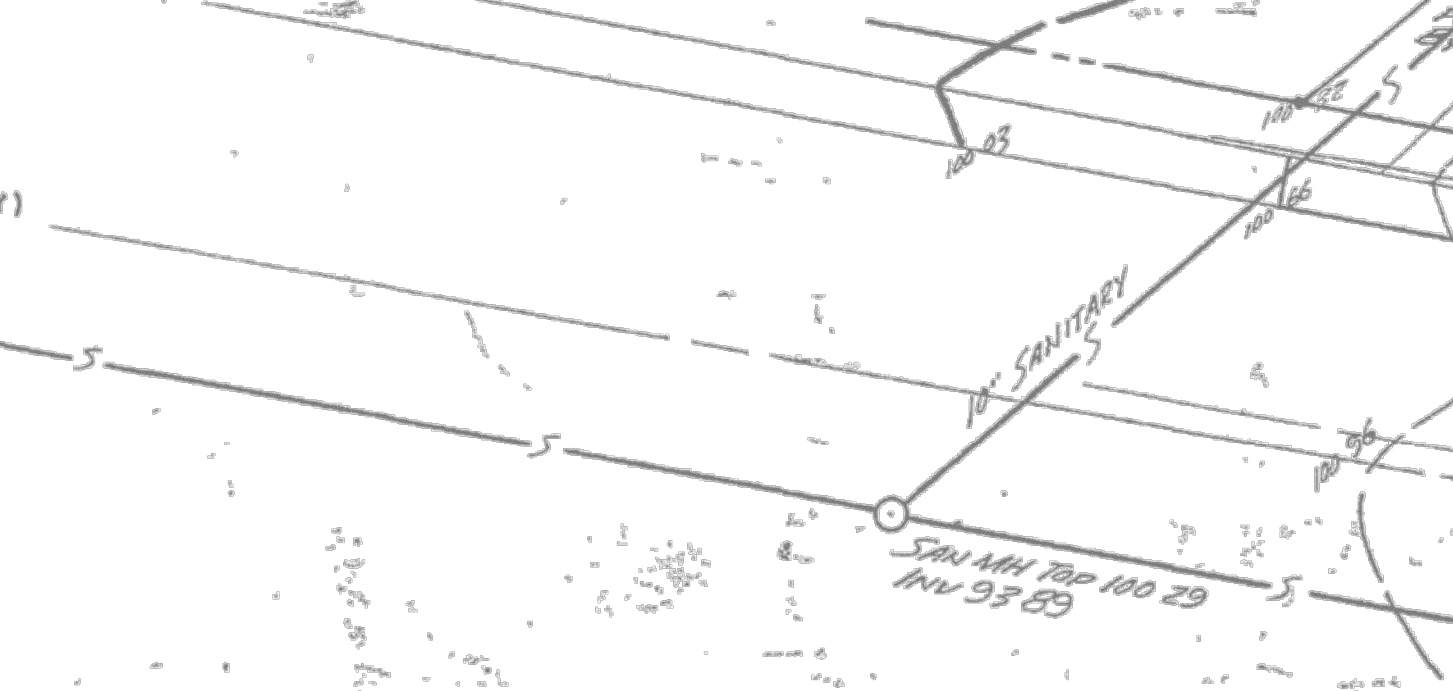
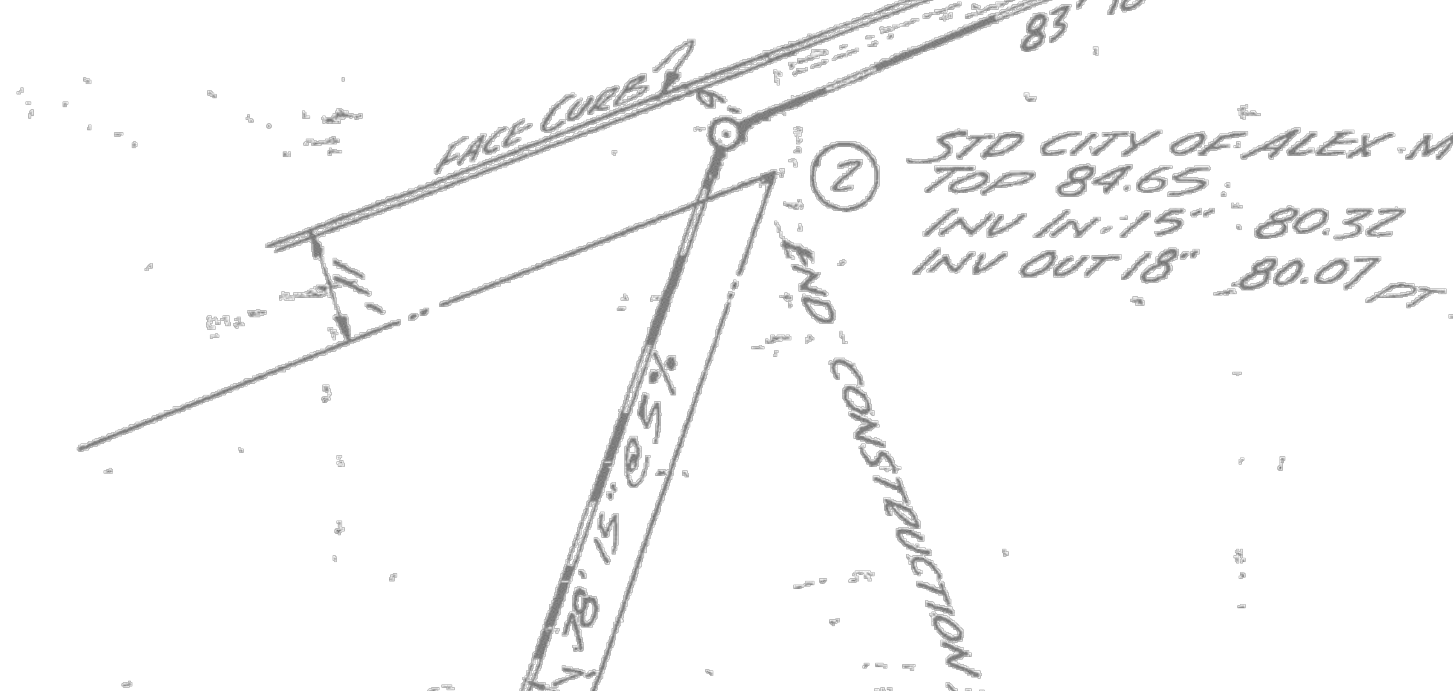
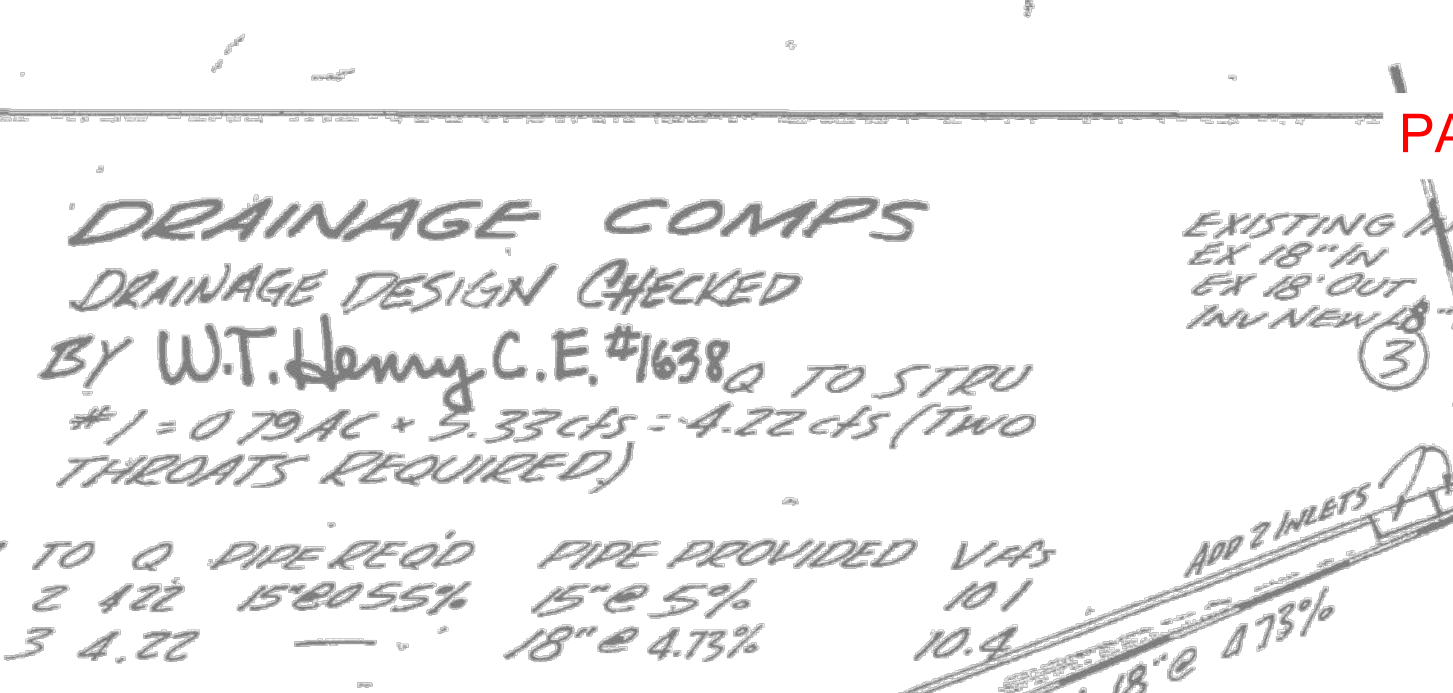
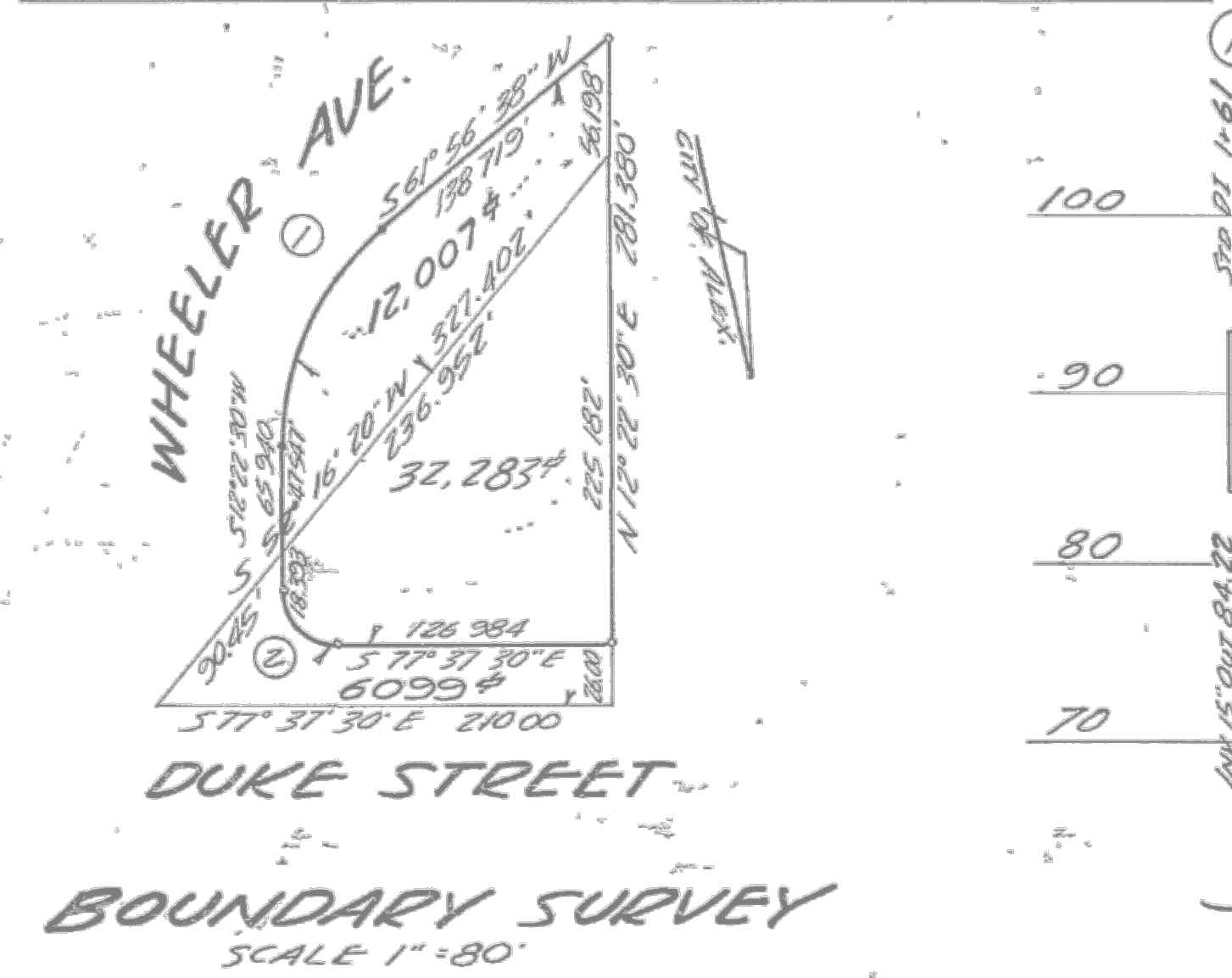
**REMARKS**

**LOCATION MAP**



**CURVE DATA**

NO.	RADIUS	DELTA	ARC	TAN	CHORD	CHD BEARING
1	132.00	49° 34' 08"	114.199	60.949	110.670	S 37° 09' 34" W
2	25.00	90° 00' 00"	39.27	25.00	35.365	N 32° 37' 30" W



AREA TRACT 32.2834  
 ZONE - C-2  
 BLDG HGT 15'-10 1/2"  
 EXIST FLOOR AREA 1050 #  
 PROPOSED FLOOR AREA 1197 # } TOTAL 2257 #  
 MAX SEATING CAPACITY 68 + 6 OPTIONAL SEATS  
 FLOOR AREA RATIO  
 PARKING REQ'D 15  
 PARKING PROVIDED 49 + 11 TEMP = 60 CARS

- GENERAL INFORMATION**
- THESE PLANS AND SPECIFICATIONS ARE THE PROP OF McDONALD'S SYSTEM, INC, 221 NORTH LA SALLE STREET, CHICAGO 1, ILLINOIS, AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THEIR WRITTE PERMISSION.
  - FRANCHISE OPERATOR SHALL FURNISH & MAINT ALL STRIPINGS, SIGN, INCINERATOR AND ITS ENCLD
  - McDONALD'S CONSTRUCTION SUPERINTENDENT TO APPROVE ALL WORK
  - FINISHED SIDEWALK ELEVATION TO BE 6" ABOVE FINISHED BLACKTOP SURFACE UNLESS NOTED OTHERWISE.
- NOTES**
- PARKING SPACES
  - SITE CHECK OUT PREPARED BY
  - INFORMATION TAKEN FROM
  - PREPARED BY
  - OF ON
  - ENT. SIGN BASES BY GEN. CONTRACTOR
  - GENERAL CONTRACTOR SHALL FURNISH & INSTALL ADEQUATE BREAKERS AND PROVIDE CONDUIT ONLY TO CENTER OF LIGHT POLE BASE AND STUB CONDUIT UP 1'-0" ABOVE TOP OF BASE
  - ALL DISTURBED SOIL AREAS TO BE GRADED WITH TOPSOIL
  - ITEMS MARKED N/C (NOT IN CONTRACT) TO BE INSTALLED AT OPERATORS REQUEST & EXPENSE UNDER AGREEMENT WITH GENERAL CONTRACTOR
  - IT IS THE RESPONSIBILITY OF THE CONTR TO ALL REQUIREMENTS OF LOCAL & STATE AUTHORITIES & UTILITY COMPANIES REGARDING INFORMATION STATED ON PLOT PLAN & BUILDING PLANS.

**LEGEND**

CONDUIT	---	C
WATER	---	W
SEWER	---	S
GAS	---	G
ELECTRIC LINES	---	E
TELEPHONE LINES	---	T
8" GUARD POST	---	
YARD LIGHT	---	
IRON PIPE	---	
ENTER-EXIT SIGN	---	
STORM DRAIN	---	
4" GUARD POST	---	
NOT IN CONTRACT	---	
EXISTING ELEVATION	---	
DESIGN ELEVATION	---	
ELEVATION DATUM	---	USCGS
BENCH MARK	---	

**OWNER:**  
 GOLDEN ARCH REALTY CO  
 5401 WESTBARD AVE.  
 BETHESDA, MD

SCHILLER & ASSOCIATES  
 Planners - Surveyors  
 1428 N. Garfield Street  
 Arlington, Va. 22201

**APPROVED**  
 DEPT. OF PUBLIC WORKS  
 ALEXANDRIA, VIRGINIA  
 1 Edward Brianwell  
 CHAIRMAN OF PLANNING COMMISSION  
 11-5-71  
 DIRECTOR OF PUBLIC WORKS

**APPROVED**  
 SCHILLER & ASSOCIATES  
 Planners - Surveyors  
 1428 N. Garfield Street  
 Arlington, Va. 22201

I hereby certify that the positions of all the existing improvements on the above described property have been carefully established by a transit tape survey, and that there are no encroachments unless otherwise

**UTILITIES:**

SANITARY SEWER	---
CITY WATER	---
GAS BTU/CF	SP GR. CLIMATE ZONE
ELECTRICAL	---

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10-15-71	REVISED FINAL TO CITY OF ALEX

**DRAWN** JFS  
**DATE** 8-25-71  
**SCALE** 1" = 20'  
**CHECKED** JFS  
**APPROVED**

OPERATIONS	NAME	ID
REGIONAL MGR.		
CONSTRUCTION MGR.		

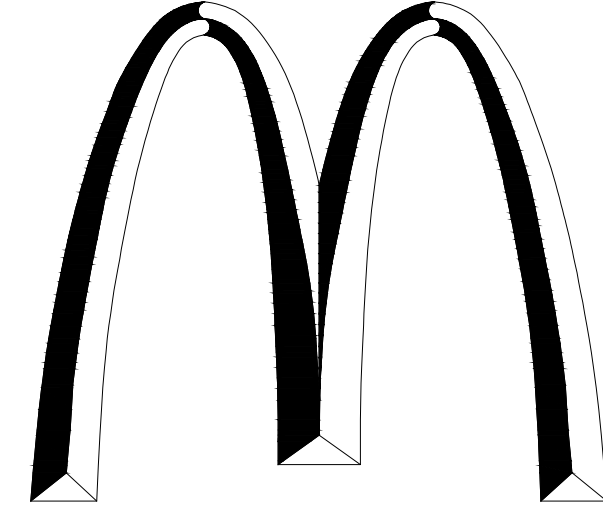
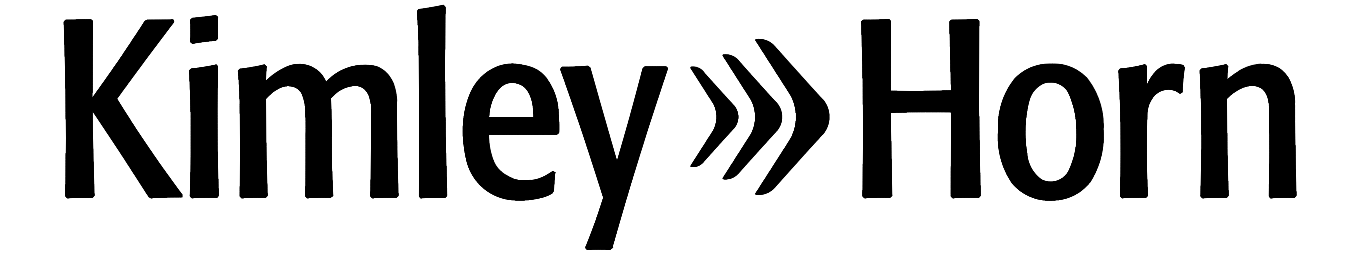
# CONSTRUCTION PLANS

FOR

## 450002 DUKE ST - ALEXANDRIA

LOCATED AT

3510 DUKE STREET, ALEXANDRIA, VA 22304



### GENERAL NOTES

**MAINTENANCE**

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

**VERTICAL DATUM**  
THE HORIZONTAL DATUM IS NAD 83 BASED UPON GPS OBSERVATIONS. THE VERTICAL DATUM IS BASED UPON GPS OBSERVATIONS NAVD 88.

**FLOOD ZONE**  
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) NUMBER 5155190037E, CITY OF ALEXANDRIA, VIRGINIA, EFFECTIVE DATE OF 06/16/2011, THE PROPERTY DESCRIBED HEREON DOES NOT LIE WITHIN A FLOODPLAIN.

**GENERAL NOTES**

1. INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED TO CONTROL SEDIMENT FROM LEAVING THE SITE PRIOR TO COMMENCING DEMOLITION WORK ON SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE UNDERGUT SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER.
9. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO EXISTING BUILDINGS TO REMAIN AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
12. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
13. CONCRETE/ASPHALT/BRICK, ETC. CAN BE CRUSHED (ON SITE OR OFFSITE) AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION PER PLANS, CITY/COUNTY REQUIREMENTS AND GEOTECH REPORT.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
15. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN FOR THE LOCATION OF THE TREES THAT ARE ALLOWED TO REMAIN TO BE REMOVED ONCE A TREE REMOVAL PERMIT IS OBTAINED BY THE CONTRACTOR.
16. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
17. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
18. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT THE APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
19. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
20. ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES.
21. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
22. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
23. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
24. CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
25. ALL IRRIGATION ON-SITE NOT TO BE RE-USED SHOULD BE REMOVED.
26. REMOVE AND/OR PLUS EXISTING UTILITIES SUCH AS STORM DRAINAGE, SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN OR AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
27. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
28. REFERENCE ALTA SURVEY FOR TREE SIZE AND SPECIES INFO.
29. GENERAL CONTRACTOR SHALL COORDINATE WITH MCDONALD'S STORE MANAGER ON CONSTRUCTION PRIOR TO MOBILIZATION.

### VICINITY MAP



SCALE: 1" = 500'

### SHEET INDEX

Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-050	ALTA SURVEY
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-250	CONSTRUCTION DETAILS
C-251	CONSTRUCTION DETAILS
C-252	CONSTRUCTION DETAILS
C-300	GRADING PLAN
C-400	UTILITY PLAN
C-500	LAND AREA MAP

### PROJECT TEAM

**CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC.  
11400 COMMERCE PARK DRIVE, SUITE 400  
RESTON, VA 20191  
CONTACT: CHRIS HOWELL, PE  
EMAIL: CHRIS.HOWELL@KIMLEY-HORN.COM  
TEL: (703) 674-1317

**OWNER**

GOLDEN ARCH REALTY CORP  
MCDONALD'S CORPORATION PO BOX 182571  
COLUMBUS, OH 43218

**SURVEYOR**

GRS GROUP, LLC  
6703 DELAND COURT  
SPRINGFIELD, VA 22152  
CONTACT: GREGORY STEINHILBER  
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TEL: (703) 727-5828

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KHA PROJECT	110368121
DATE	09/29/2024
SCALE	AS SHOWN
DESIGNED BY	DIR
DRAWN BY	DIR
CHECKED BY	CMH

## COVER SHEET

450002  
DUKE ST. - ALEXANDRIA  
PREPARED FOR  
MCDONALD'S CORPORATION  
CITY OF ALEXANDRIA  
VIRGINIA

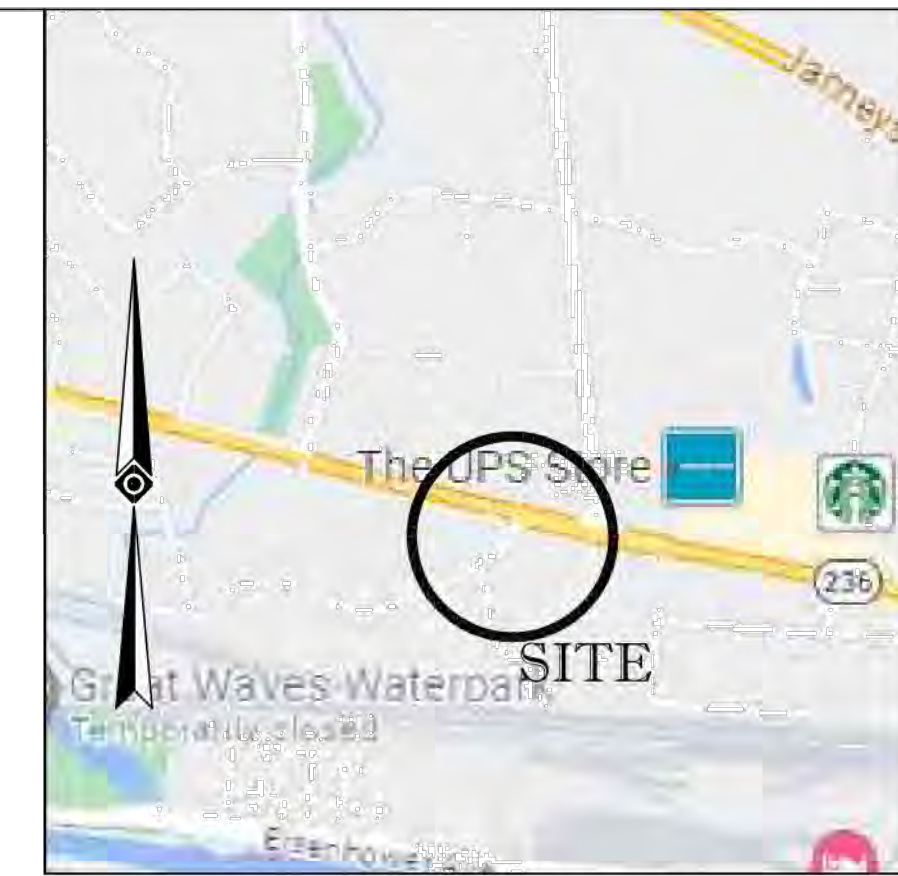
SHEET NUMBER  
**C-000**

Plotted By: Bajani, Eita, Sheet Set: kha Layout: 24x36, March 29, 2024, 10:13:25am. K:\VA\110368121.mcdonalds - alexandria (0510 duke st) va\CAD\plansheets\C000 COVER SHEET.dwg  
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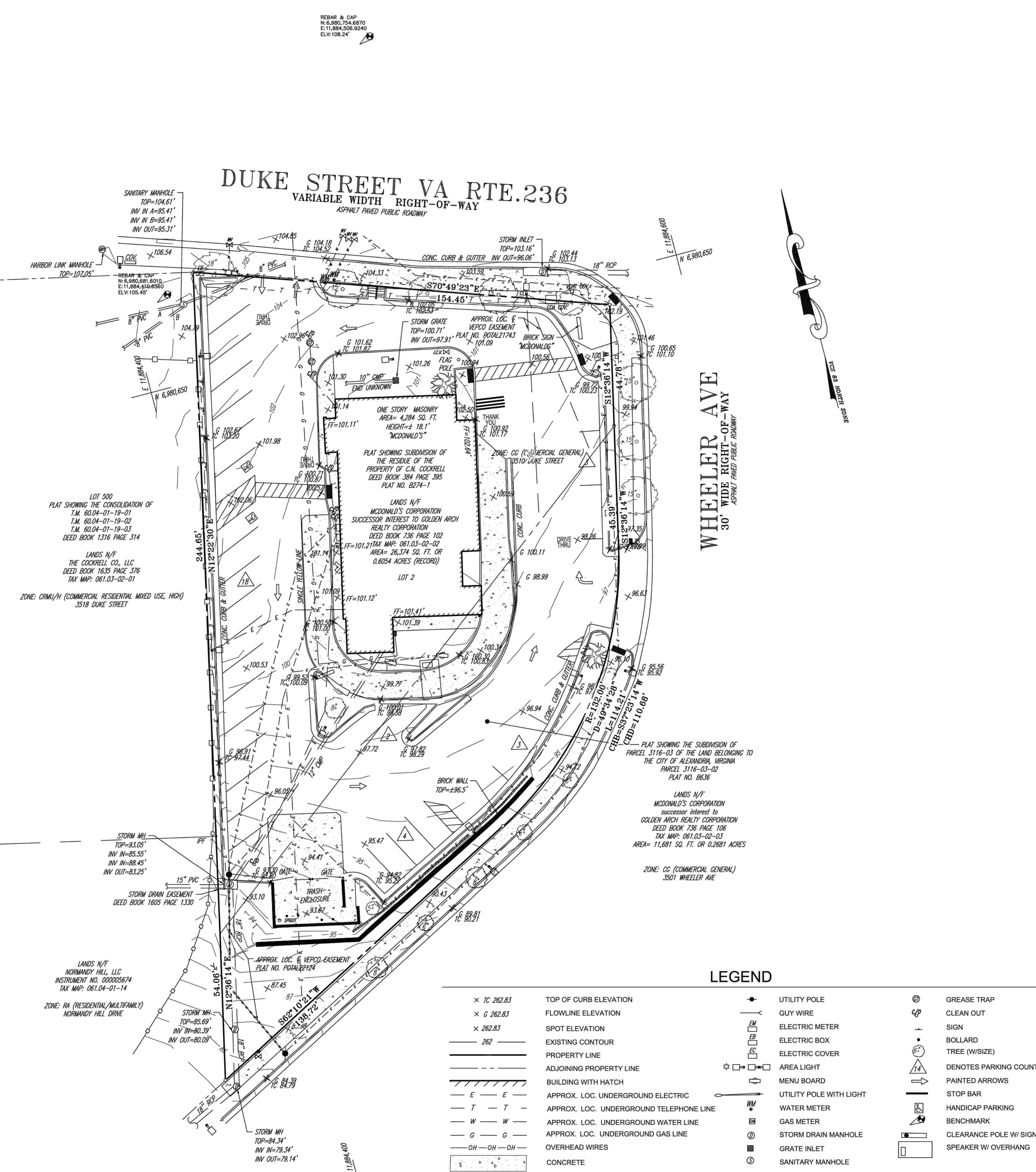
No.	Revisions	Date	By

**DUKE STREET VA RTE.236**  
 VARIABLE WIDTH RIGHT-OF-WAY  
 ASPHALT PAVED PUBLIC ROADWAY

**WHEELER AVE**  
 30' WIDE RIGHT-OF-WAY  
 ASPHALT PAVED PUBLIC ROADWAY



VICINITY MAP



LOT 500  
 PLAT SHOWING THE CONSOLIDATION OF  
 T.M. 60.04-01-19-01  
 T.M. 60.04-01-19-02  
 T.M. 60.04-01-19-03  
 DEED BOOK 1316 PAGE 314  
 LANDS N/F  
 THE COCKRELL CO., LLC  
 DEED BOOK 1635 PAGE 376  
 TAX MAP: 061.03-02-01  
 ZONE: CR(M)/H (COMMERCIAL RESIDENTIAL MIXED USE, HIGH)  
 3518 DUKE STREET

LANDS N/F  
 NORMANDY HILL, LLC  
 INSTRUMENT NO. 000005674  
 TAX MAP: 061.04-01-14  
 ZONE: RA (RESIDENTIAL/MULTIFAMILY)  
 NORMANDY HILL DRIVE

LEGEND	
× TC 262.83	TOP OF CURB ELEVATION
× G 262.83	FLOWLINE ELEVATION
× 262.83	SPOT ELEVATION
— 262 —	EXISTING CONTOUR
— — — — —	PROPERTY LINE
— · — · — · —	ADJOINING PROPERTY LINE
— / — / — / — / —	BUILDING WITH HATCH
— · — · — · —	APPROX. LOC. UNDERGROUND ELECTRIC
— · — · — · —	APPROX. LOC. UNDERGROUND TELEPHONE LINE
— · — · — · —	APPROX. LOC. UNDERGROUND WATER LINE
— · — · — · —	APPROX. LOC. UNDERGROUND GAS LINE
— OH — OH — OH —	OVERHEAD WIRES
■	CONCRETE
—	METAL RAIL
●	UTILITY POLE
—	GUY WIRE
EM	ELECTRIC METER
EB	ELECTRIC BOX
EC	ELECTRIC COVER
☆ □ □ □	AREA LIGHT
—	MENU BOARD
—	UTILITY POLE WITH LIGHT
WM	WATER METER
⊙	GAS METER
⊙	STORM DRAIN MANHOLE
■	GRATE INLET
⊙	SANITARY MANHOLE
⊙	GREASE TRAP
⊙	CLEAN OUT
—	SIGN
●	BOLLARD
●	TREE (W/SIZE)
▲	DENOTES PARKING COUNT
→	PAINTED ARROWS
—	STOP BAR
—	HANDICAP PARKING
—	BENCHMARK
—	CLEARANCE POLE W/ SIGN
—	SPEAKER W/ OVERHANG

- NOTES:
- PROPERTY IS THE LANDS OF MCDONALD'S CORPORATION, SUCCESSOR IN INTEREST TO GOLDEN ARCHES REALTY CORPORATION AS RECORDED IN DEED BOOK 763 AT PAGE 102 AND DEED BOOK 736 AT PAGE 106 AND HAVING A TAX MAP NUMBER OF 061.03-02-03 & 061.03-02-02.
  - AREA TAX MAP 061.03-02-03 = 11,681 SQ. FT. OR 0.2681 ACRES  
 AREA TAX MAP 061.03-02-02 = 26,374 SQ. FT. OR 0.6054 ACRES
  - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS BUILT PLANS AND UTILITY MARK OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
  - THE HORIZONTAL DATUM IS VIRGINIA STATE PLANE COORDINATE SYSTEM, NAD 83 NORTH ZONE BASED UPON GPS OBSERVATIONS. THE VERTICAL DATUM IN NAVD 1988 BASED UPON GPS OBSERVATIONS.
  - BY GRAPHIC PLOTTING THE PROPERTY IS LOCATED IN OTHER AREAS, ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF ALEXANDRIA, VIRGINIA INDEPENDENT CITY, PANEL 37 OF 45", MAP NUMBER 5156190037E, MAP EFFECTIVE DATE JUNE 16, 2011.
  - THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.
  - THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
  - THERE WAS NO EVIDENCE OF A FIELD DELINEATION OF WETLANDS CONDUCTED ON THE SITE.
  - THERE ARE NO VISIBLE, POSSIBLE ENCROACHMENTS, EXCEPT AS SHOWN ON THE SURVEY.
  - THERE WERE NO CEMETERIES OR FAMILY BURIAL GROUNDS OBSERVED AT THE TIME OF SURVEY.
  - THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WATER DUMP, SUMP OR SANITARY LANDFILL.
  - THE PROPERTY HAS DIRECT VEHICULAR, PEDESTRIAN AND UTILITY ACCESS TO DUKE STREET, VA ROUTE 236 AND WHEELER AVE, PUBLICLY DEDICATED AND MAINTAINED RIGHTS OF WAY.
  - THE SURVEYED PROPERTY CONTAINS 30 REGULAR PARKING SPACES INCLUDING 2 HANDICAPPED SPACES.

- REFERENCES:
- CITY OF ALEXANDRIA, VIRGINIA - ONLINE GIS PARCEL VIEWER.
  - MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, CITY OF ALEXANDRIA, VIRGINIA INDEPENDENT CITY, PANEL 37 OF 45", MAP NUMBER 5156190037E, MAP EFFECTIVE DATE JUNE 16, 2011.

THIS "BOUNDARY AND TOPOGRAPHIC SURVEY, THE LANDS OF GOLDEN ARCHES REALTY CORPORATION AS RECORDED IN DEED BOOK 763 AT PAGE 102 AND DEED BOOK 736 AT PAGE 106 WAS COMPLETED UNDER MY SUPERVISION FROM AN ACTUAL GROUND SURVEY; THE FIELD WORK WAS COMPLETED ON OCTOBER 31, 2023 AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA, INCLUDING METADATA, MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

**GREGORY R. STEINHILBER**  
 No. 3430  
 VIRGINIA LICENSED LAND SURVEYOR NO. 3430

NOVEMBER 10, 2023  
 DATE

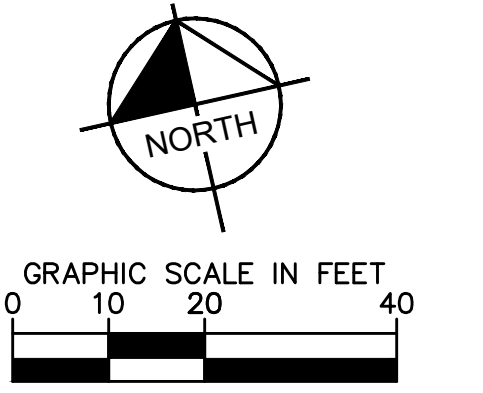
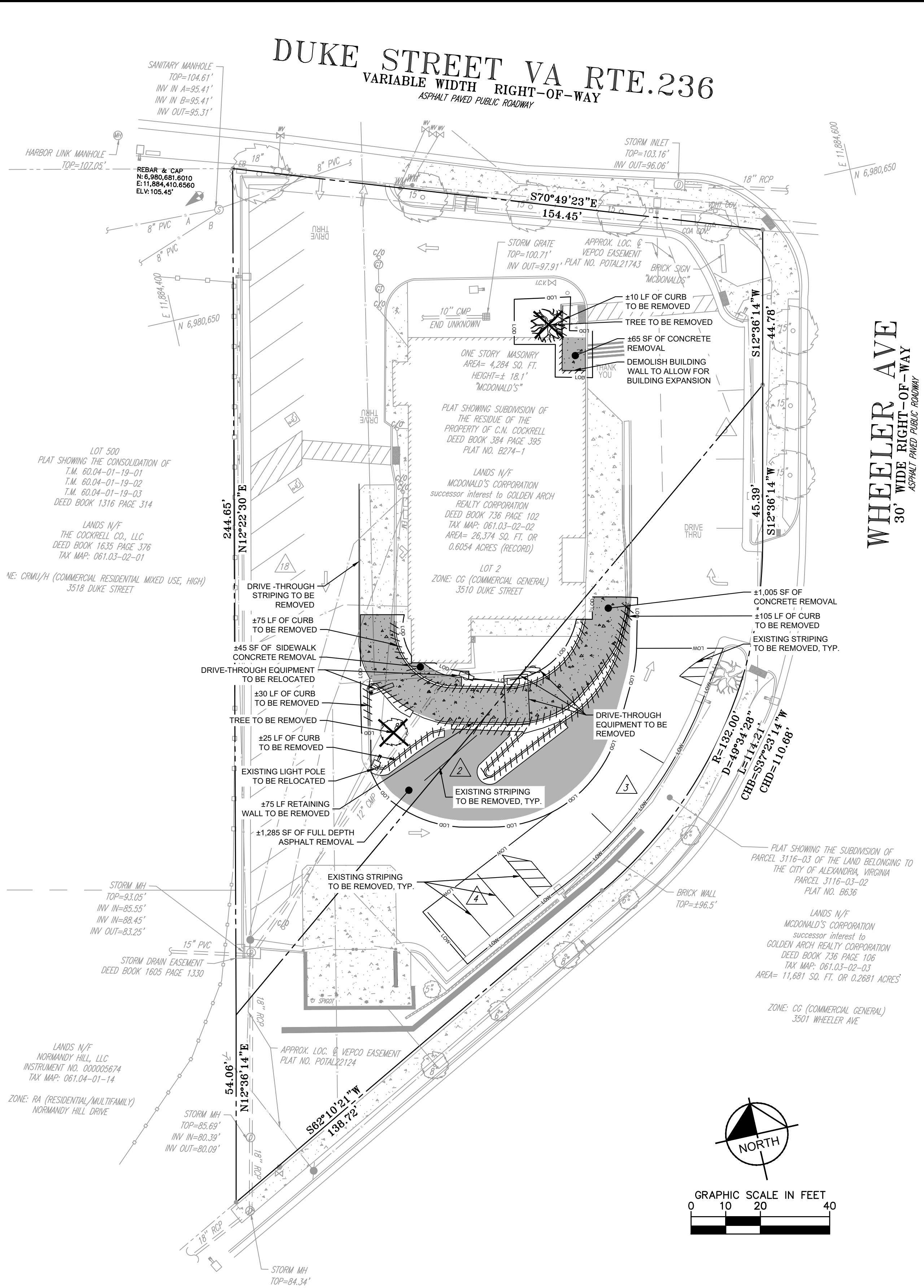
DATE	BY	REVISION

BOUNDARY AND TOPOGRAPHIC SURVEY  
 LANDS N/F  
 MCDONALD'S CORPORATION  
 successor in interest to  
 GOLDEN ARCHES REALTY CORPORATION  
 DEED BOOK 763 PAGE 102 & DEED BOOK 763 PAGE 106  
 CITY OF ALEXANDRIA, VIRGINIA  
 DATE: NOVEMBER 10, 2023  
 SCALE: 1" = 20'

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 TELE: 703-727-5828  
 FAX: 703-763-2320  
 email: grsgroup.llc@gmail.com

Plotted By: **Bajram, Elm** Sheet: **See/Sha** Layout: **DEMOLITION AND EROSION CONTROL PLAN** March 29, 2024 10:13:43am K:\NVA CIVIL\10368 mcdonalds - alexandria (3510 duke st)\vca\Drawings\100-DEMOLITION PLAN.dwg  
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LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE (±3,860 SF)
	LIMITS OF WORK
	LIMITS OF ITEM TO BE REMOVED
	SAWCUT LINE
	MILL AND OVERLAY
	FULL DEPTH ASPHALT REMOVAL
	CONCRETE REMOVAL
	PARTIAL DEPTH ASPHALT REMOVAL (REMOVAL TO TOP OF AGGREGATE LAYER)
	EXISTING TREE TO BE REMOVED

**DEMOLITION NOTES**

- THIS DEMOLITION PLAN IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION AND FOR THE DEMOLITION, REMOVAL, OR RELOCATION OF ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- CONTRACTOR IS TO RESTORE ALL OFF-SITE DISTURBED AREAS TO EXISTING CONDITIONS AFTER CONSTRUCTION.
- LOCATIONS OF EXISTING UTILITIES ARE FOR REFERENCE ONLY. CONTRACTOR IS TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT THE SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF THE UTILITY HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY. PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF DIFFERENT FROM CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- ANY PAVEMENT REPLACEMENT WITHIN THE ROW SHALL MATCH THE EXISTING PAVEMENT SECTION.
- FOR ALL UTILITIES TO BE RELOCATED, THE SERVICE SHALL NOT BE INTERRUPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

NO.	REVISIONS	DATE

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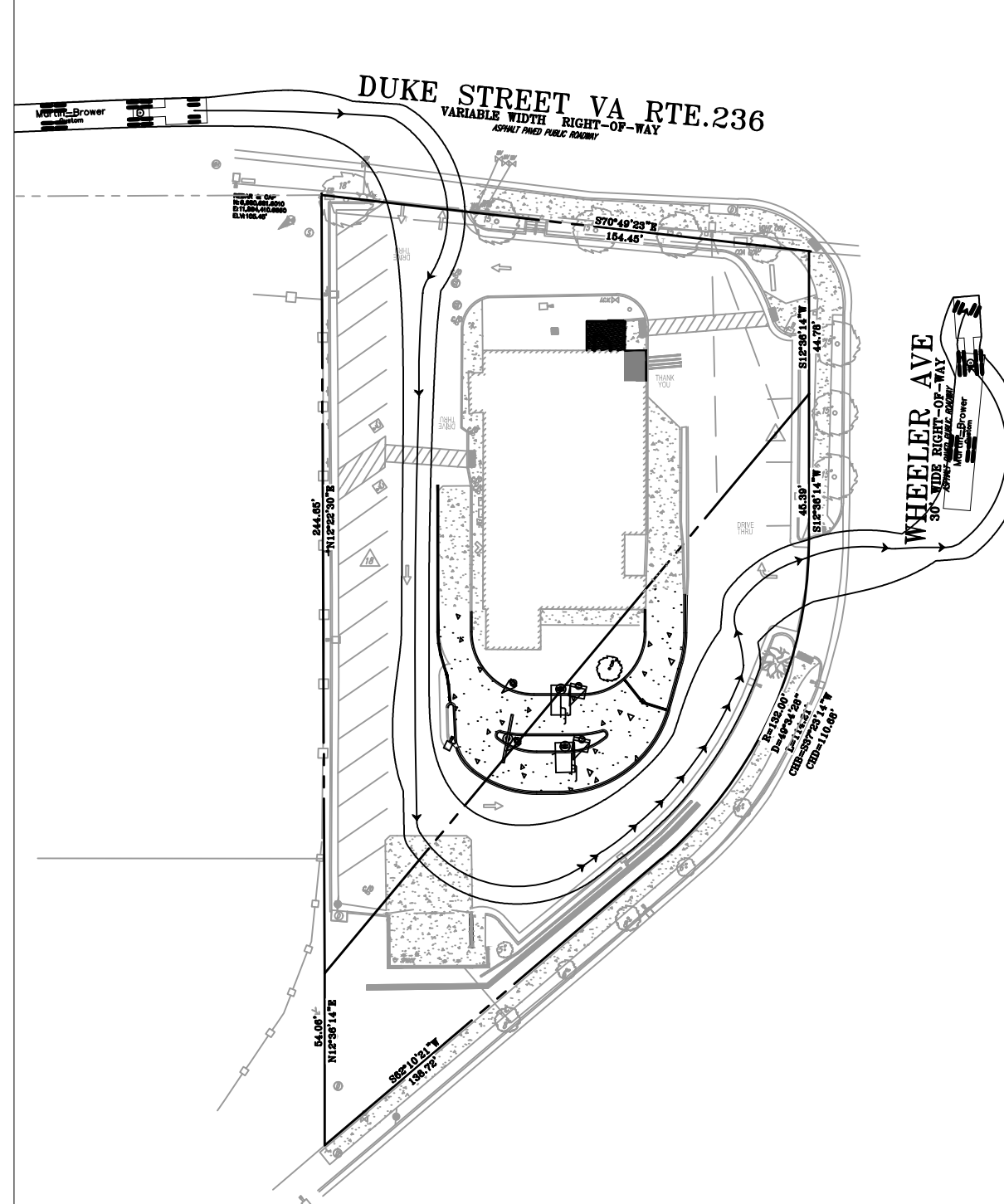
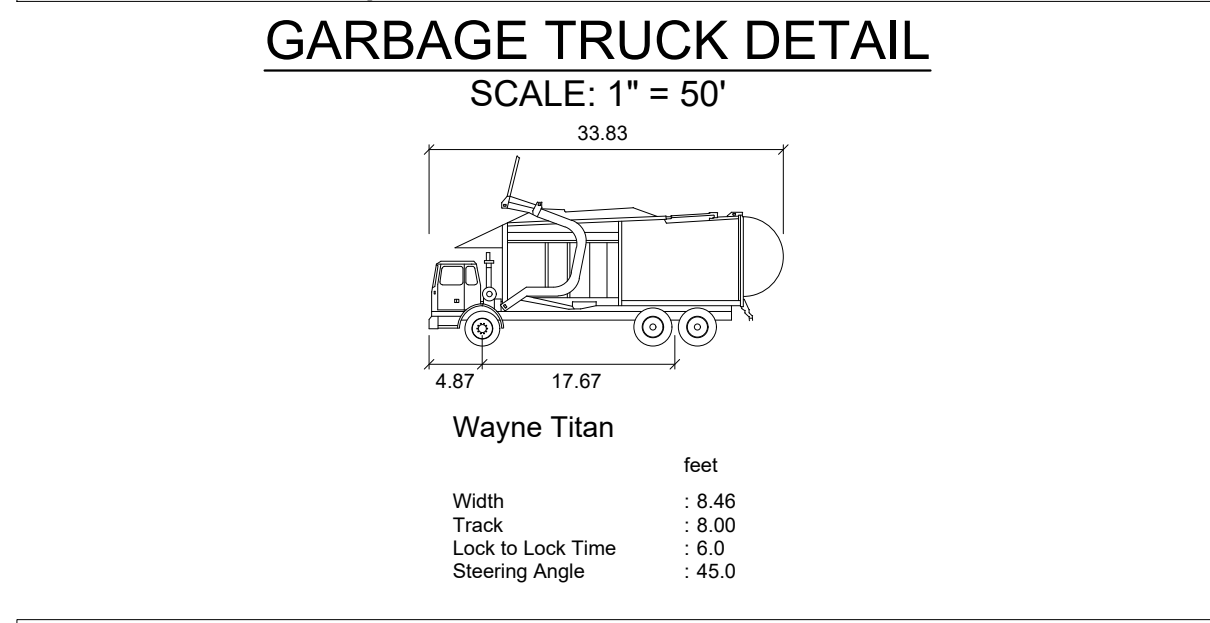
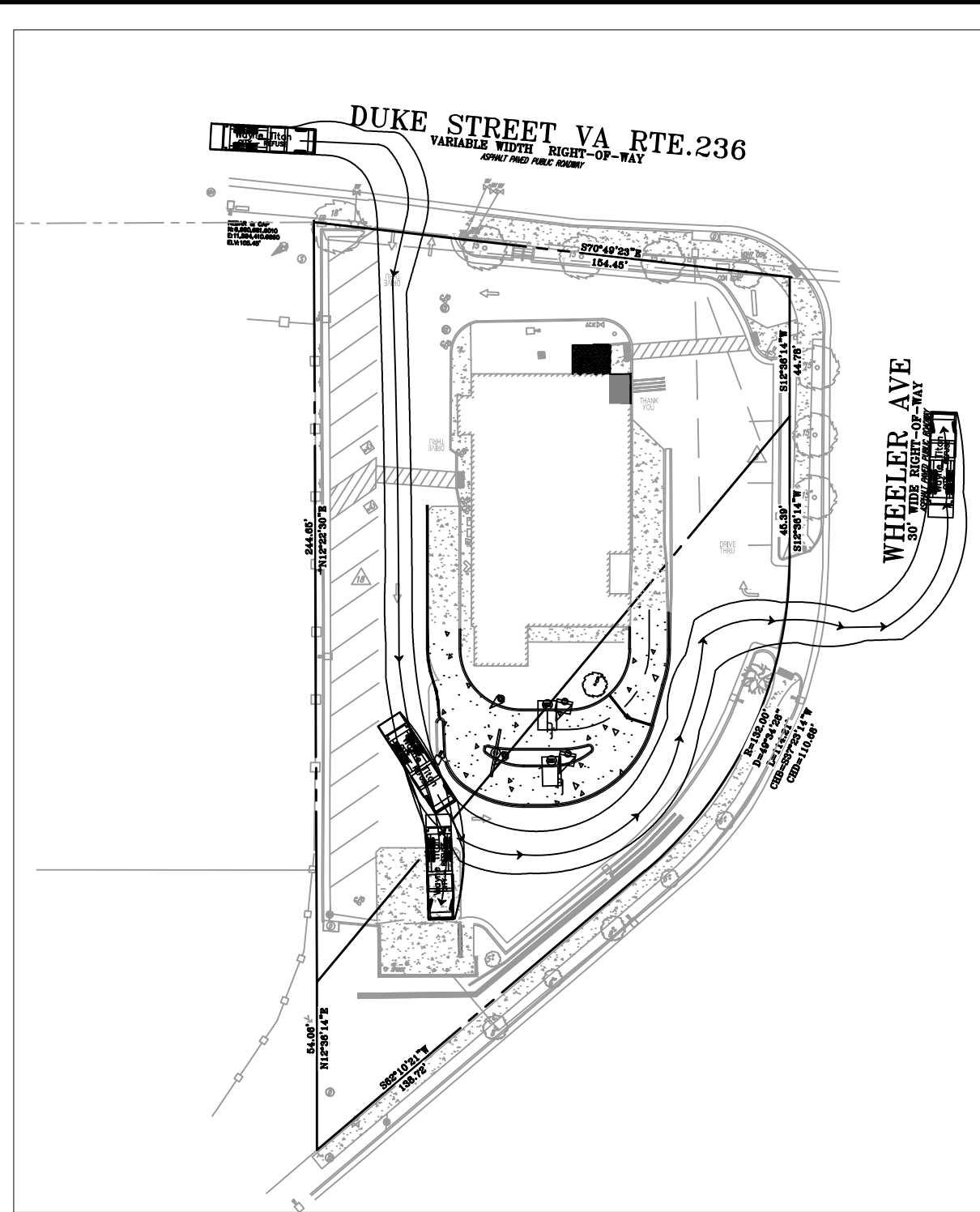
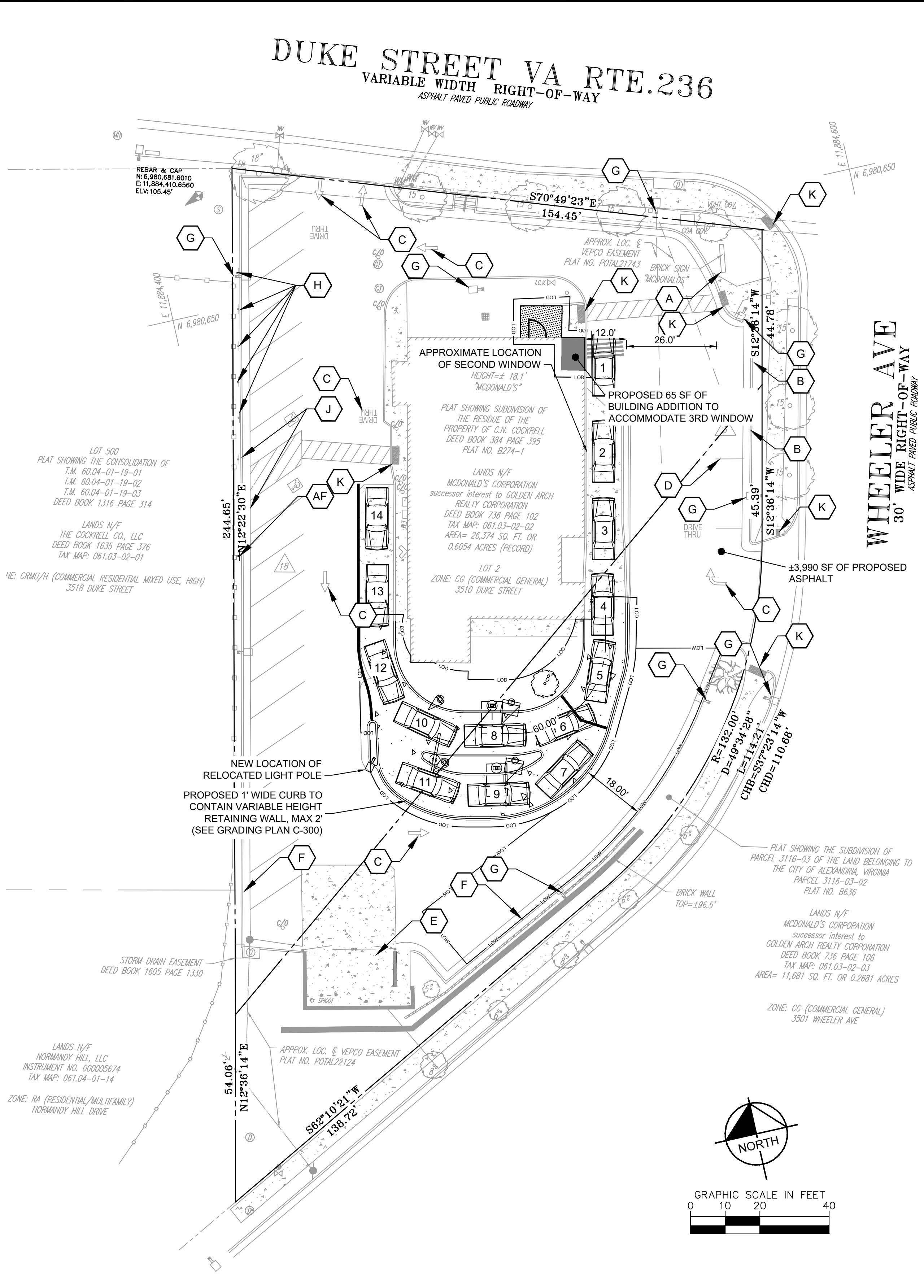


KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
110368121	03/29/2024	AS SHOWN	DJR	DJR	CMH

**DEMOLITION PLAN**  
 450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 CITY OF ALEXANDRIA VIRGINIA

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- SITE LEGEND**
- A. EXISTING MONUMENT SIGN
  - B. EXISTING DRIVE-THRU PULL FORWARD/PARK SIGNS
  - C. EXISTING DIRECTIONAL ARROW, TYP. (WHITE)
  - D. EXISTING 6" STRIPE
  - E. EXISTING TRASH CORRAL
  - F. EXISTING C&G CURB AND GUTTER
  - G. EXISTING LIGHT POLE
  - H. EXISTING MOBILE ORDER SIGNS
  - I. EXISTING DIRECTIONAL SIGNAGE
  - J. EXISTING ADA PARKING SPACE AND SIGNING
  - K. EXISTING ADA CURB RAMP
  - L. EXISTING CURB AND GUTTER
  - M. EXISTING 6" WHITE STRIPE
  - N. EXISTING 6" BOLLARD
  - O. EXISTING DOUBLE-HEADED ARROW FORWARD/PARK SIGNS
  - P. PROPOSED DRIVE-THRU PULL FORWARD/PARK SIGNS
  - Q. PROPOSED DIRECTIONAL ARROW, TYP. (WHITE)
  - R. PROPOSED 6" WHITE STRIPE
  - S. PROPOSED DOUBLE-HEADED ARROW
  - T. PROPOSED TRASH CORRAL
  - U. PROPOSED 6" BOLLARD
  - V. PROPOSED LIGHT POLE
  - W. PROPOSED MOBILE ORDER SIGNS
  - X. PROPOSED DIRECTIONAL SIGN
  - Y. PROPOSED GATEWAY DUAL ARM
  - Z. PROPOSED PRE-BROWSE BOARD
  - AA. PROPOSED DRIVE-THRU CANOPY
  - AB. PROPOSED DIGITAL MENU BOARD
  - AC. PROPOSED LOOP DETECTOR
  - AD. PROPOSED ADA PARKING SPACE AND SIGNING
  - AE. PROPOSED ADA CURB RAMP
  - AF. PROPOSED MCDelivery SPACE
- LEGEND**
- PROPERTY LINE
  - LIMITS OF DISTURBANCE (±3,860 SF)
  - PROPOSED CURB
  - PROPOSED CURB AND GUTTER
  - PROPOSED SIGN
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED ASPHALT

**SITE DATA**

LOCATION: CITY OF ALEXANDRIA  
ADDRESS: 3510 DUKE STREET ALEXANDRIA, VA 22304

ZONING: CR - COMMERCIAL REGIONAL

LAND USE: RESTAURANT, FAST FOOD  
SITE AREA: ±38,055 SF ±0.87 AC

MIN. PARKING REQUIRED: 1 SPACE PER 1,000 SF OF FLOOR AREA  
MAX. PARKING REQUIRED: 3 SPACES PER 1,000 SF OF FLOOR AREA

PARKING SUMMARY	REQUIRED	EXISTING	PROVIDED
TOTAL PARKING	5 MIN/13 MAX	30	21
ACCESSIBLE PER ADA	2	2	2

PARKING ANGLE	STALL WIDTH (FT.)	DEPTH OF STALLS PERPENDICULAR TO AISLE (FT.)	ONE-WAY AISLE (FT.)	TWO-WAY AISLE (FT.)
0° PARKING (STANDARD STALLS)	22	8	12	N/A
0° PARKING (COMPACT STALLS)	18	7	12	N/A
60° PARKING	9	19	16	16
90° PARKING (STANDARD STALLS)	9	18.5	22	22
90° PARKING (COMPACT STALLS)	8	16	20	20

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NO.	REVISIONS	BY	DATE

**Kimley Horn**

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COMMONWEALTH OF VIRGINIA  
CHRIS HOWELL  
Lic. No. 0402058105  
03/29/2024  
PROFESSIONAL SEAL

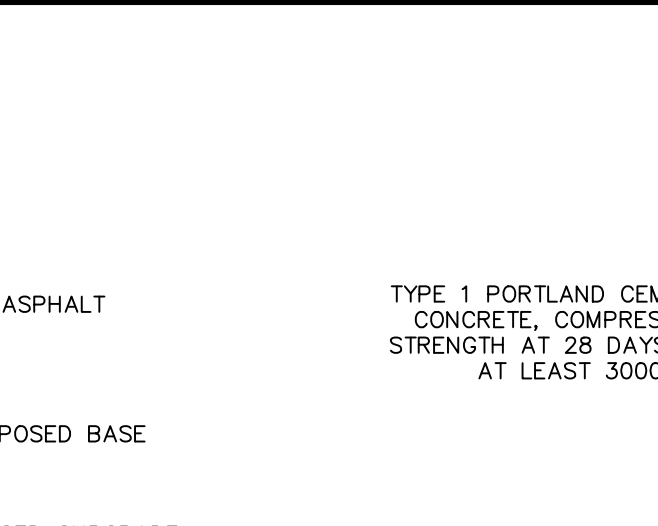
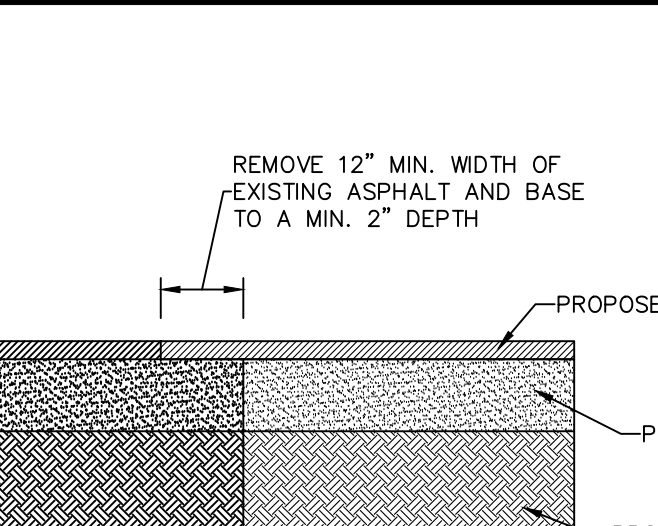
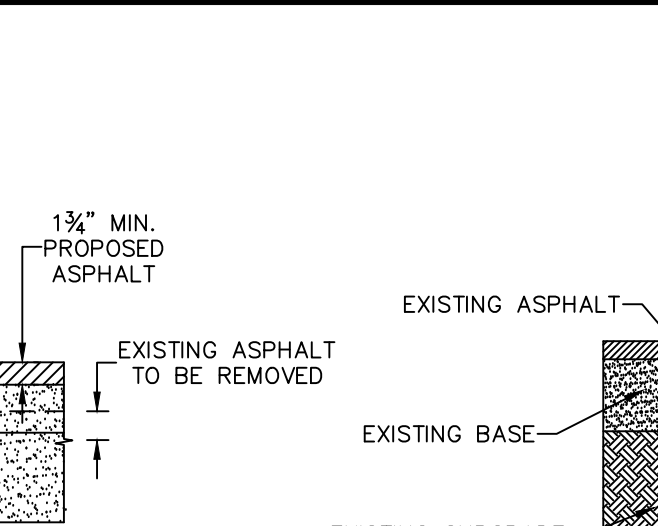
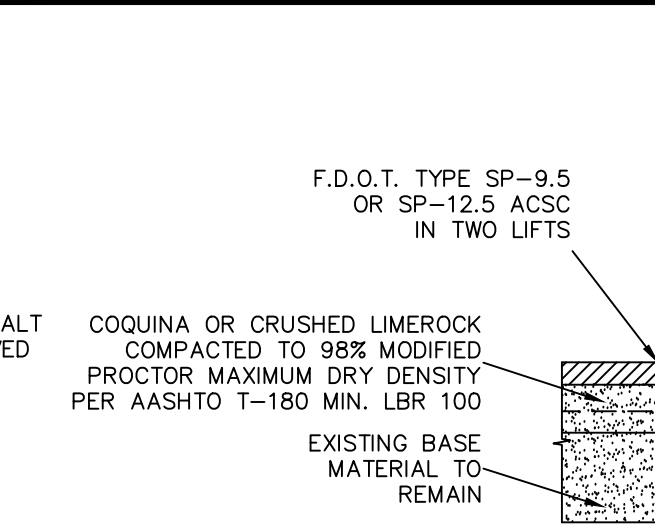
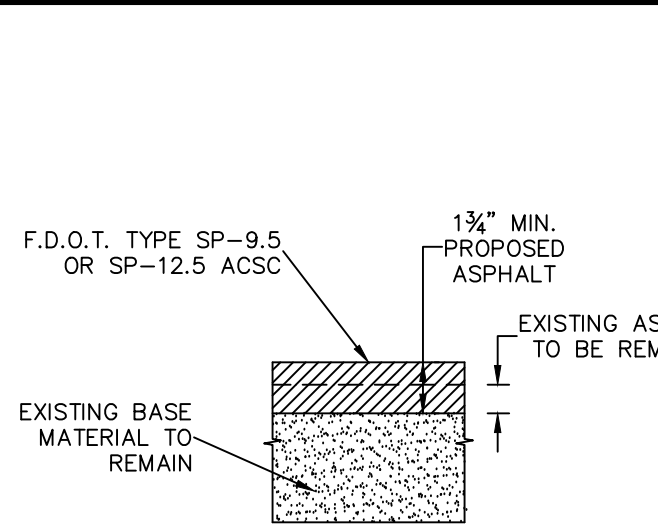
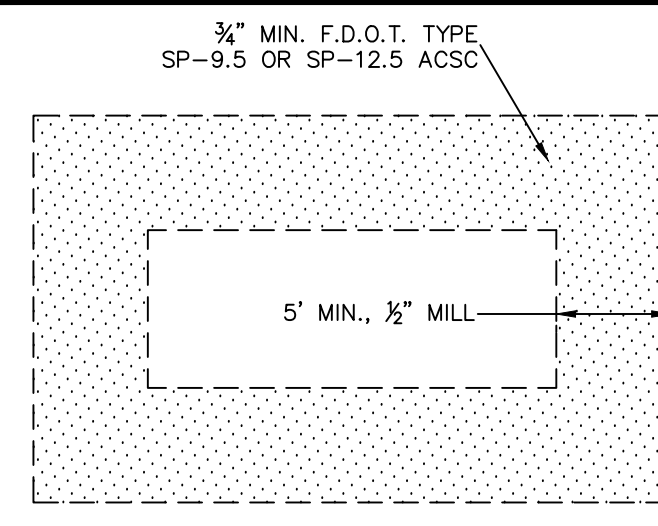
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
110368121	03/29/2024	AS SHOWN	DJR	DJR	CMH

**SITE PLAN**

450002  
DUKE ST. - ALEXANDRIA  
PREPARED FOR  
MCDONALD'S CORPORATION  
CITY OF ALEXANDRIA VIRGINIA

SHEET NUMBER  
**C-200**

Plotted By: bajani, Elite, Sheet Section: Layout C-250 SITE DETAILS, April 01, 2024, 04:42:55pm - KINVA, CIVIL110388.MCDONALD'S - Alexandria (8510 Duke St) VACAD/PlanSheet/C-250 CONSTRUCTION DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, as an instrument of service, and its use is limited to the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### ASPHALT PAVEMENT RESTORATION

Scale: N.T.S.

### SAW-CUT

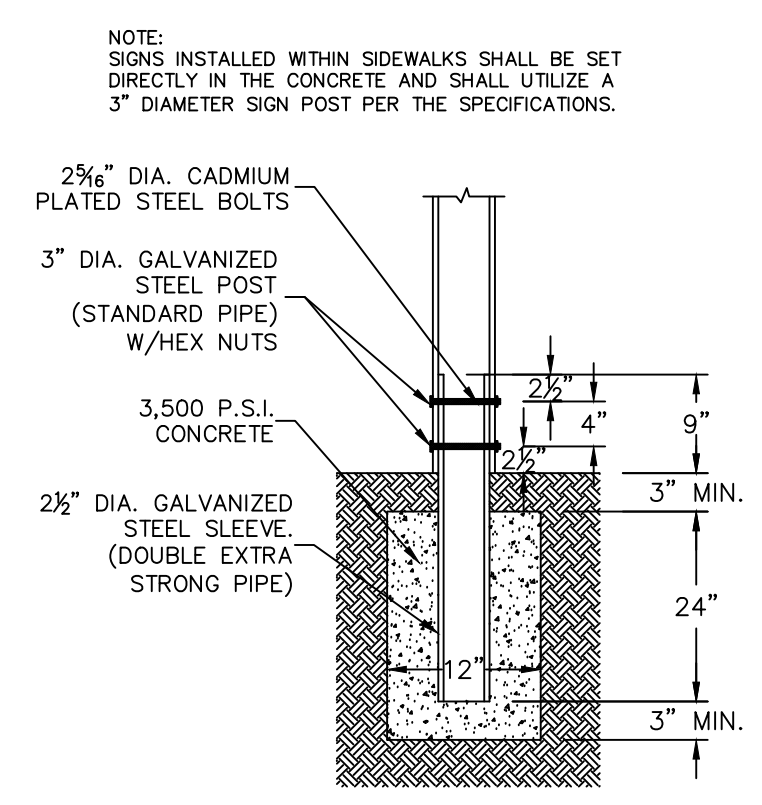
Scale: N.T.S.

### CONCRETE PAVEMENT

Scale: N.T.S.

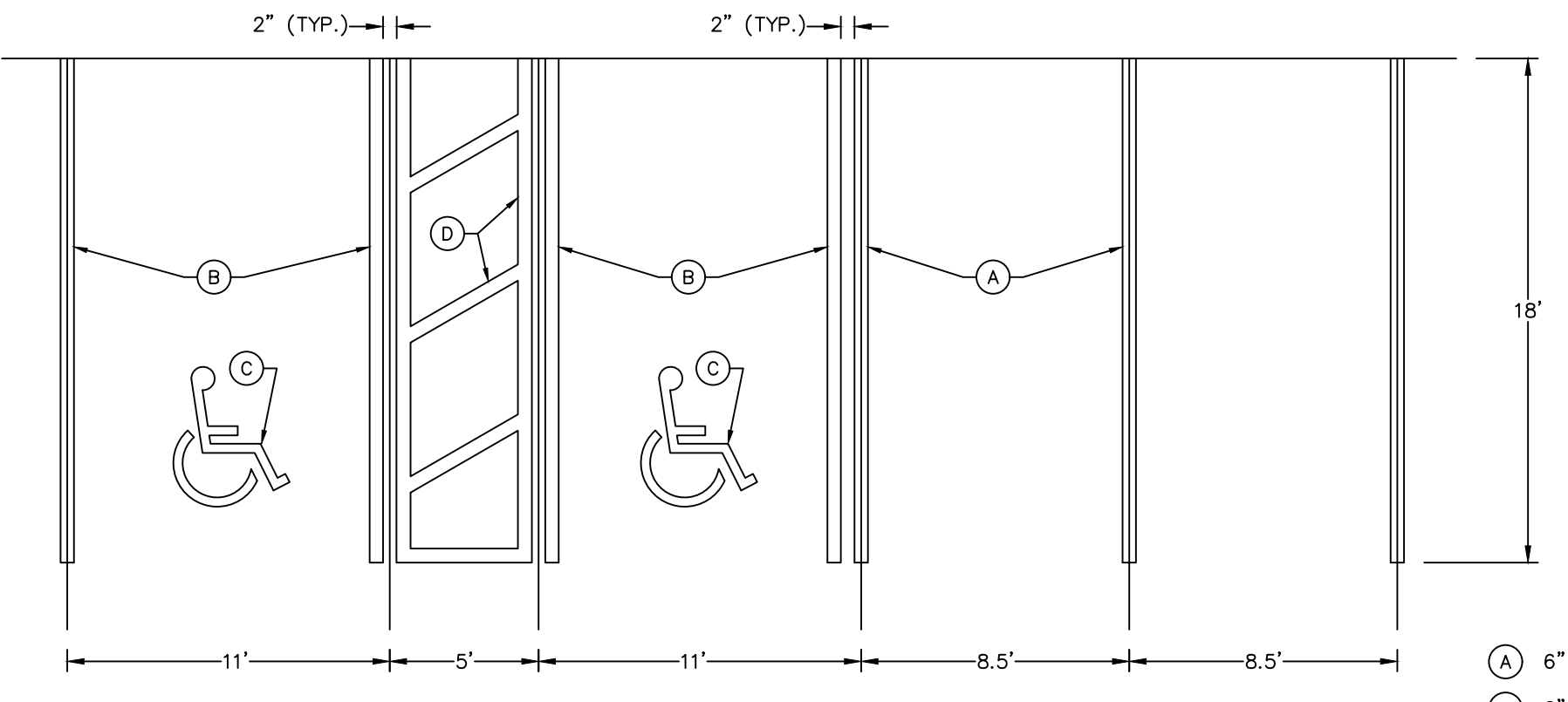
### PIPE BOLLARD

Scale: N.T.S.



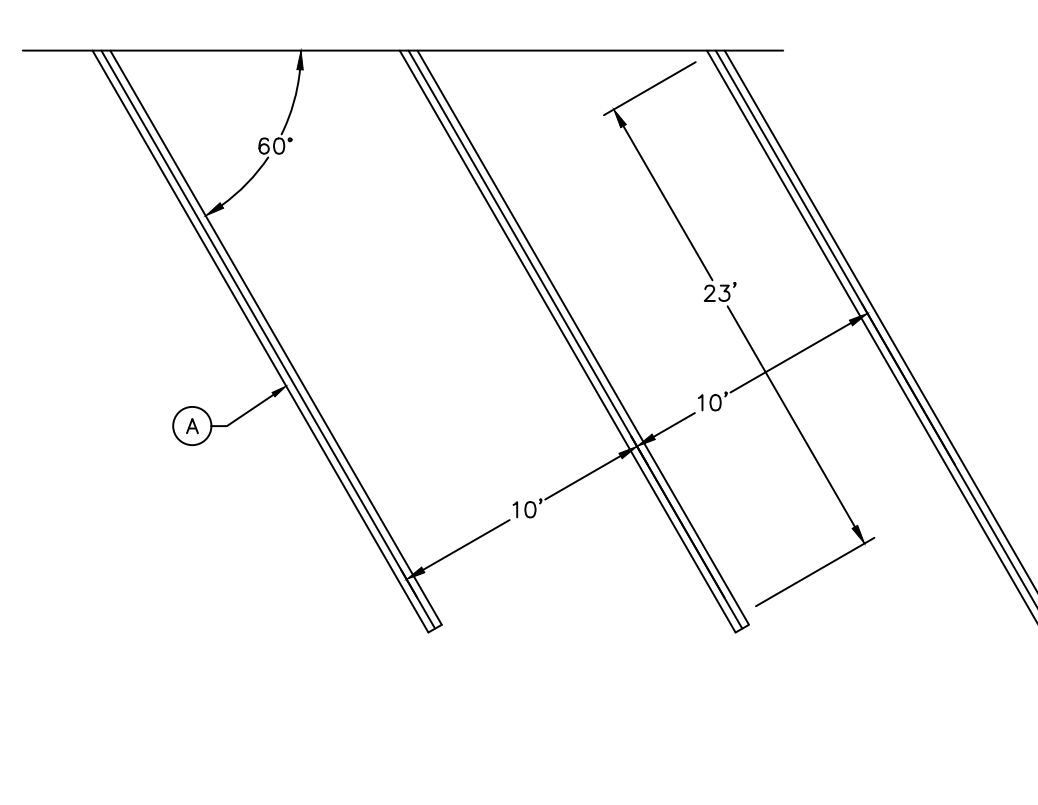
### SIGN BASE

Scale: N.T.S.



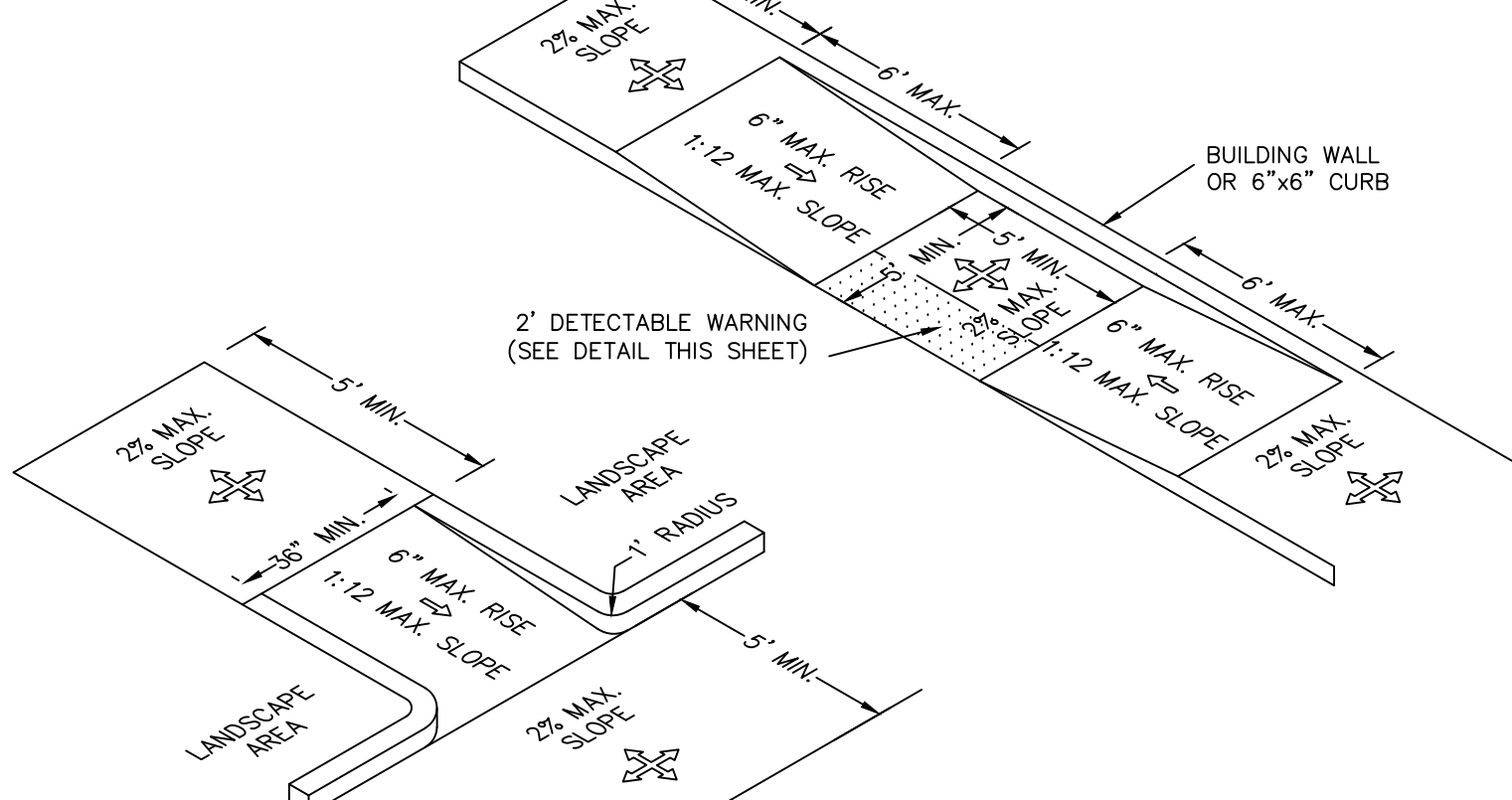
### PARKING STALL STRIPING

Scale: N.T.S.



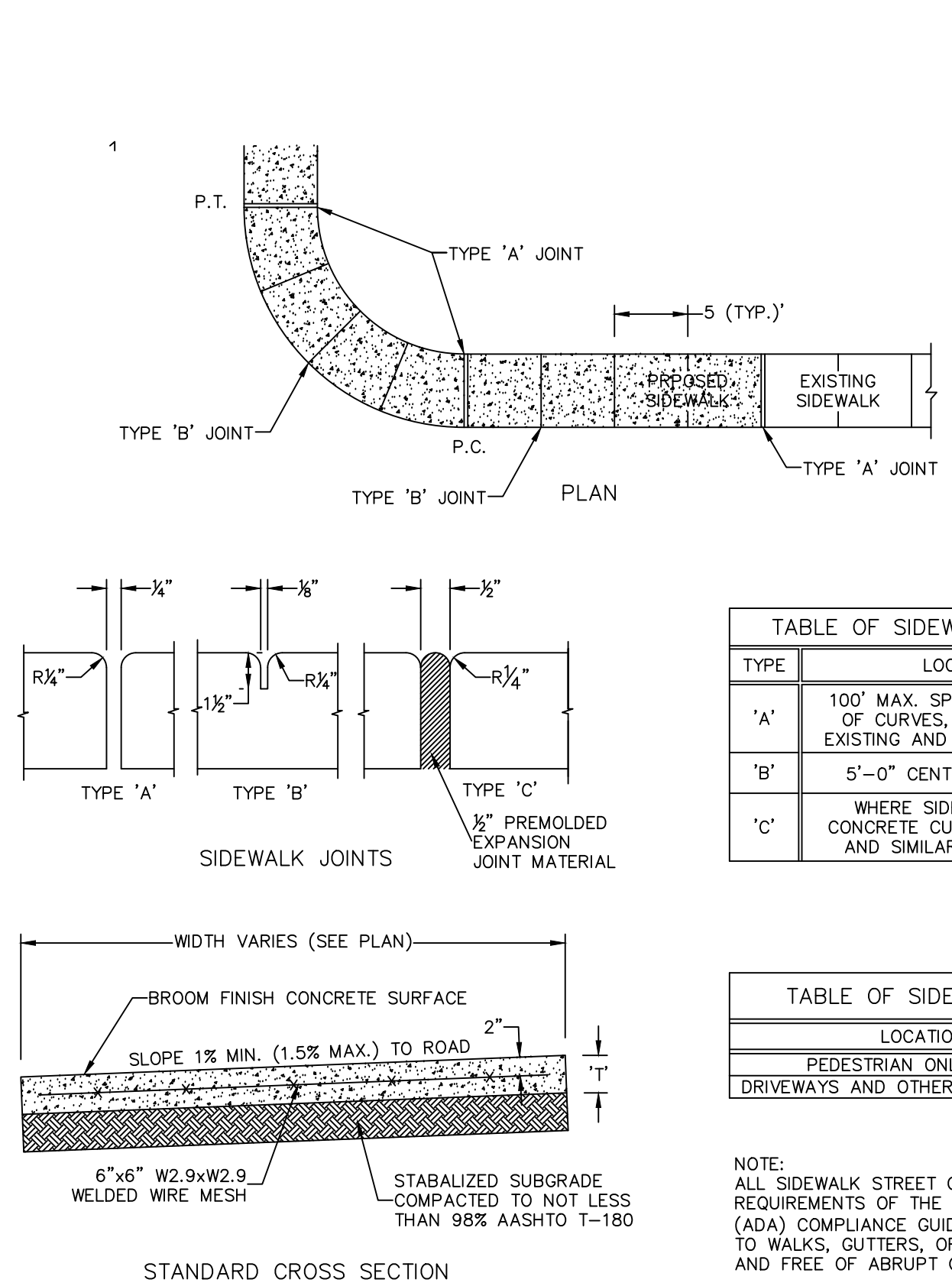
### 60° STALL STRIPING

Scale: N.T.S.



### ACCESSIBLE RAMPS

Scale: N.T.S.



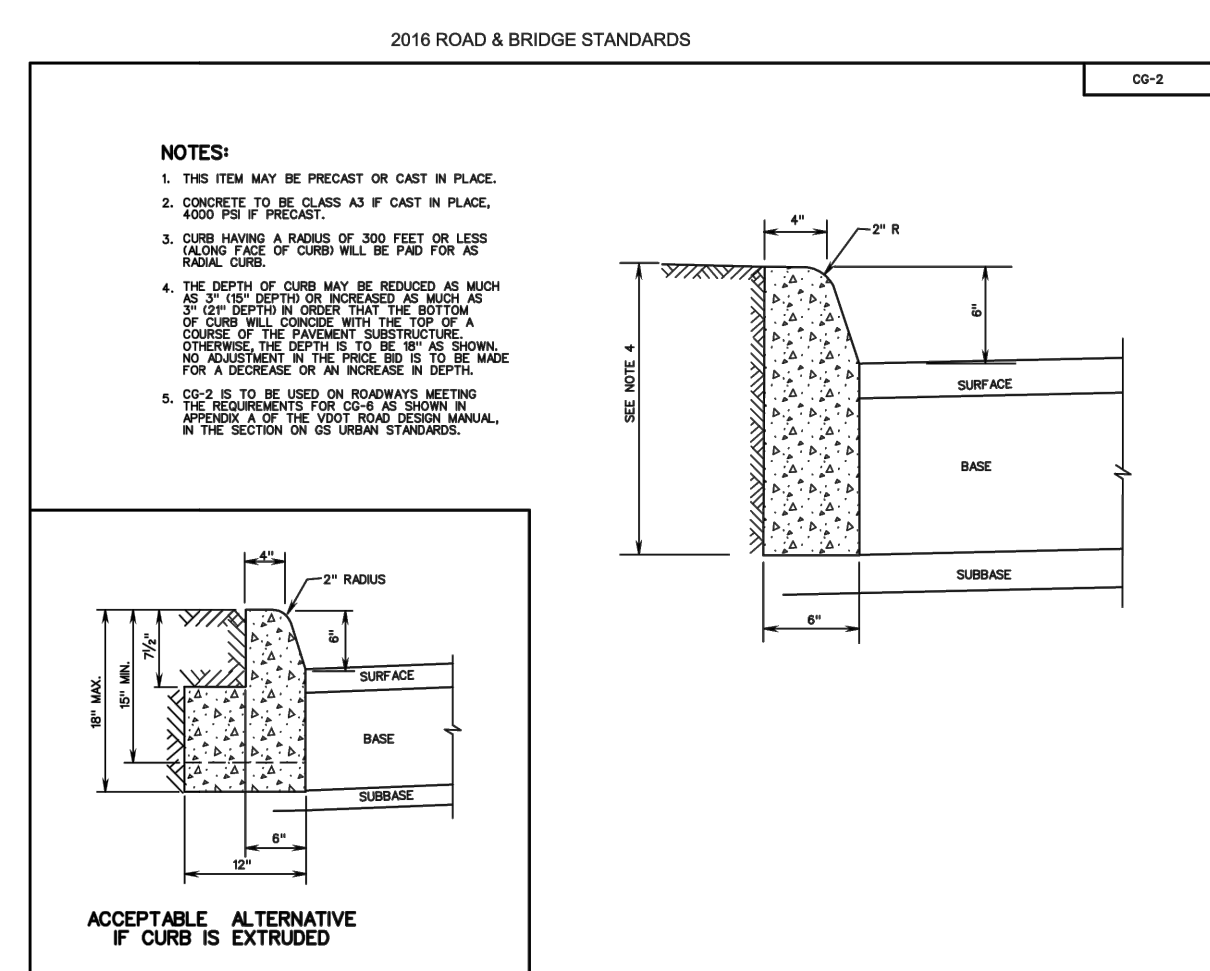
### CONCRETE SIDEWALK

Scale: N.T.S.

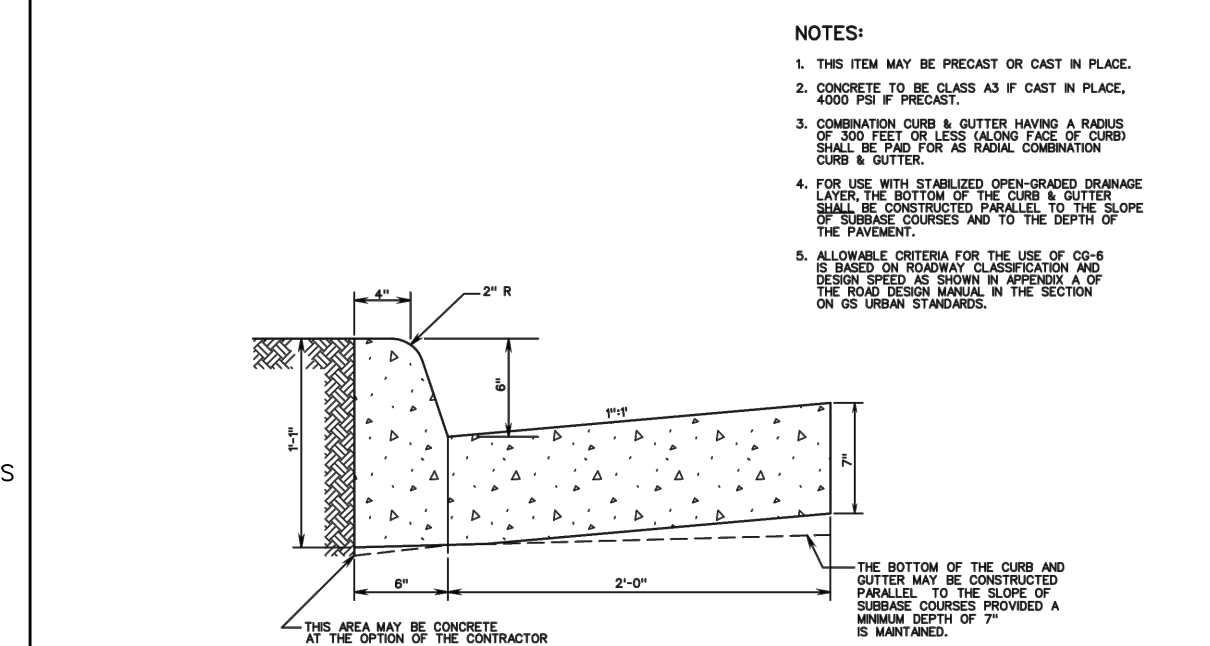
TYPE	LOCATION
'A'	100' MAX. SPACING, P.C./P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.

LOCATION	"
PEDESTRIAN ONLY AREAS	4"
DRIVEWAYS AND OTHER TRAFFIC AREAS	6"

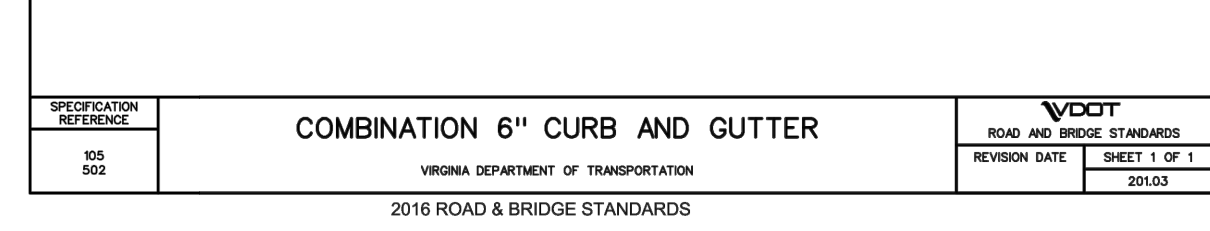
NOTE: ALL SIDEWALK STREET CROSSINGS MUST MEET THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) COMPLIANCE GUIDE. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.



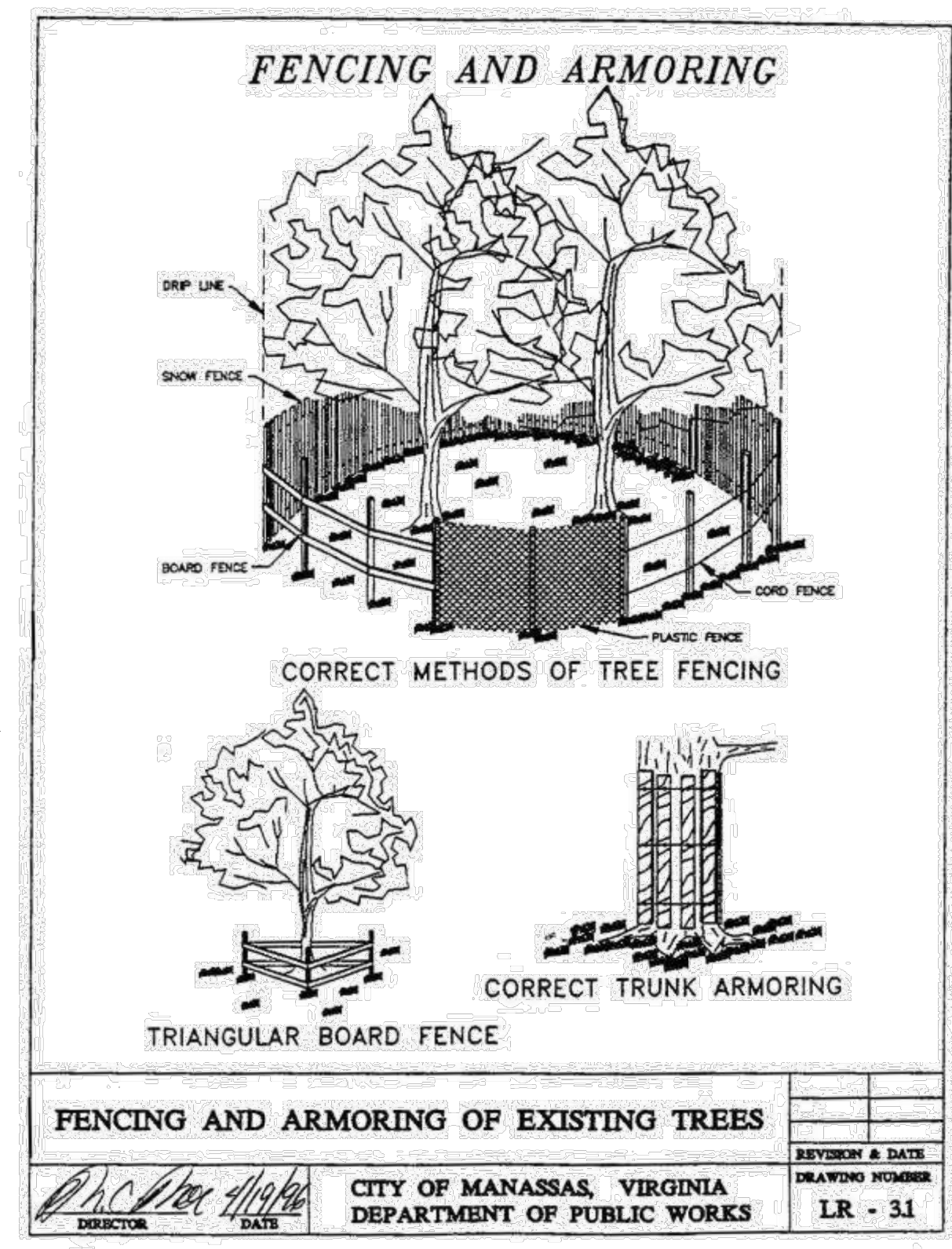
STANDARD 6" CURB  
2016 ROAD & BRIDGE STANDARDS



COMBINATION 6" CURB AND GUTTER  
2016 ROAD & BRIDGE STANDARDS

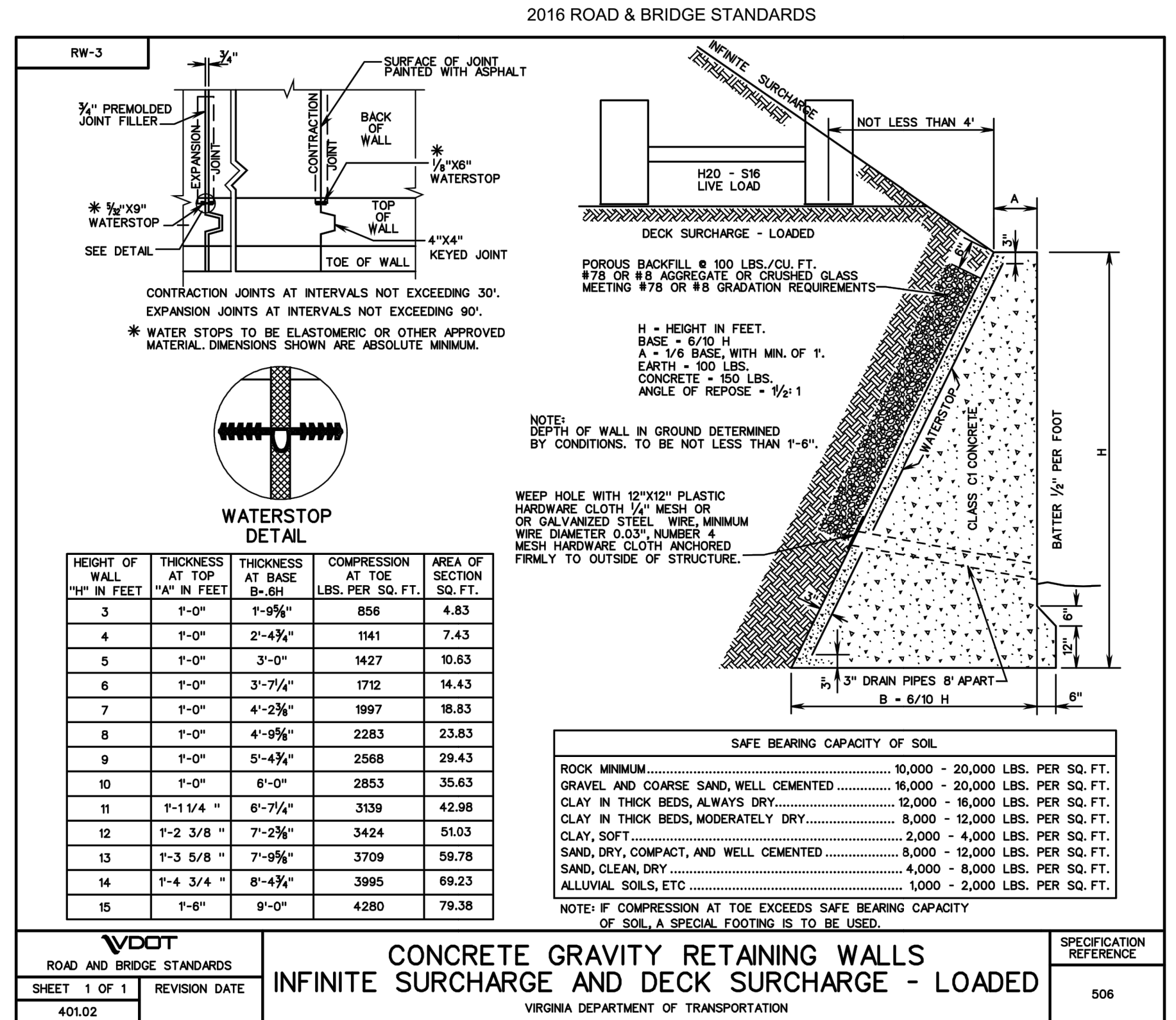


CURB DETAIL  
Scale: N.T.S.



### FENCING AND ARMORING OF EXISTING TREES

Scale: N.T.S.



### CONCRETE GRAVITY RETAINING WALL

Scale: N.T.S.

NOTE: DURING BIDDING, CONTRACTOR TO INCLUDE PRICING FOR A SEGMENTED BLOCK WALL AS AN ALTERNATIVE TO THE CONCRETE RETAINING WALL.

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No.	REVISIONS	DATE

**Kimley-Horn**

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PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA  
CHRIS HOWELL  
Lic. No. 0402058105  
03/19/2024  
PROFESSIONAL ENGINEER

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
110368121	03/29/2024	AS SHOWN	DJR	DJR	CMH

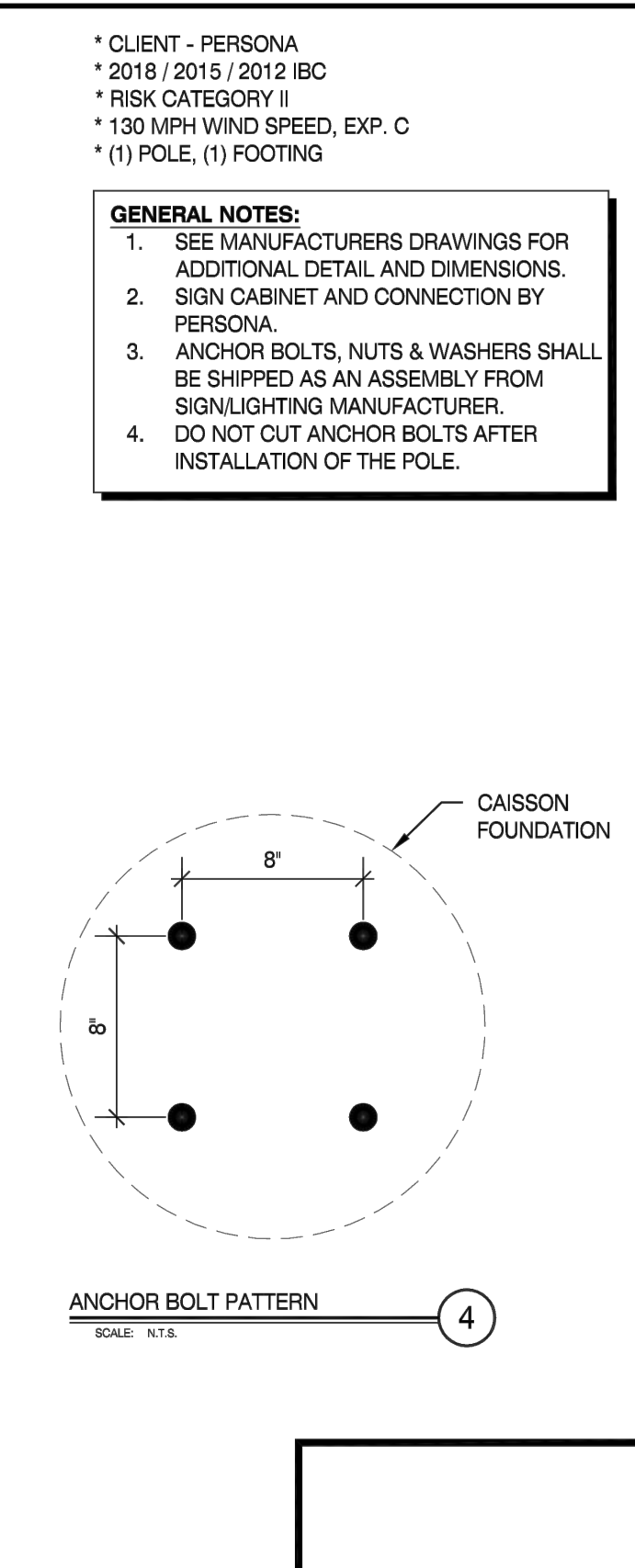
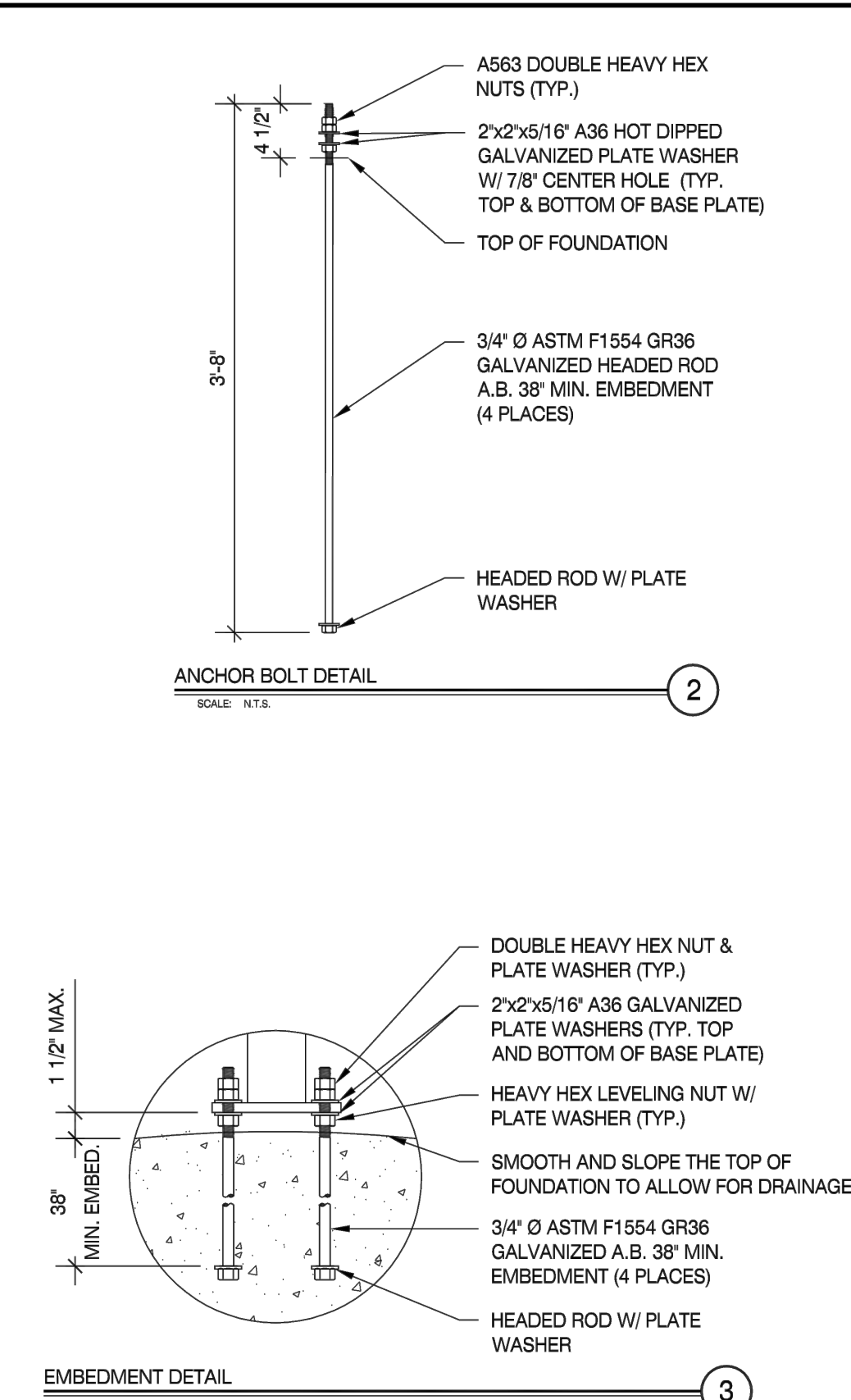
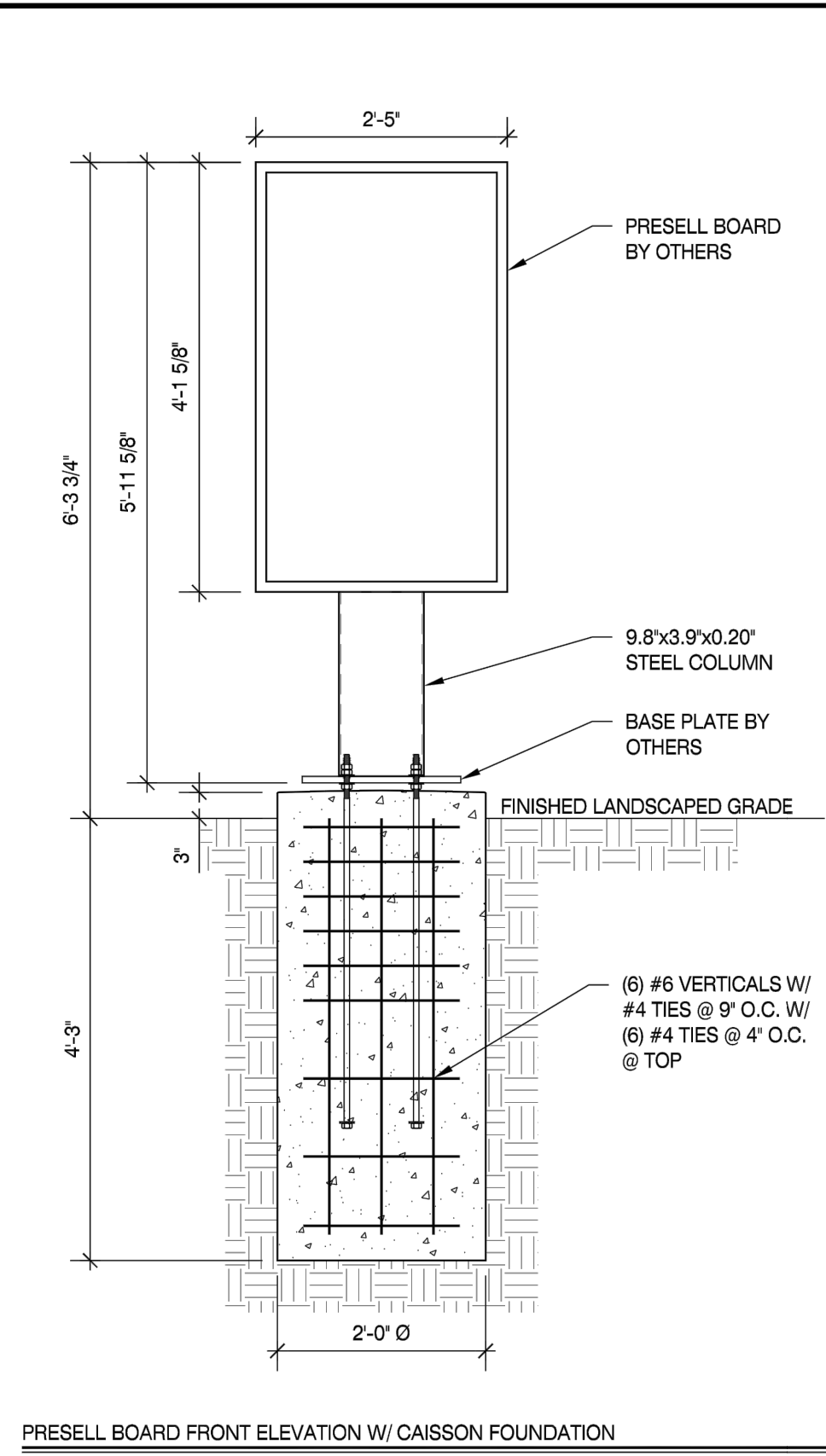
# CONSTRUCTION DETAILS

450002  
DUKE ST. - ALEXANDRIA  
PREPARED FOR  
MCDONALD'S CORPORATION  
CITY OF ALEXANDRIA

SHEET NUMBER  
**C-250**



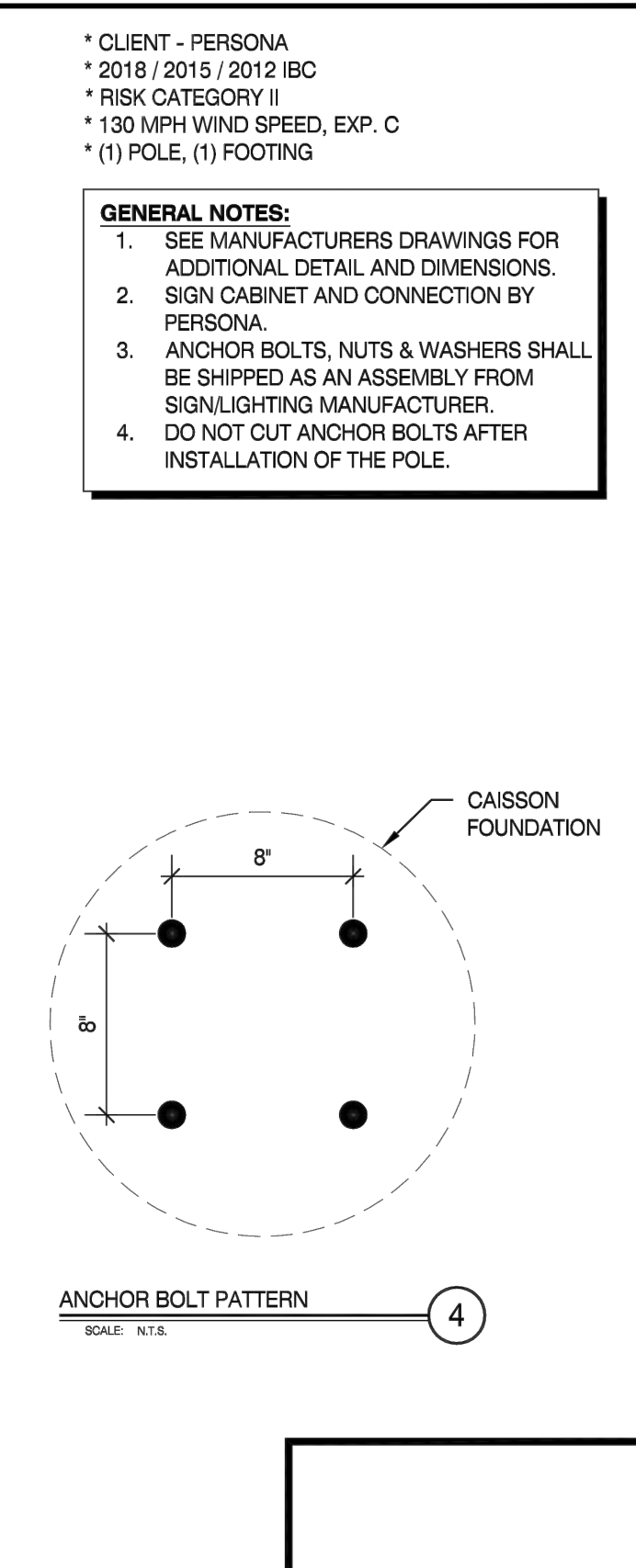
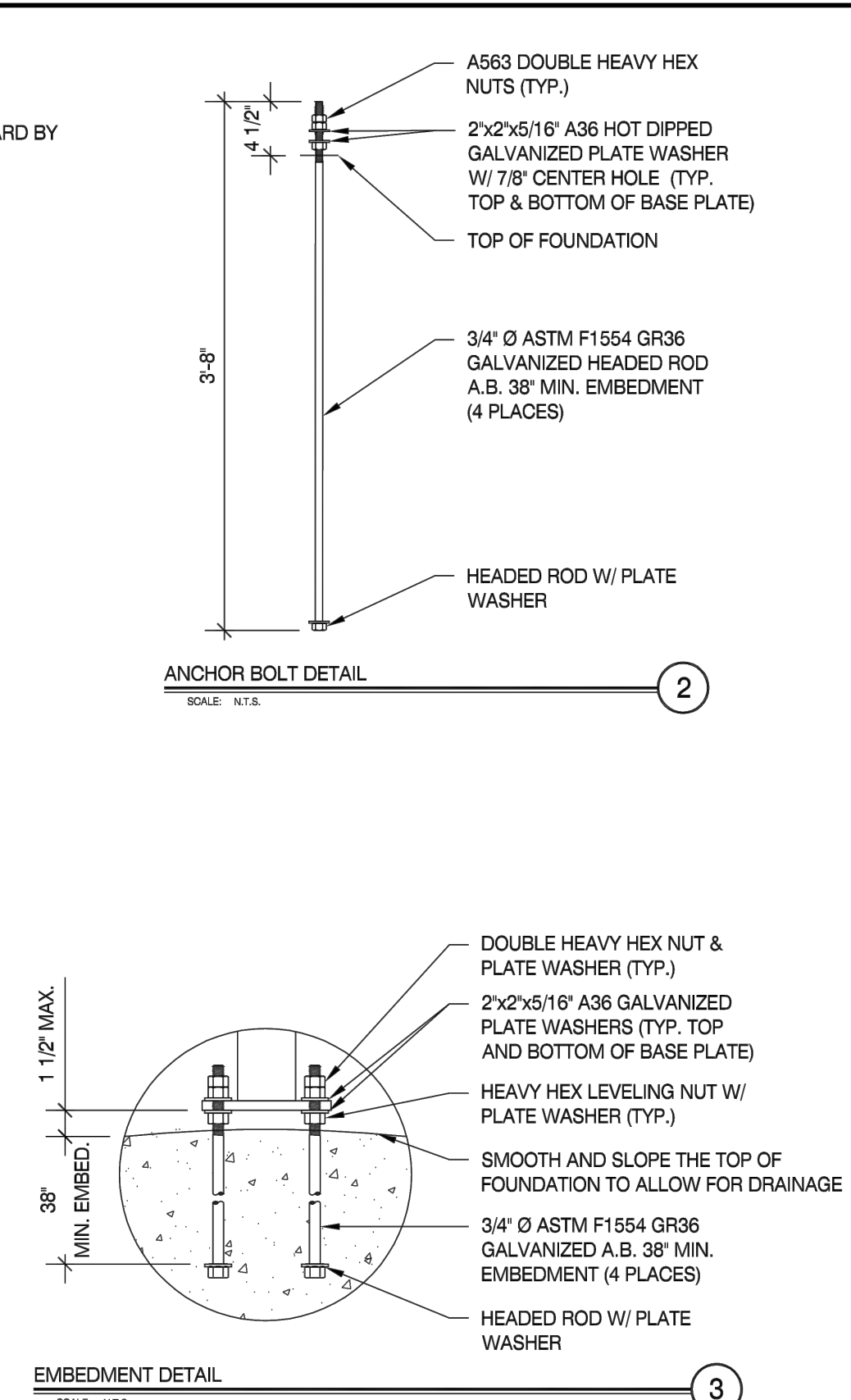
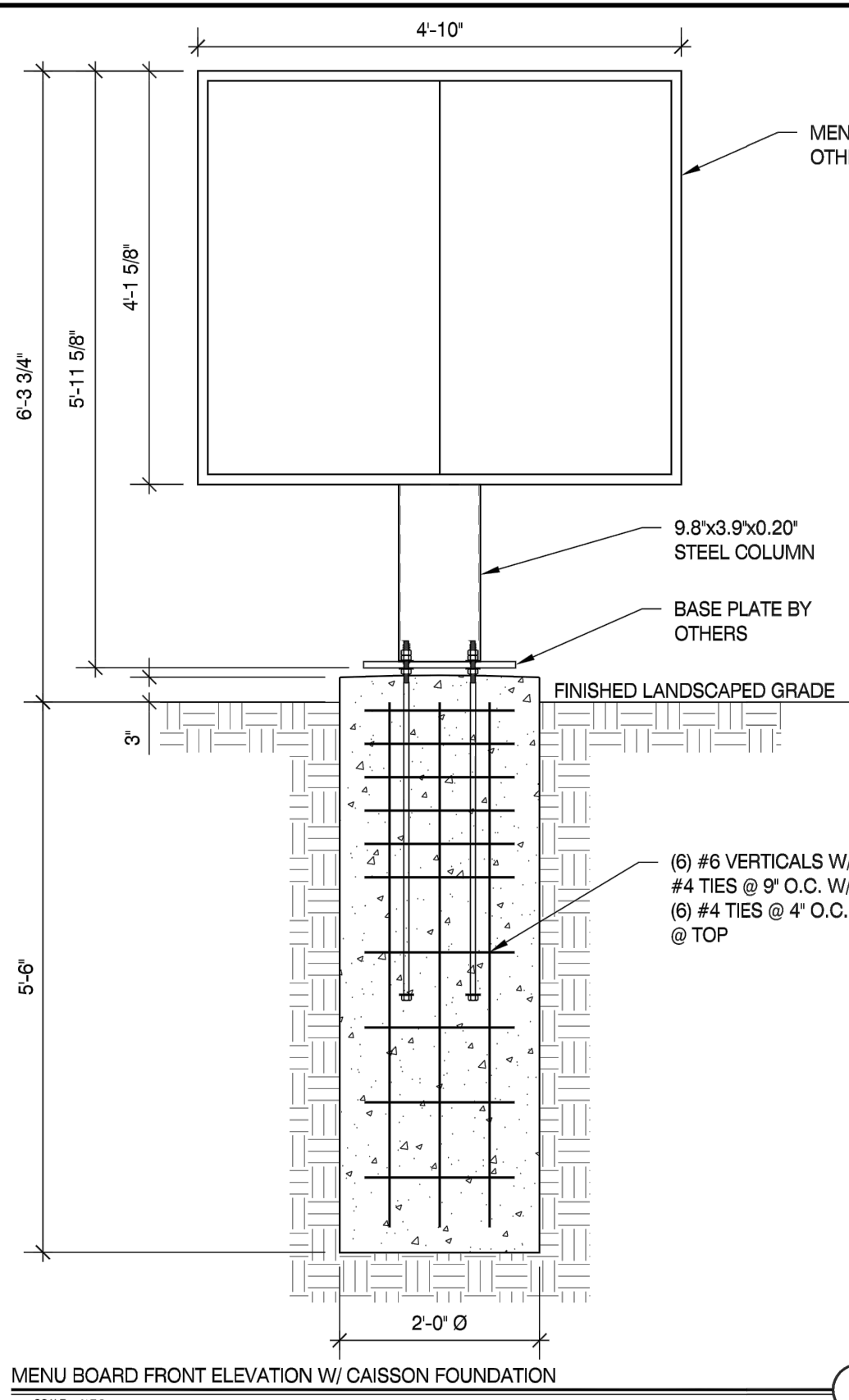
Plotted By: Bajani, Ete. Sheet Set: kha. Layout: SITE DETAILS. March 29, 2024. 10:14:14am. K:\INVA. CIVIL\108888.mcdonalds\110368121.mcdonalds - alexandria (3510.duke.sh.vacaid\blanthe@c-250.CONSTRUCTION.DETAILS.dwg)



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**  
 1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.  
 2. SIGN CABINET AND CONNECTION BY PERSONA.  
 3. ANCHOR BOLTS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM SIGNLIGHTING MANUFACTURER.  
 4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

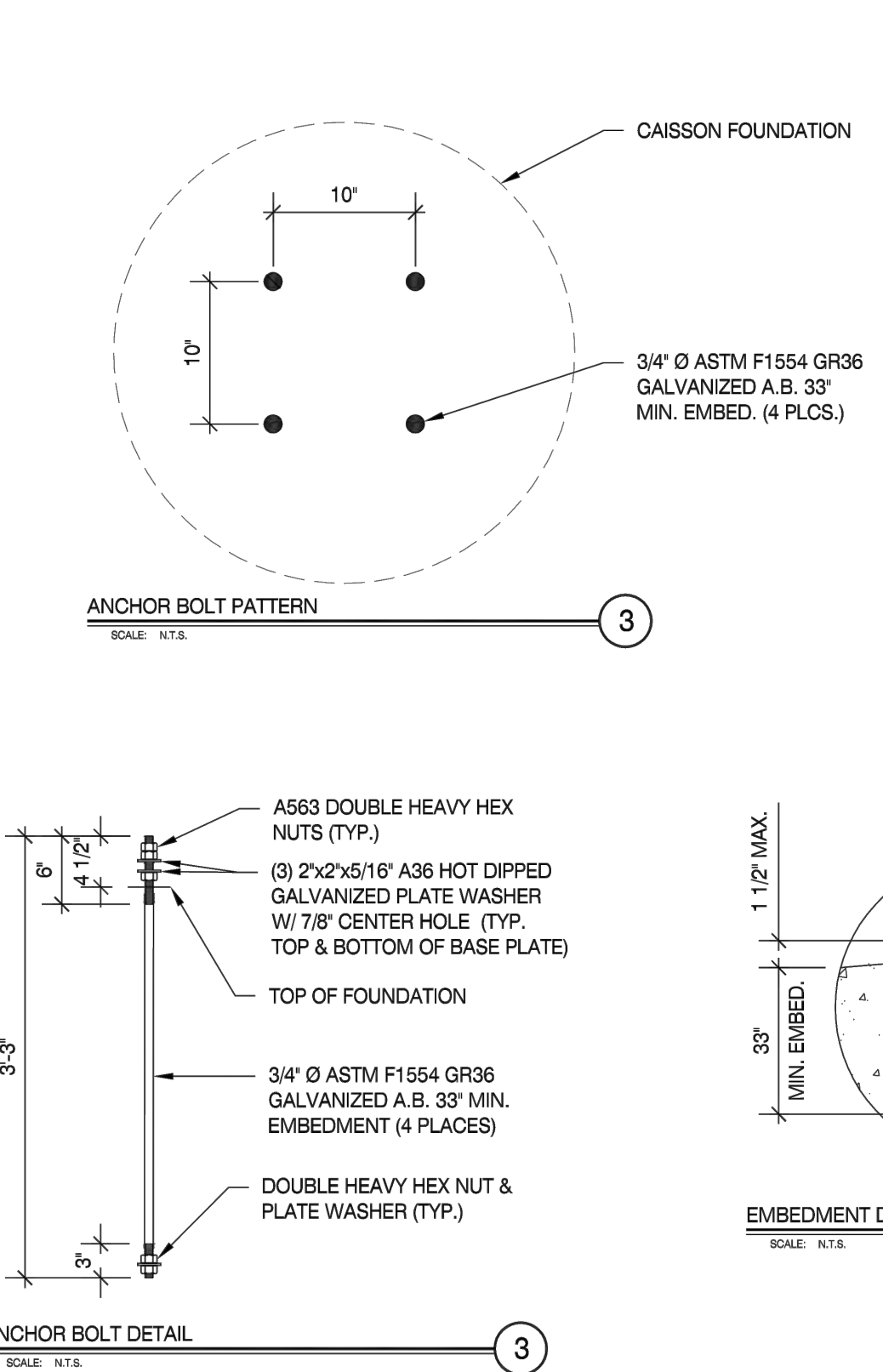
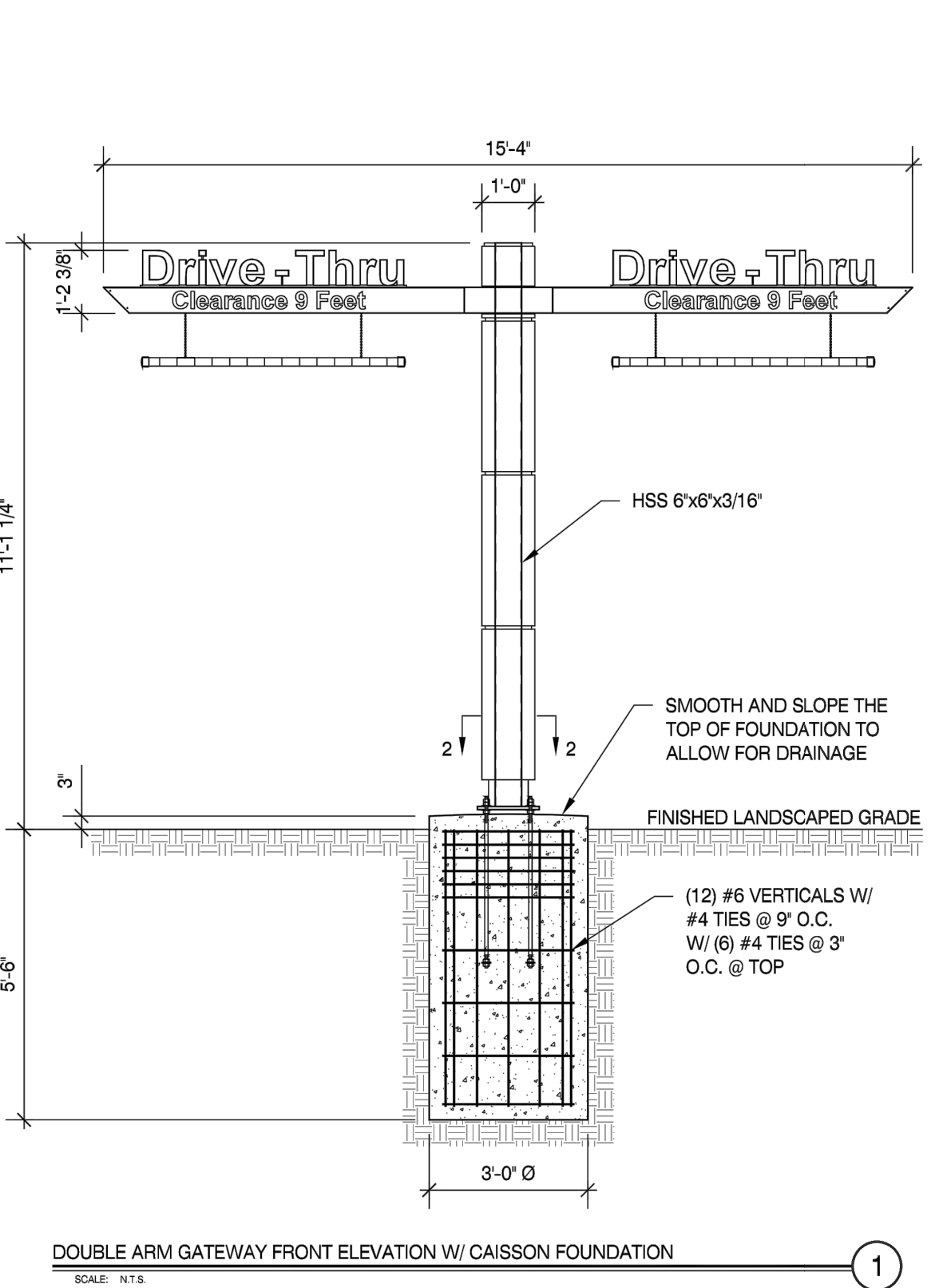
**PRE-SELL BOARDS**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**  
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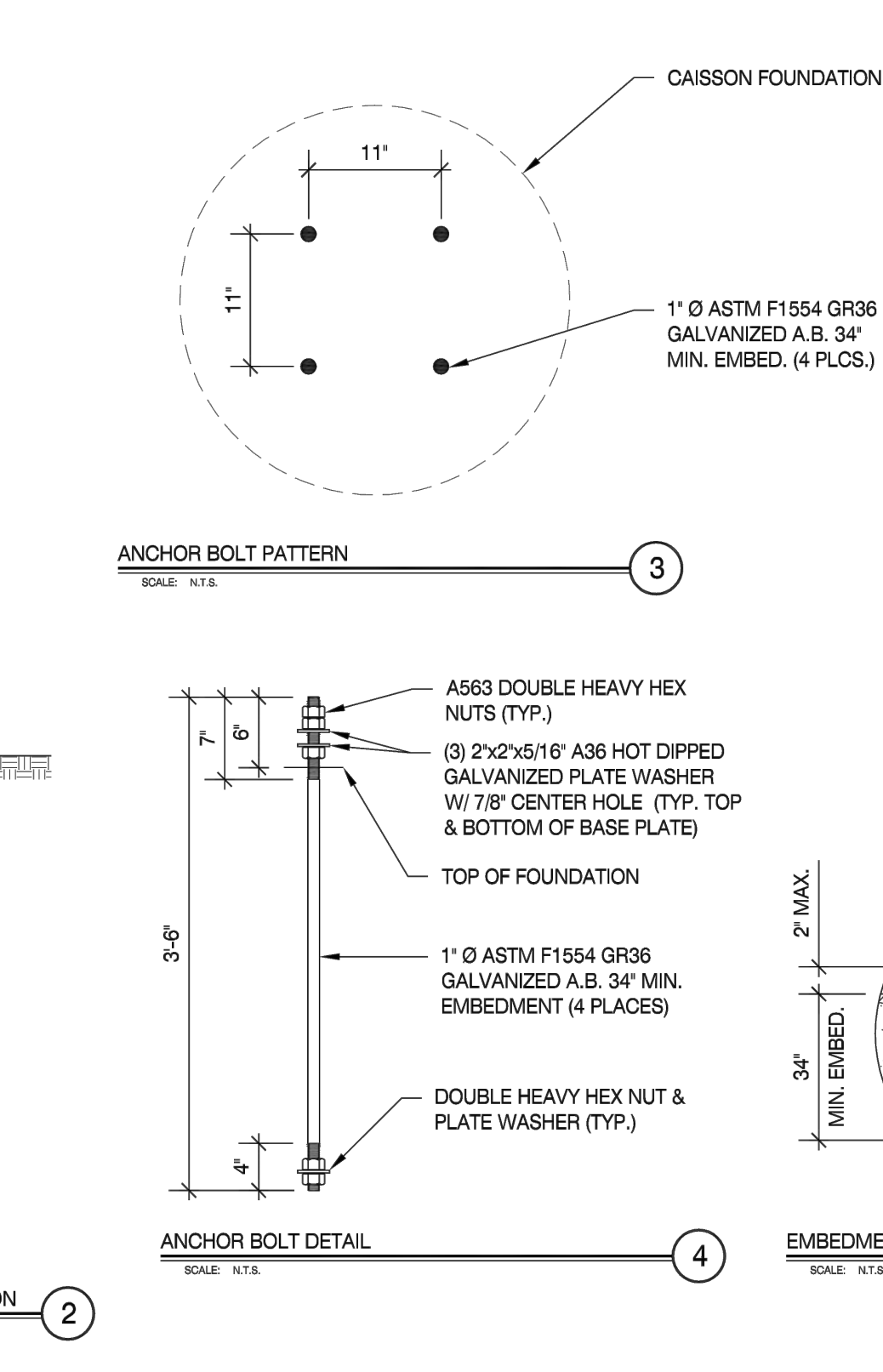
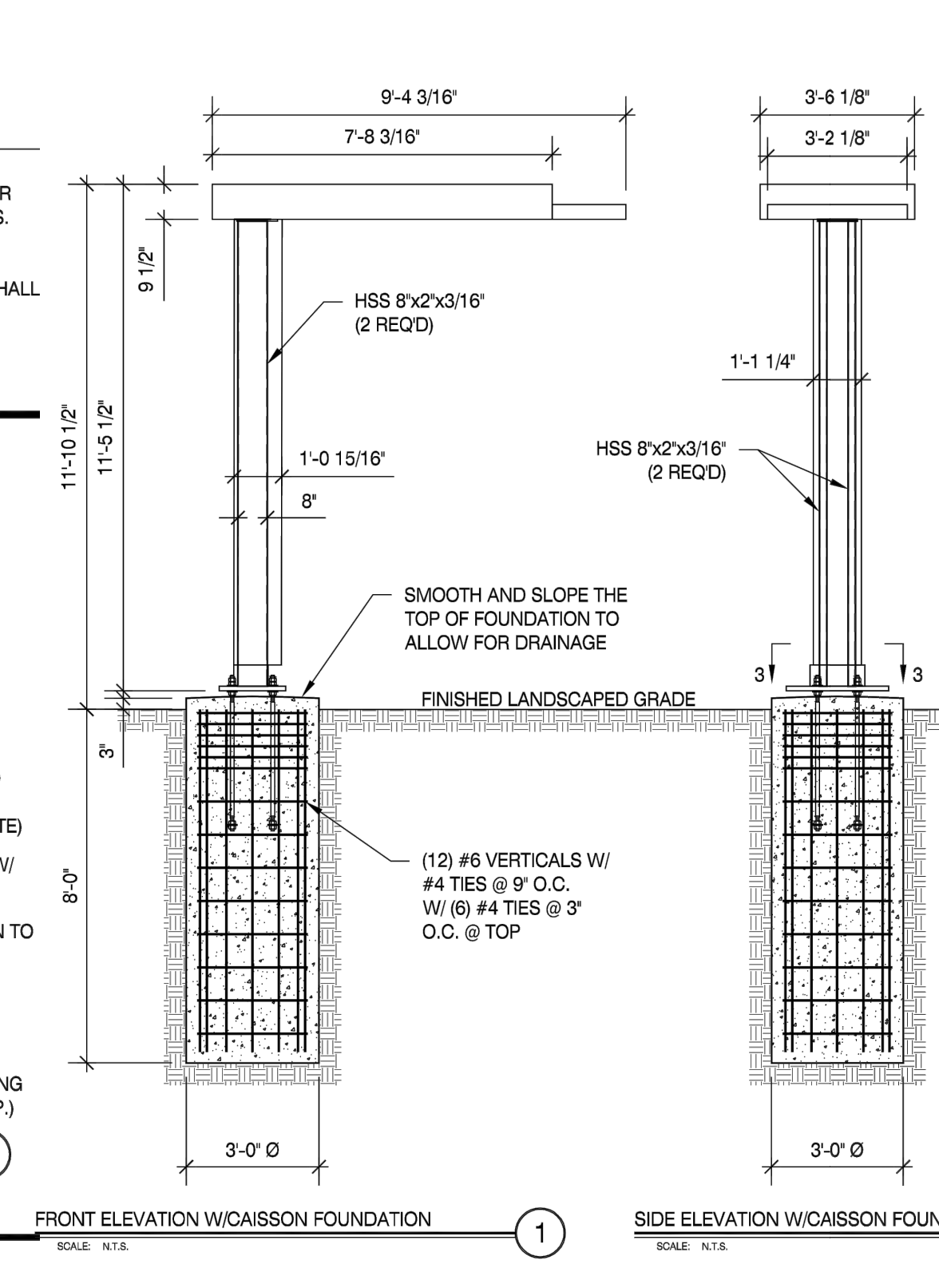
**MENU BOARDS**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**  
 1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.  
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 4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

**DOUBLE ARM GATEWAY**  
Scale: N.T.S.



\* CLIENT - PERSONA  
 \* 2018 / 2015 / 2012 IBC  
 \* RISK CATEGORY II  
 \* 130 MPH WIND SPEED, EXP. C  
 \* (2) POLES, (1) FOOTING

**GENERAL NOTES:**  
 1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.  
 2. SIGN CABINET AND CONNECTION BY PERSONA.  
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 4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

**ORDER CANOPY**  
Scale: N.T.S.

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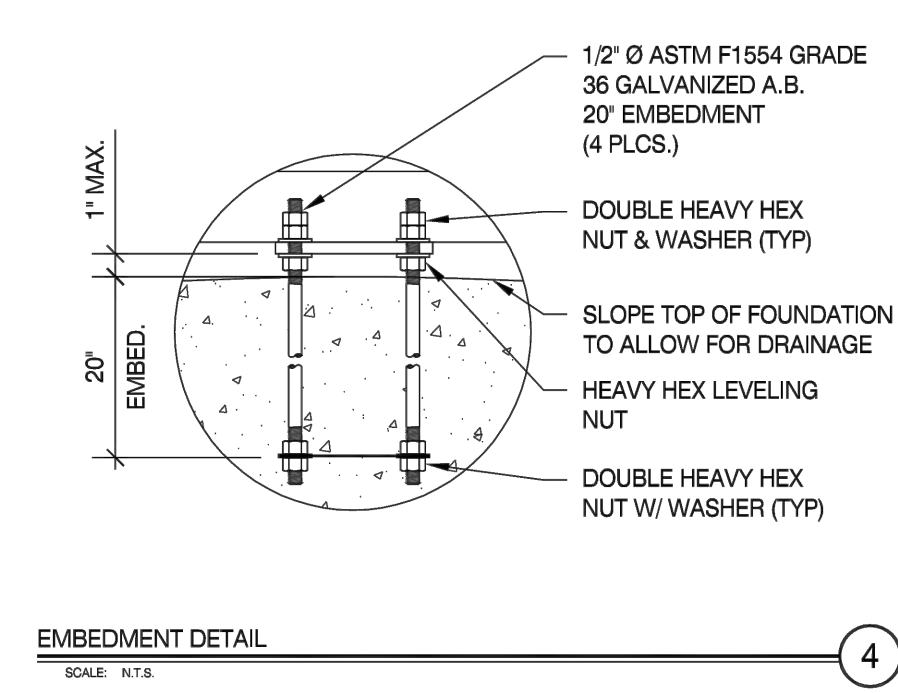
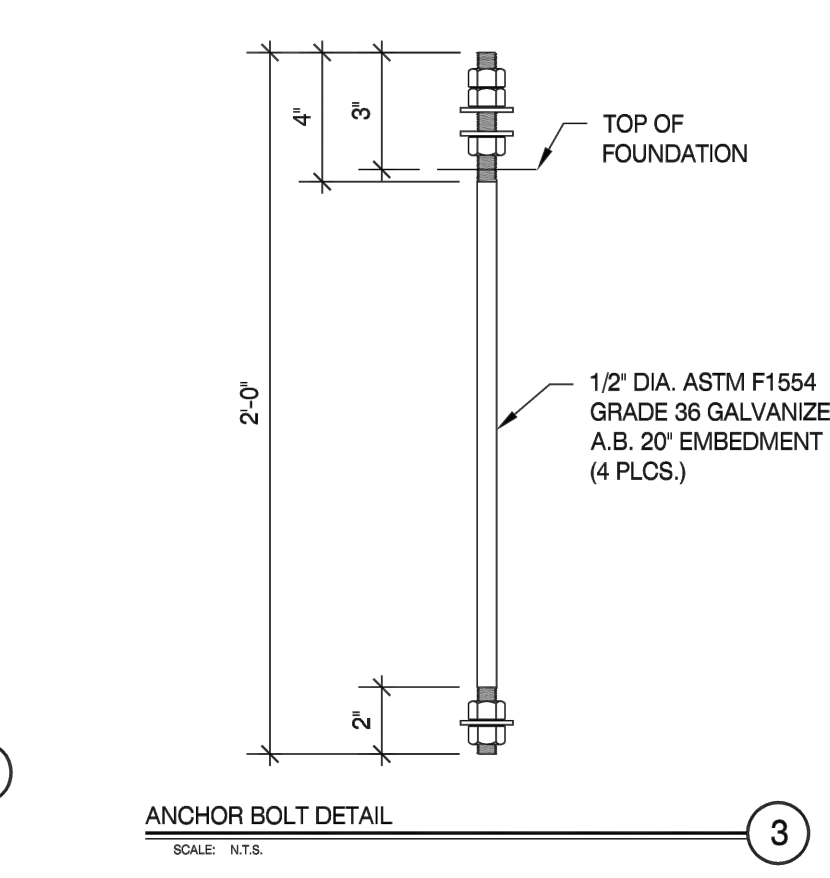
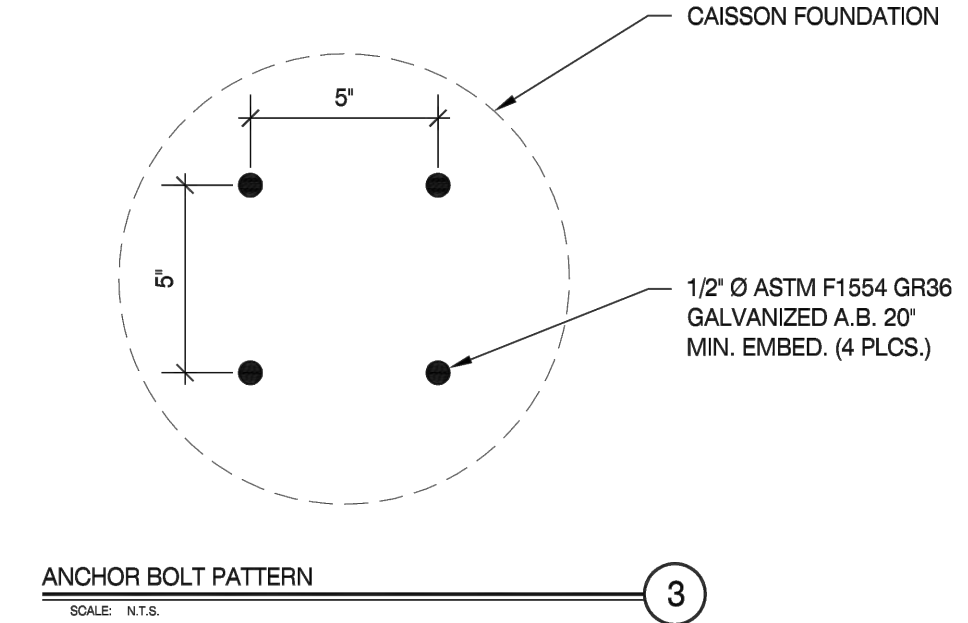
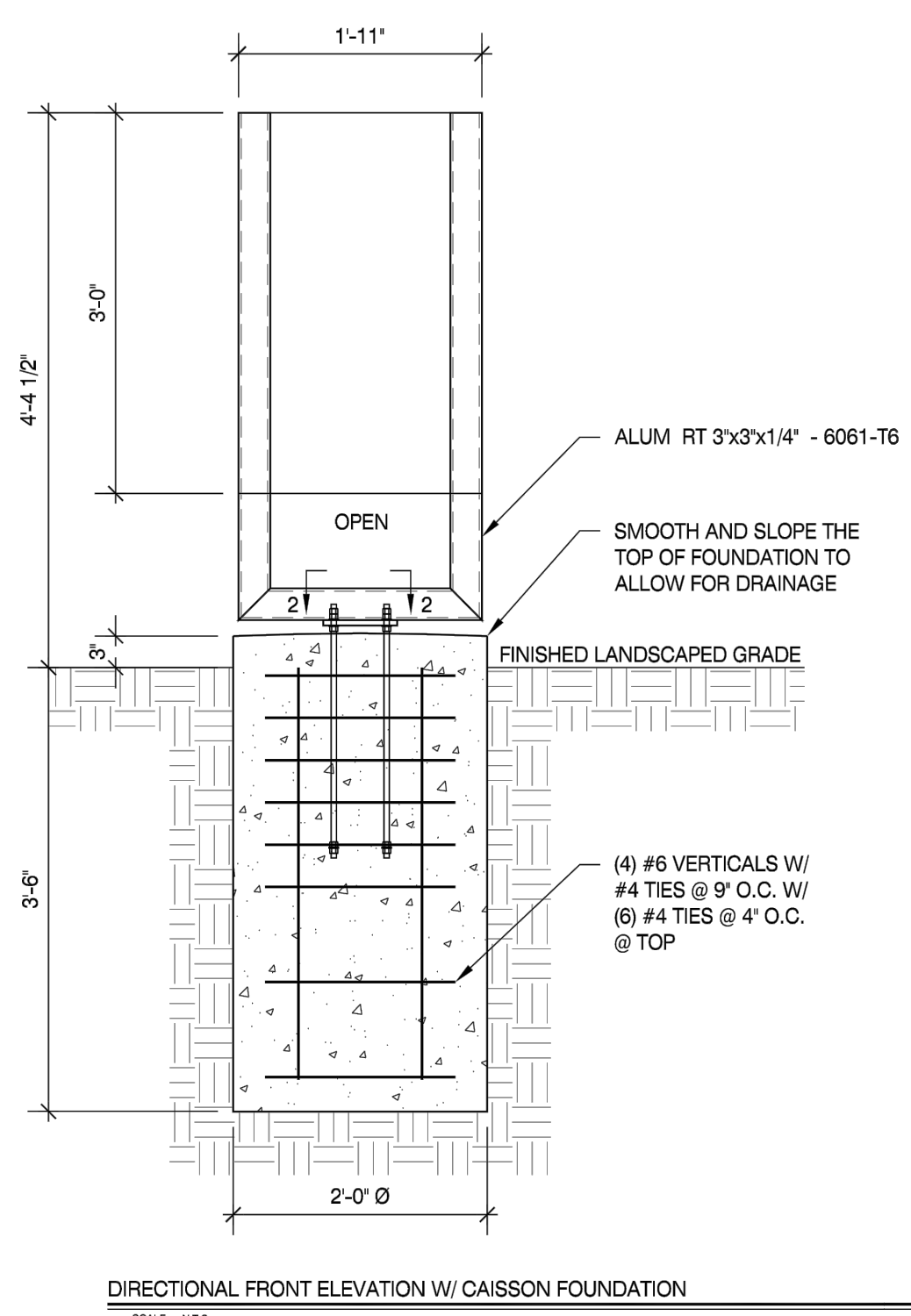
COMMONWEALTH OF VIRGINIA  
 CHRIS HOWELL  
 Lic. No. 0402058105  
 03/29/2024  
 PROFESSIONAL ENGINEER

KHA PROJECT	110368121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

**CONSTRUCTION DETAILS**

450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 VIRGINIA  
 CITY OF ALEXANDRIA

Plotted By: Bajani, Eite, Sheet Set: kha - Layout SITE DETAILS (2), March 29, 2024, 10:14:22am, K:\INVA - CIVIL\103888 mcdonalds\103888\21 mcdonalds - alexandria (3510 duke st)\VEICAD\details\C-250 CONSTRUCTION DETAILS.dwg  
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- \* CLIENT - PERSONA
- \* 2018 / 2015 / 2012 IBC
- \* RISK CATEGORY II
- \* 130 MPH WIND SPEED, EXP. C
- \* (1) POLE, (1) FOOTING

- GENERAL NOTES:**
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  2. SIGN CABINET AND CONNECTION BY PERSONA.
  3. ANCHOR BOLTS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM SIGN/LIGHTING MANUFACTURER.
  4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

### DIRECTIONAL SIGNAGE

Scale: N.T.S.

**FREE STANDING SIGN SPECIFICATIONS:**

REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS. ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:

2018 / 2015 / 2012 IBC  
 AISC  
 AMERICAN WELDING SOCIETY  
 LOCAL BUILDING CODES & ORDINANCES  
 CONCRETE: 2500 PSI @ 28 DAYS  
 STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI)  
 STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.)  
 HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI)  
 HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)  
 ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)  
 CONNECTION BOLTS: ASTM A325  
 STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36  
 REINFORCING: GRADE 60 ASTM A615  
 PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.

THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.

WELDING ELECTRODES: E70XX  
 ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 1500 PSF  
 ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 100 PSF/FT OF DEPTH.  
 ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.

ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.  
 FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.

EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING. ADEQUATELY BRACE POLES) UNTIL CONCRETE HAS SET UP FOR 14 DAYS. THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.

ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.

THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER. DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

- \* CLIENT - PERSONA
- \* 2018 / 2015 / 2012 IBC
- \* RISK CATEGORY II
- \* 130 MPH WIND SPEED, EXP. C

- GENERAL NOTES:**
1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
  2. SIGN CABINET AND CONNECTION BY PERSONA.
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  4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

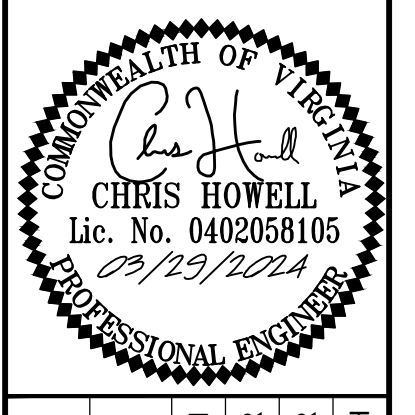
### FOUNDATION SPECIFICATIONS

Scale: N.T.S.

No.	REVISIONS	DATE	BY

**Kimley»Horn**

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 PHONE: 703-674-1300 FAX: 703-674-1350  
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KHA PROJECT	110968121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

## CONSTRUCTION DETAILS

450002  
 DUKE ST. - ALEXANDRIA  
 PREPARED FOR  
 MCDONALD'S CORPORATION  
 CITY OF ALEXANDRIA VIRGINIA

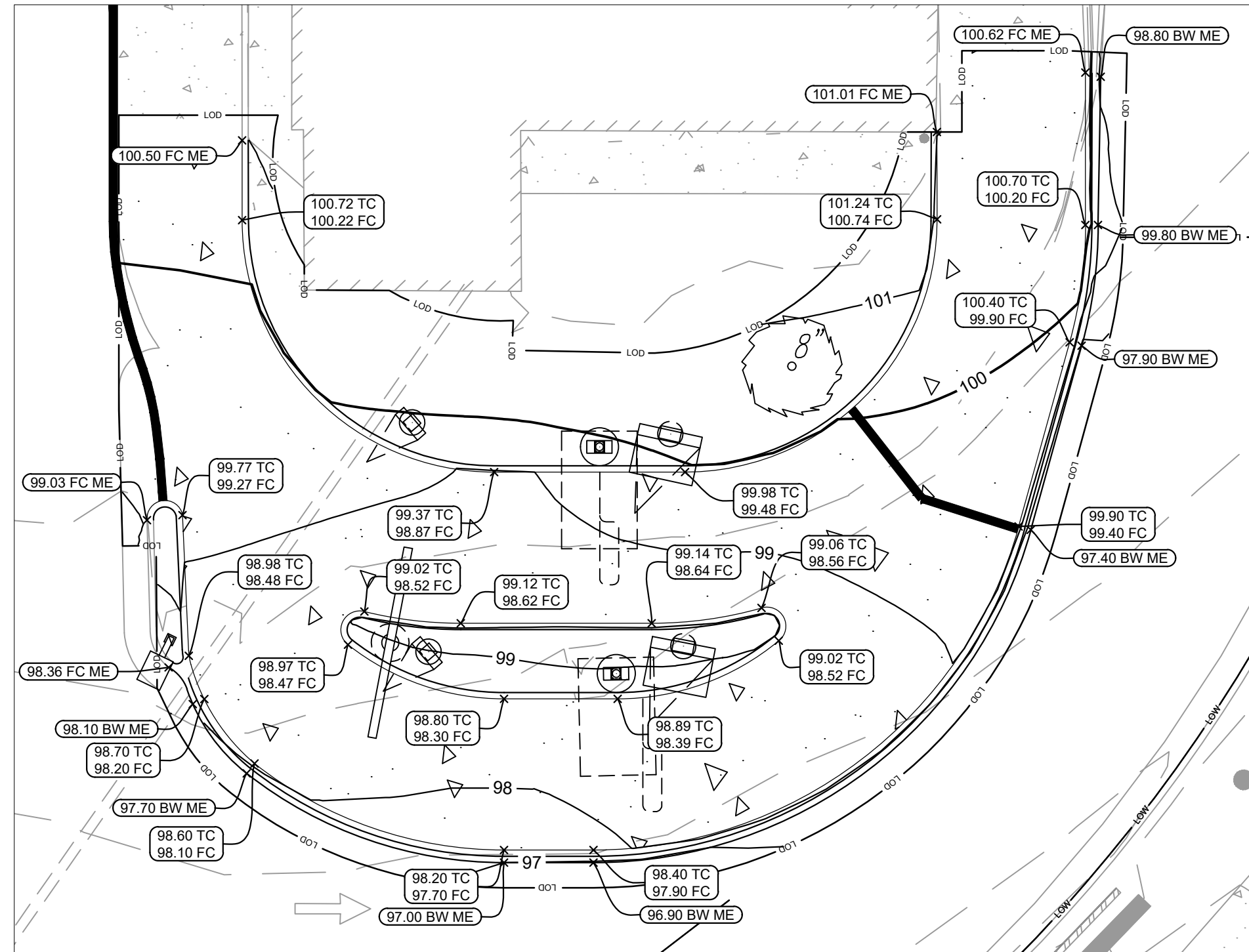
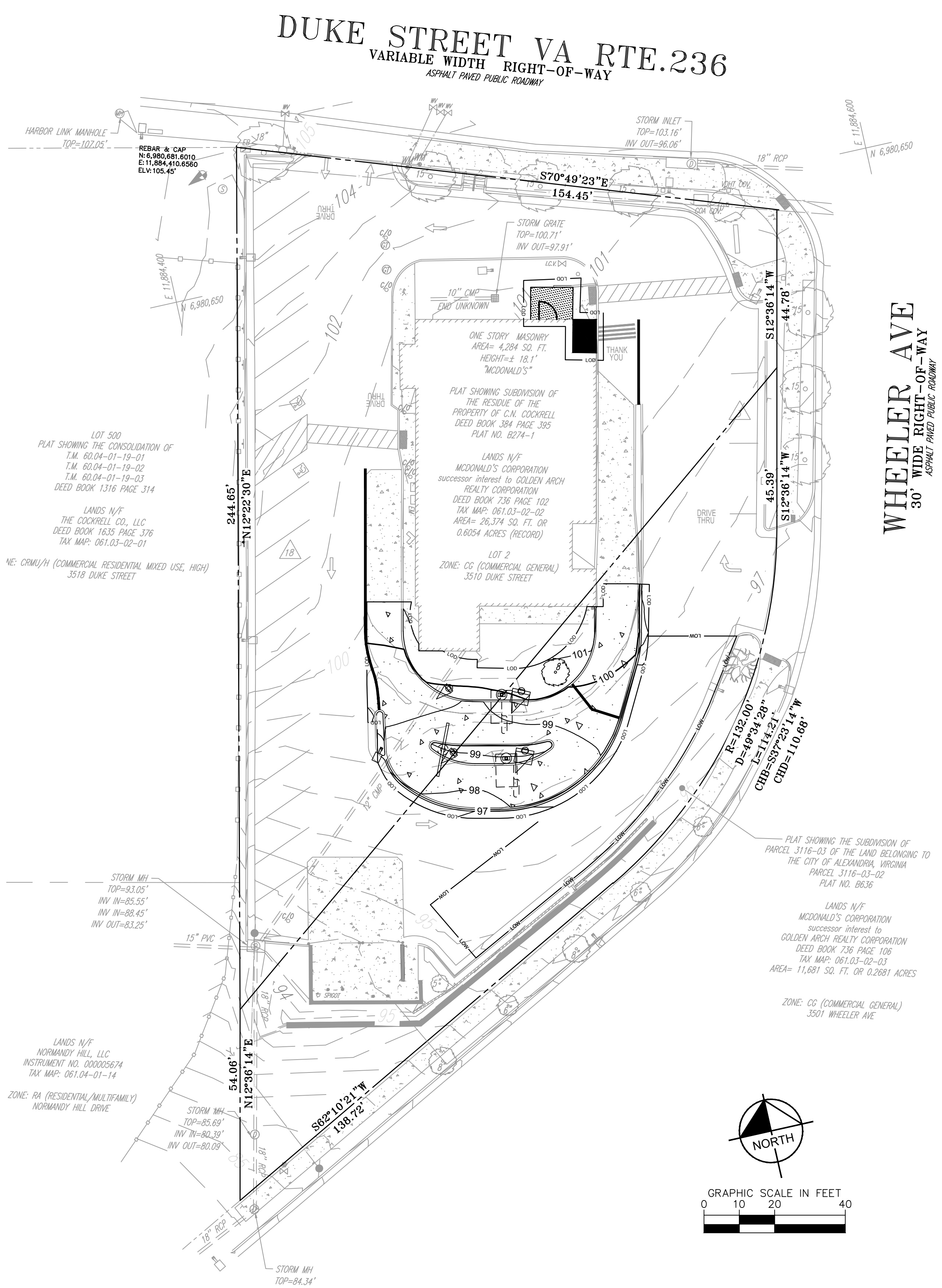
SHEET NUMBER  
**C-252**

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Plotted By: Bajani, Elite Sheet Set: kha. Layout: 24x36. March 07, 2024. 08:09:31am. K:\VA\_CIVIL\10388 mcdonalds\110368121 mcdonalds - alexandria (3510 duke st) va\CAD\plansheets\C-300 GRADING PLAN.dwg  
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**GRADING DETAIL**  
SCALE: 1" = 10'

**LEGEND**

	PROPERTY LINE
	LIMITS OF DISTURBANCE (±3,860 SF)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION
	PROPOSED RIDGE

**SPOT ELEVATION LEGEND**

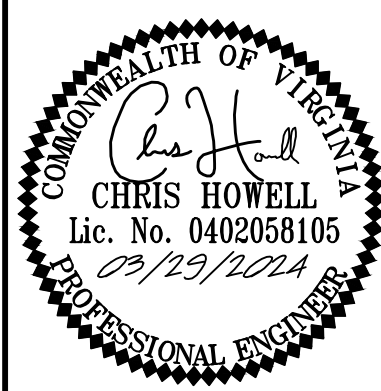
ME	MATCH EXISTING
LP	LOW POINT
FFE	FINISHED FLOOR ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
FC	FACE OF CURB
G	GUTTER

(UNLABELED SPOT ELEVATIONS ARE ASSUMED TO BE AT THE FLOWLINE)

- NOTES**
- CONTRACTOR TO MATCH EXISTING GRADES AT LIMITS OF DISTURBANCE.
  - IN PAVED AREAS DESIGNATED AS "ADA ROUTES", CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL (RUNNING) SLOPE SHALL NOT EXCEED 5%. IN TURNING OR LANDING AREAS, SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM



KHA PROJECT	110368121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

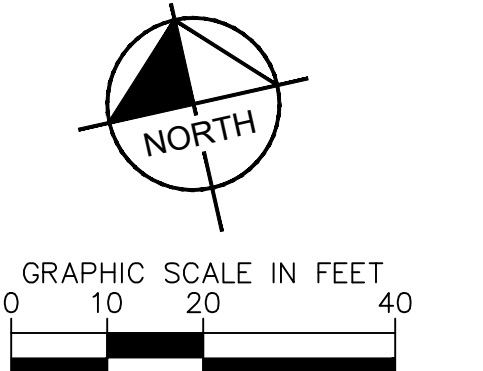
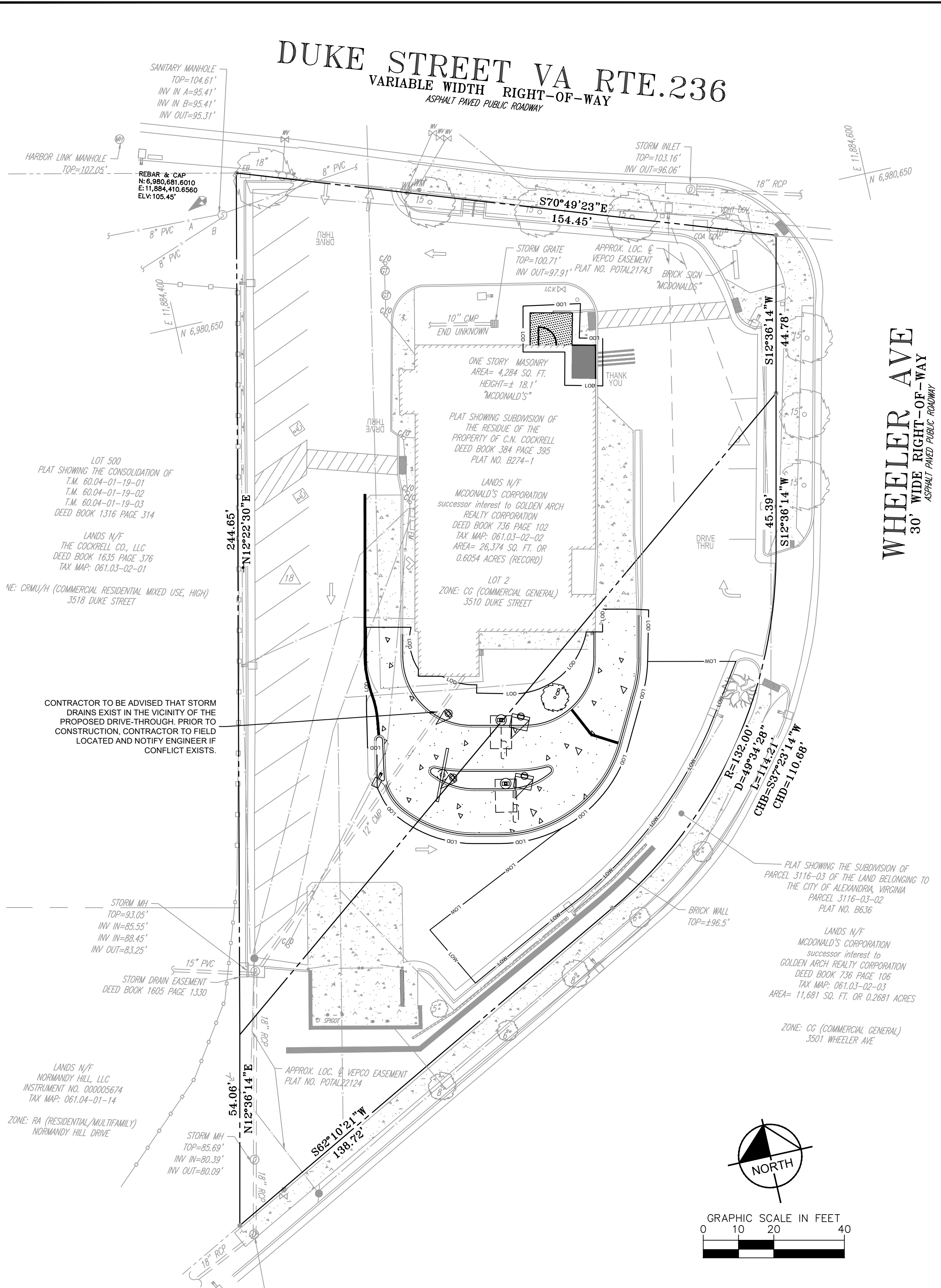
**GRADING PLAN**

450002  
**DUKE ST. - ALEXANDRIA**  
 PREPARED FOR  
**MCDONALD'S CORPORATION**  
 VIRGINIA  
 CITY OF ALEXANDRIA

SHEET NUMBER  
**C-300**

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 DIAL 811  
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Plotted By: Bajani, Eite, Sheet Set: kha Layout: 24x36 March 29, 2024 10:14:54am K:\NVA\_CIVIL\10388.mcdonalds\110388121.mcdonalds - alexandria (3510 dsk) utl\CAD\plansheets\C-400 UTILITY PLAN.dwg  
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**UTILITY LEGEND**

T	UNDERGROUND TELEPHONE LINE
W	UNDERGROUND WATER LINE
G	UNDERGROUND GAS LINE
E	UNDERGROUND ELECTRIC LINE
⊙	SANITARY SEWER MANHOLE
S	UNDERGROUND SANITARY SEWER PIPE
⊗	STORM MANHOLE
---	UNDERGROUND STORM PIPE

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR AS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL 811 TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING ANY MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH A NOTIFICATION. HENRICO COUNTY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE.

No.	REVISIONS	DATE

**Kimley»Horn**

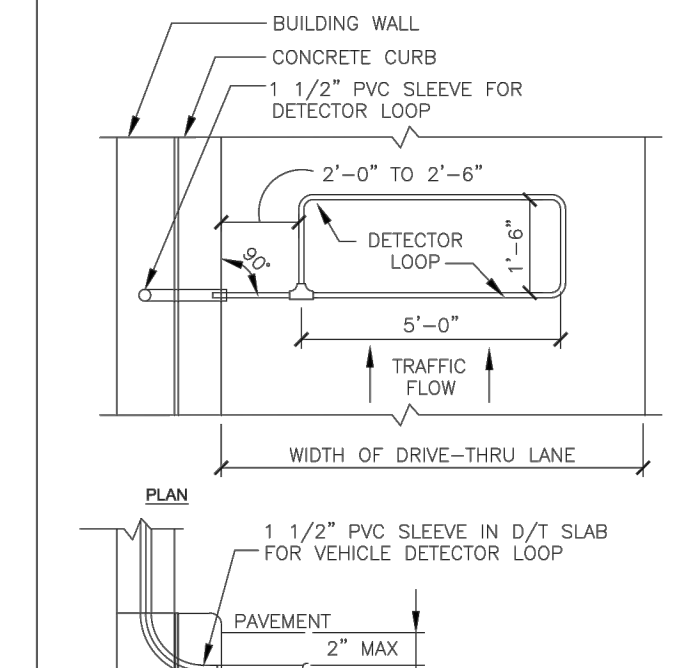
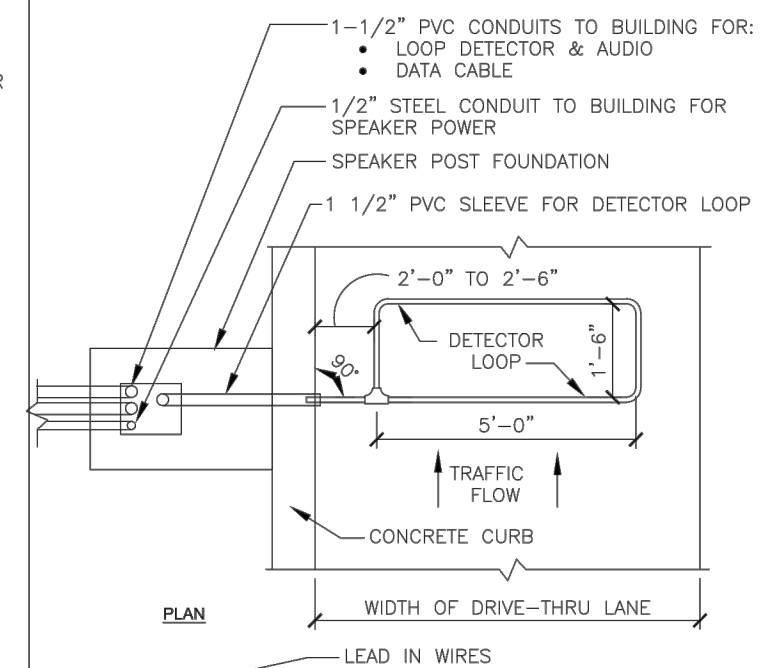
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 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

COMMONWEALTH OF VIRGINIA  
 CHRIS HOWELL  
 Lic. No. 0402058105  
 03/29/2024  
 PROFESSIONAL ENGINEER

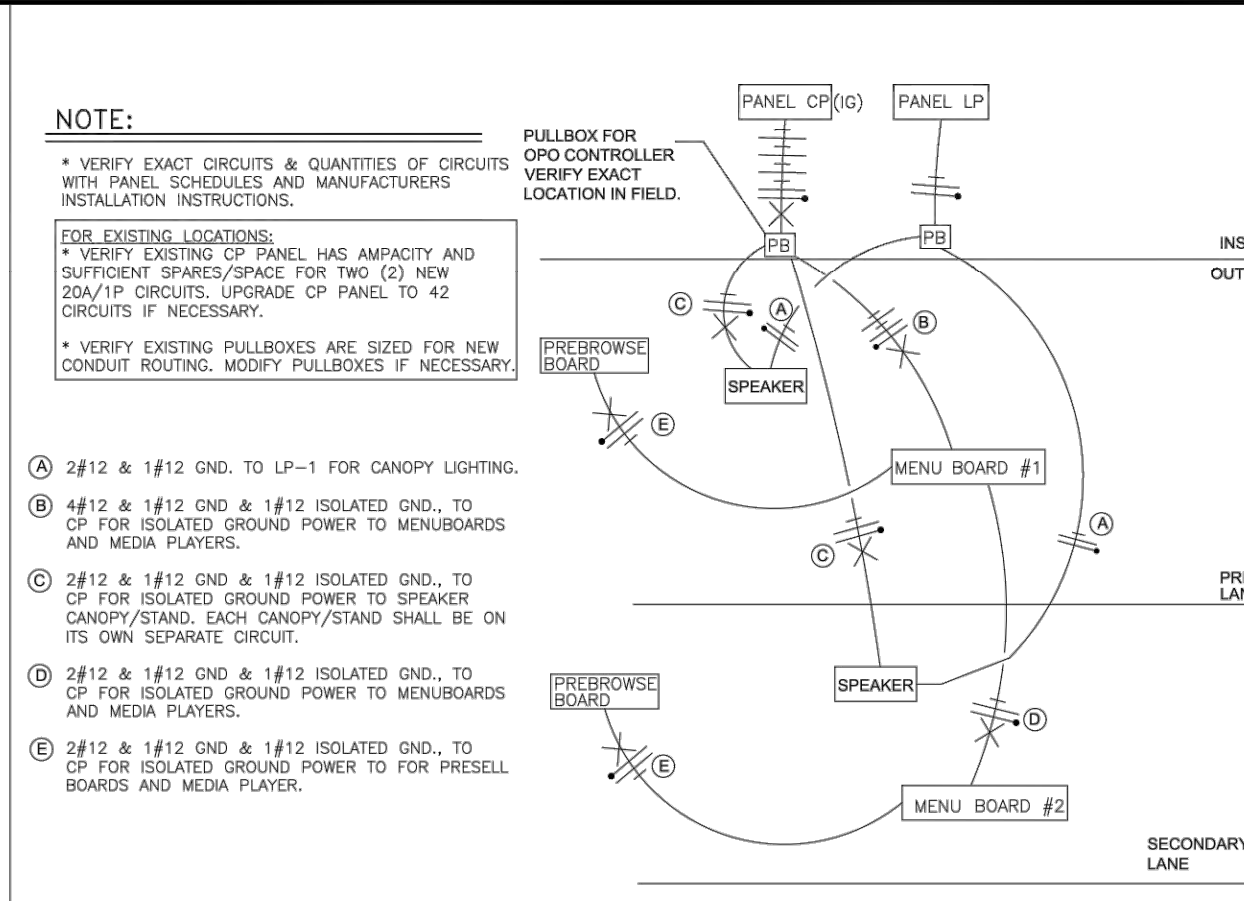
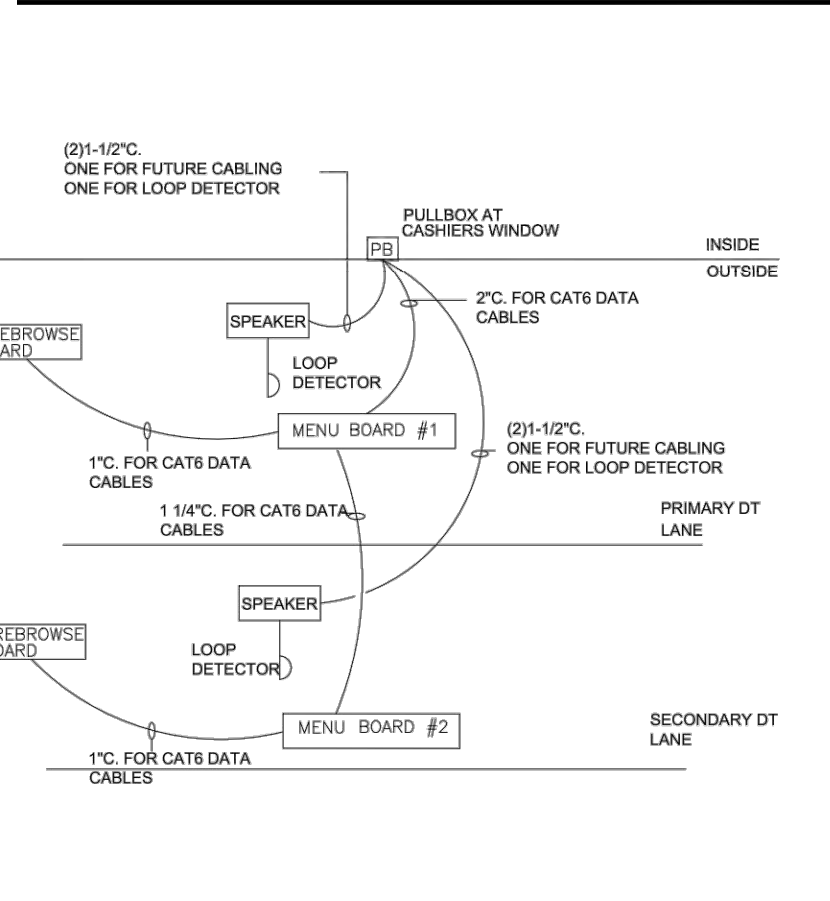
KHA PROJECT	110368121
DATE	03/29/2024
SCALE	AS SHOWN
DESIGNED BY	DJR
DRAWN BY	DJR
CHECKED BY	CMH

**UTILITY PLAN**

- NOTES**
- VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
  - CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
  - NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
  - DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.  
 SMA: 1-800-328-0033  
 HME: 1-800-848-4488
  - DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
  - DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PITGAILED AS DETAILED.



**2 DETECTOR LOOP DETAILS**  
 (DMB) NOT TO SCALE



**CALL 48 HOURS BEFORE YOU DIG**

**IT'S THE LAW! DIAL 811**

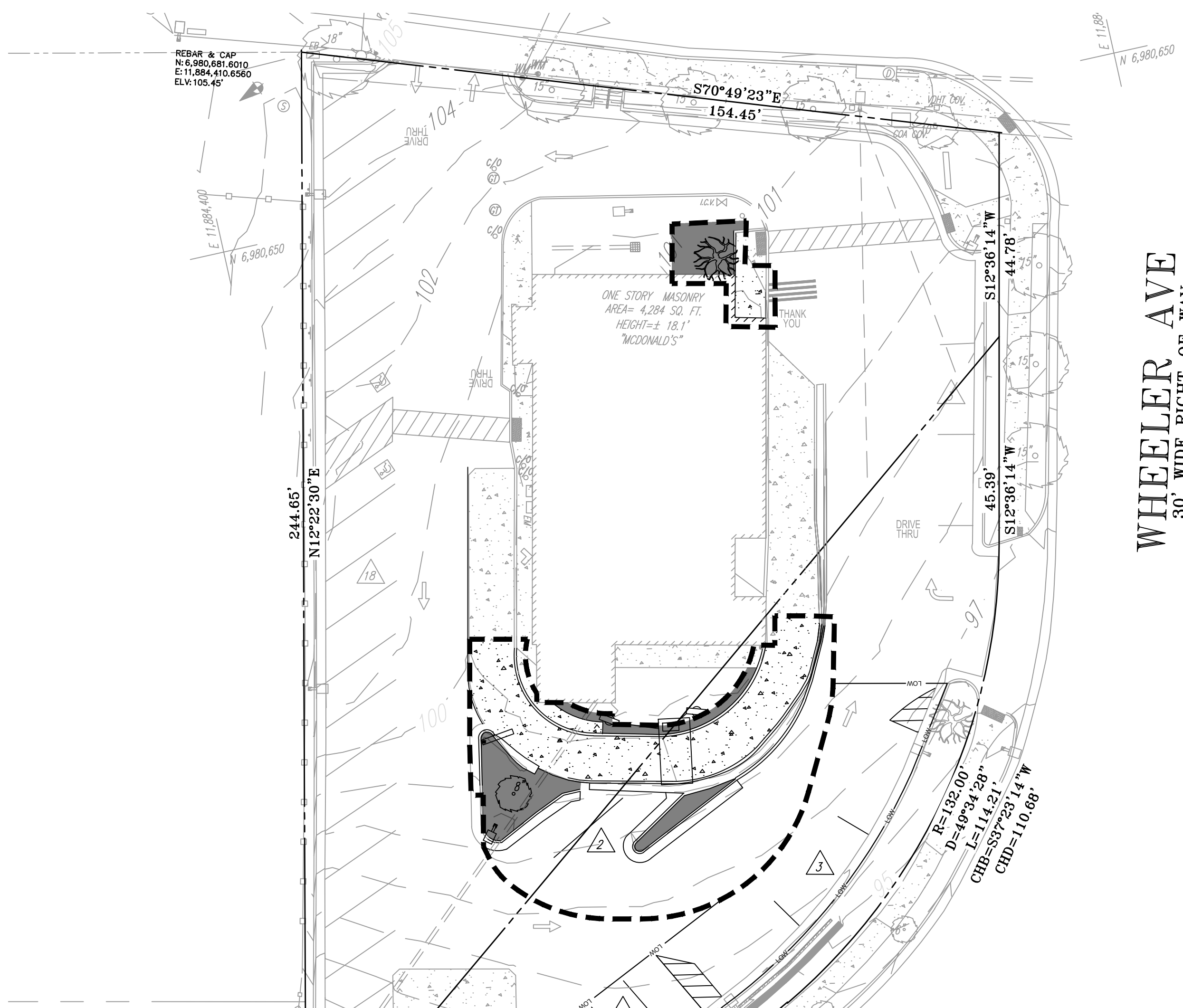
Know what's below. Call 811 before you dig.

450002  
**DUKE ST. - ALEXANDRIA**  
 PREPARED FOR  
**MCDONALD'S CORPORATION**  
 CITY OF ALEXANDRIA, VIRGINIA

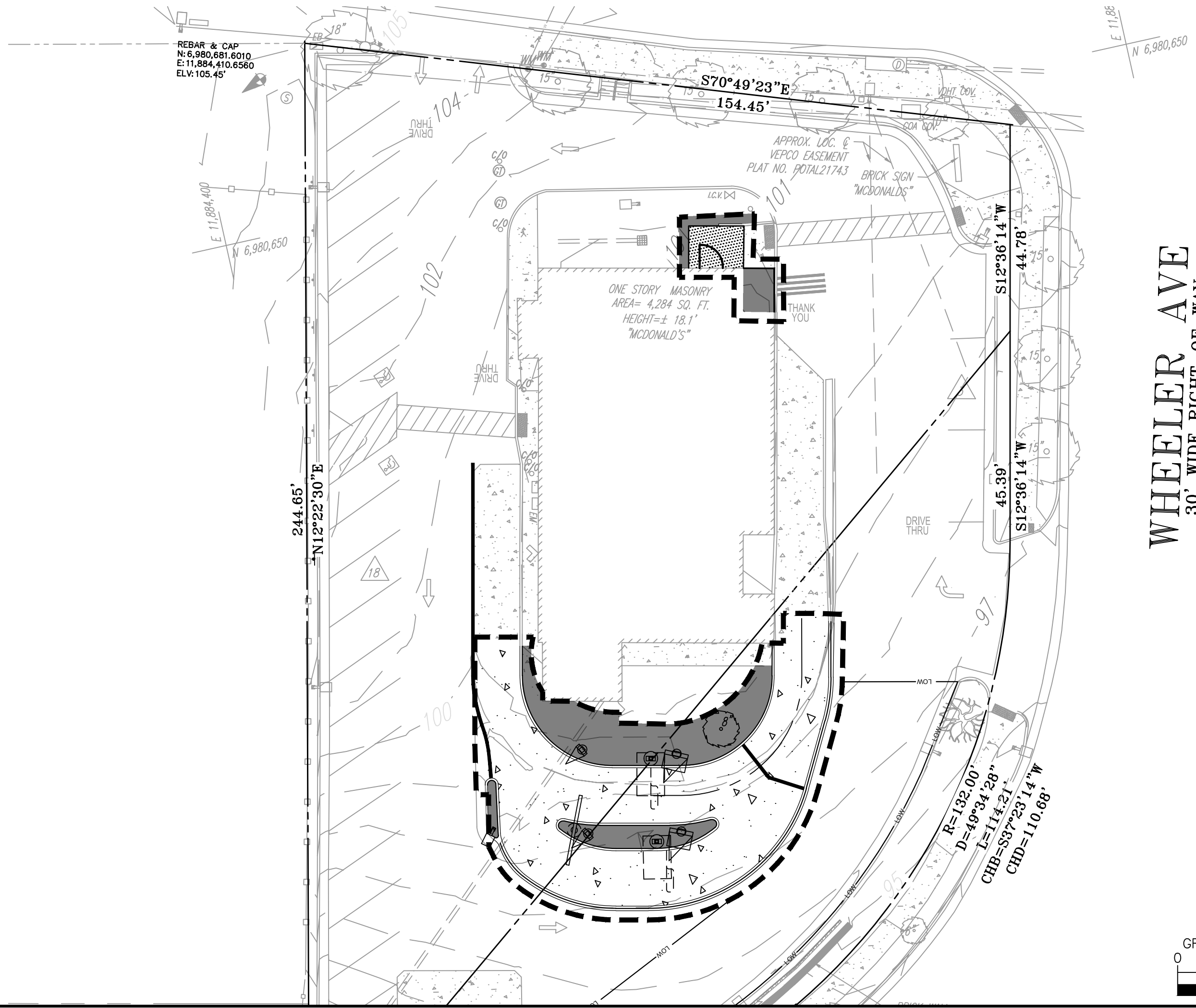
SHEET NUMBER  
**C-400**

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PRE-DEVELOPMENT LAND COVER MAP



POST-DEVELOPMENT LAND COVER MAP



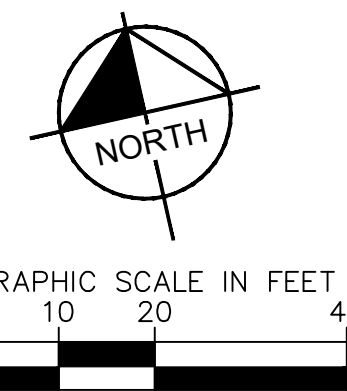
PERVIOUS AREA (SF)	PRE-DEVELOPMENT	POST-DEVELOPMENT
	573	777

**LEGEND**

- PROPERTY LINE
- LIMITS OF DISTURBANCE (±4,530 SF)
- DRAINAGE DIVIDE
- PERVIOUS AREA
- A. DRAINAGE AREA NAME
- B. ACREAGE
- C. CURVE NUMBER
- D. TIME OF CONCENTRATION

WHEELER AVE  
30' WIDE RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY

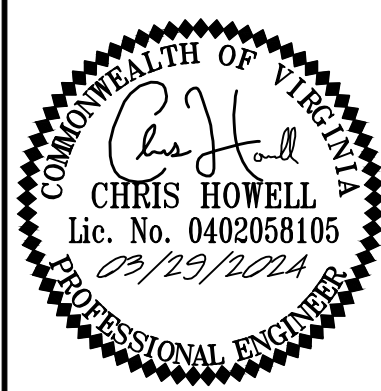
WHEELER AVE  
30' WIDE RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY



No.	REVISIONS	DATE	BY

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KHA PROJECT	110968121
DATE	03/29/2024
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CHECKED BY	CMH

**LAND AREA  
MAP**

450002  
DUKE ST. - ALEXANDRIA  
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CITY OF ALEXANDRIA VIRGINIA

SHEET NUMBER  
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