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AREA TABULATIONS

TOTAL SITE/LOT AREA = 3.45 AC, 150,064 SF.

ZONING TABULATIONS

EXISTING ZONE: CDD #21
 EXISTING USE: OFFICE BUILDING (57,600 GSF)
 PROPOSED USE: MULTIFAMILY HOUSING
 SITE AREA: 150,064 S.F. OR 3.45 AC
 MASTER PLAN: BEAUREGARD CORRIDOR SMALL AREA PLAN

GFA & FAR

TOTAL INTENSITY
 PROPOSED RESIDENTIAL GFA: +/- 334,307 S.F. (RESIDENTIAL AREA + AMENITY)
 PROPOSED RESIDENTIAL FAR: 2.23
 PROPOSED PARKING GFA: +/-127,735 S.F.
 TOTAL GFA AND FAR: +/- 462,042 S.F. / 3.08 FAR

NET RESIDENTIAL FLOOR AREA: 282,360

RESIDENTIAL UNITS: 343 (36 STUDIO, 180 ONE BEDROOM, 121 TWO BEDROOM, 6 THREE BEDROOM)

HEIGHT

MAXIMUM PERMITTED HEIGHT: 110'
 MAXIMUM PROPOSED HEIGHT: +/- 80'-0" (6 STORIES)
 AVERAGE FINISHED GRADE: 245.0'

PARKING

PROPOSE USE: MULTIFAMILY HOUSING (MARKET RATE)
 REQUIRED: 1 SPACE PER BEDROOM (479)
 PROVIDED: 103 SPACES
 COMPACT: 212
 STANDARD: 166
 HANDICAP: 12
 PROPOSED: TOTAL PARKING PROVIDED (390)
 *PARKING REDUCTION REQUIRED

BICYCLE PARKING

REQUIRED: 3 SPACES/ 10 RESIDENTIAL UNITS & 1 VISITOR SPACE/ 50 RESIDENTIAL UNITS= 103 SPACES
 PROPOSED: 103 SPACES CLASS 1 OR CLASS 2 BICYCLE PARKING

TREE CANOPY

38,000 S.F.± 20-YEAR TREE CANOPY PROVIDED THROUGH PROPOSED PLANTING. SEE SHEET L-01 LANDSCAPE & OPEN SPACE PLAN

1900 N. BEAUREGARD STREET

DEVELOPMENT CONCEPT PLAN STAGE II

ADAMS NEIGHBORHOOD

CDSUP #2022-00025

CITY OF ALEXANDRIA, VIRGINIA

JULY 08, 2022

DECEMBER 23, 2022

FEBRUARY 16, 2023



VICINITY MAP

1"=500'

PROJECT DESCRIPTION NARRATIVE

THIS APPLICATION PROPOSES THE REDEVELOPMENT OF THE SUBJECT PROPERTY TO REMOVE THE EXISTING 57,600 GSF OFFICE BUILDING AND CONSTRUCT A MULTIFAMILY RESIDENTIAL BUILDING WITH APPROXIMATELY 340-350 DWELLING UNITS AND SCREENING ABOVE-GROUND PARKING STRUCTURE. ALL SUPPORTING INFRASTRUCTURE NECESSARY TO SUPPORT THIS DEVELOPMENT IS ALSO PROPOSED.

THE SITE IS CURRENTLY ZONED CDD #21 (PER REZONING #2012-0002. COORDINATED DEVELOPMENT DISTRICT #2012-0003 & TEXT AMENDMENT #2012-0007, DATED APRIL 13, 2013)

THE SITE IS BORDERED TO THE NORTH BY SINGLE FAMILY HOMES, TO THE EAST BY 2000 N. BEAUREGARD, TO THE SOUTH BY NORTH BEAUREGARD STREET AND TO THE WEST BY AN EXISTING OFFICE BUILDING.

SPECIAL USE PERMIT/ZONING MODIFICATIONS/WAIVERS

1. REQUEST A MASTER PLAN AMENDMENT TO THE BEAUREGARD SMALL AREA PLAN TO MAKE AREA PLAN REQUIREMENTS CONSISTENT WITH PROPOSED DEVELOPMENT.
2. REQUEST AMENDMENTS TO THE CDD #21 CONDITIONS AND CDD CONCEPT PLAN CONSISTENT WITH THE PROPOSED DEVELOPMENT.
3. REQUEST A DEVELOPMENT SPECIAL USE PERMIT WITH PRELIMINARY SITE PLAN.
4. REQUEST AN AMENDMENT TO THE BEAUREGARD SMALL AREA PLAN TO CHANGE LAND USE DESIGNATION TO INCLUDE RESIDENTIAL; INCREASE THE BUILDING HEIGHT; AND TO AMEND THE STREET FRAMEWORK AND OPEN SPACE MAP TO REINSTATE THE PARALLEL ROAD ALONG THE NORTHERN PROPERTY BOUNDARY.
5. REQUEST MODIFICATION OF SECTION 7-1006(E) TO REDUCE THE REQUIRED 80 FT SETBACK FROM CENTERLINE OF THE WEST END TRANSIT WAY ALONG NORTH BEAUREGARD STREET.
6. SUP FOR PARKING REDUCTION.

GREEN BUILDING NOTE

THE APPLICANT INTENDS TO MEET THE REQUIREMENTS OF THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY.

ARCHAEOLOGICAL NOTE

CONTACT ALEXANDRIA ARCHAEOLOGY(703-746-4399) TWO WEEKS PRIOR TO ANY GROUND DISTURBING ACTIVITY (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) CITY ARCHAEOLOGISTS WILL PROVIDE ON-SITE INSPECTIONS TO RECORD SIGNIFICANT FINDS.

THE DEPTHS AND LOCATIONS OF ANY UNDERGROUND ELECTRIC, WATER, TELEPHONE, AND GAS MAIN LINES OR SERVICES CANNOT BE FIELD SURVEYED. "MISS UTILITY" UTILITY SERVICE PROTECTION CENTER MAY BE CONTACT AT 1-800-552-7001 REGARDING THE LOCATION OF THESE UNDERGROUND UTILITIES.

TRIP GENERATION:

Table 1
 1900 N. Beauregard Street
 Vehicular Peak Hour Trip Generation Analysis¹

Land Use	ITE Code	Size	Units	AM Peak Hour			PM Peak Hour			Weekday Daily
				In	Out	Total	In	Out	Total	
Existing										
Office	710	57,600	SF	92	12	104	18	87	105	718
Proposed										
Apartments	221	343	DU	32	107	139	75	59	134	1,590
Net New Vehicle Trips				(60)	95	35	57	(28)	29	872

Notes:
 1. Trip Generation obtained from ITE's Trip Generation Manual, 11th Edition. Setting Location: General Urban/Suburban

APPLICANT
 1900 BEAUREGARD PROPERTY OWNER, LLC
 1000 WILSON BOULEVARD, SUITE 700
 ARLINGTON, VA 22209
 (703) 284-0200

LAND USE ATTORNEY
 WIRE GILL LLP
 700 N FAIRFAX STREET, SUITE 600
 ALEXANDRIA, VA 22314
 KEN WIRE
 (703) 677-3129

ARCHITECT
 BKV GROUP
 1054 31ST ST. NW, SUITE 410
 WASHINGTON, D.C. 20007
 JOHN TREIBER
 (202) 595-3173

ENGINEER
 VIKA VIRGINIA, LLC
 8180 GREENSBORO DRIVE, SUITE 200
 TYSONS, VIRGINIA 22102
 ROBERT COCHRAN, L.S.
 (703) 442-7800

LANDSCAPE ARCHITECT
 VIKA VIRGINIA, LLC
 8180 GREENSBORO DRIVE, SUITE 200
 TYSONS, VIRGINIA 22102
 JEFF KREPS, PLA/ASLA
 (703) 442-7800

TRANSPORTATION
 VIKA VIRGINIA, LLC
 8180 GREENSBORO DRIVE, SUITE 200
 TYSONS, VIRGINIA 22102
 MICHAEL PINKOSKE
 (703) 442-7800



VIKA NUMBER V8392A
 C-01

CITY STANDARD NOTES

1. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.

2. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4400.

3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

- MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND SATURDAYS FROM 9AM TO 6PM
- NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS
- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS: MONDAY THROUGH FRIDAY FROM 9AM TO 6PM AND SATURDAYS FROM 10AM TO 4PM

RESOURCE PROTECTION AREA NOTES

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA (RPA) AND THERE ARE NO MAPPED RPAs ON THIS PROPERTY.

FLOOD PLAIN NOTES

THE SITE DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN WATER SURFACE ELEVATION (WSE) PER THE DEMARCATION OF THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

GROUNDWATER CONTAMINATION NOTE

THERE IS NO KNOWN SOIL AND/OR GROUNDWATER CONTAMINATION WITHIN THE LIMITS OF THIS DEVELOPMENT.

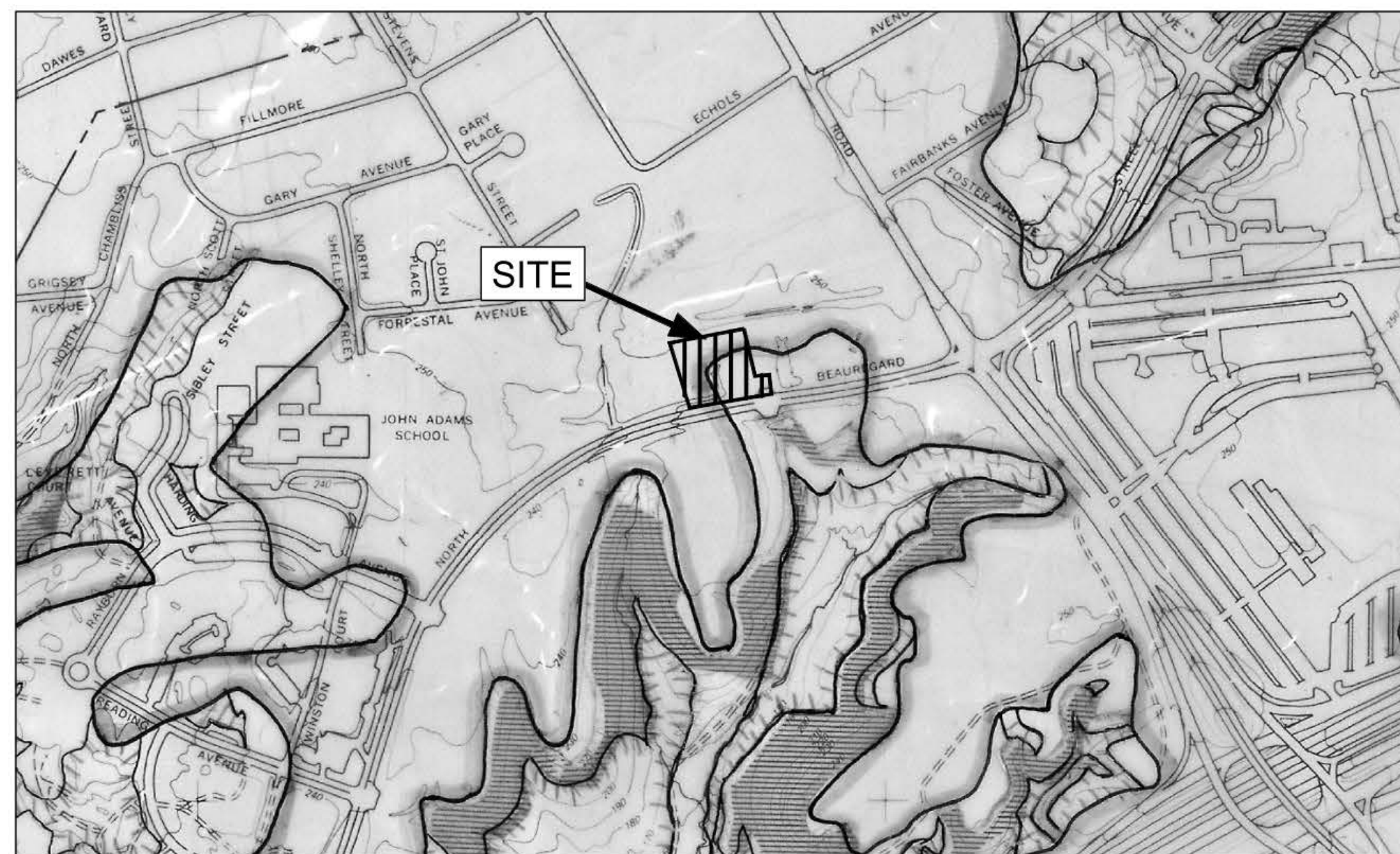
CEMETERY AND/OR BURIAL GROUNDS

THERE IS NO OBSERVABLE, HISTORICAL OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

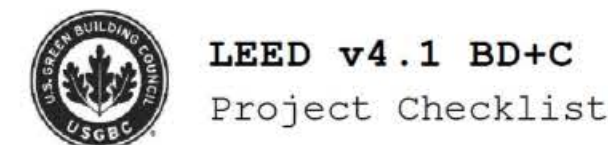
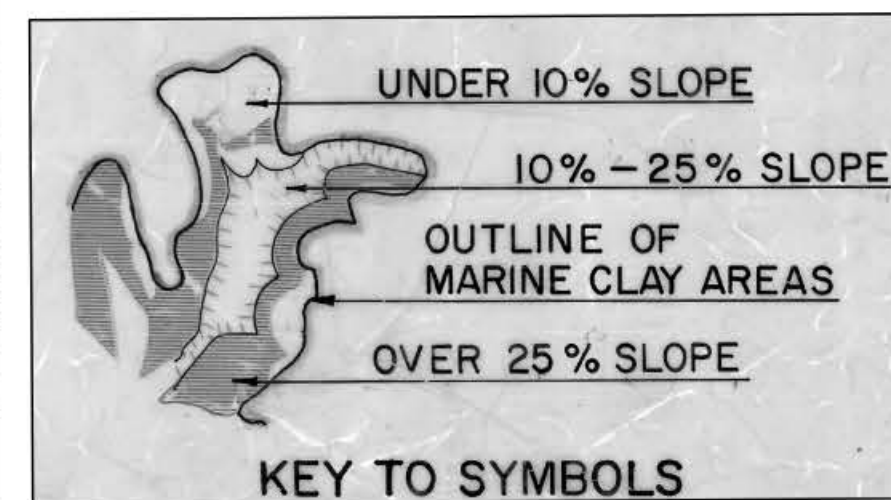
COMBINED SEWER NOTE

THIS SITE IS NOT WITHIN A COMBINED SEWER AREA.

MARINE CLAY SOILS MAP



N.T.S.



Y	?	N			
1			Integrative Process	1	
3 5 0 Location and Transportation 16					
			LEED for Neighborhood Development Location	16	
			Sensitive Land Protection	1	
			High Priority Site and Equitable Development	2	
			Surrounding Density and Diverse Uses	5	
	5		Access to Quality Transit	5	
	1		Bicycle Facilities	1	
	1		Reduced Parking Footprint	1	
	1		Electric Vehicles	1	
10 0 0 Sustainable Sites 10					
Y			Construction Activity Pollution Prevention	Required	
	1		Site Assessment	1	
	2		Protect or Restore Habitat	2	
	1		Open Space	1	
	3		Rainwater Management	3	
	2		Heat Island Reduction	2	
	1		Light Pollution Reduction	1	
6 0 0 Water Efficiency 11					
Y			Outdoor Water Use Reduction	Required	
Y			Indoor Water Use Reduction	Required	
Y			Building-Level Water Metering	Required	
	2		Outdoor Water Use Reduction	2	
	3		Indoor Water Use Reduction	6	
	2		Optimize Process Water Use	2	
	1		Water Metering	1	
12 5 0 Energy and Atmosphere 33					
Y			Fundamental Commissioning and Verification	Required	
Y			Minimum Energy Performance	Required	
Y			Building-Level Energy Metering	Required	
Y			Fundamental Refrigerant Management	Required	
	6		Enhanced Commissioning	6	
	5		Optimize Energy Performance	18	
	1		Advanced Energy Metering	1	
			Grid Harmonization	2	
	5		Renewable Energy	5	
			Enhanced Refrigerant Management	1	

Project Name: 1900 N Beauregard St, Alexandria
Date: 2/17/2023

Y	?	N			
8 0 0 Materials and Resources 13					
Y			Storage and Collection of Recyclables	Required	
			Building Life-Cycle Impact Reduction	5	
	2		Environmental Product Declarations	2	
	2		Sourcing of Raw Materials	2	
	2		Material Ingredients	2	
	2		Construction and Demolition Waste Management	2	
11 4 0 Indoor Environmental Quality 16					
Y			Minimum Indoor Air Quality Performance	Required	
Y			Environmental Tobacco Smoke Control	Required	
	2		Enhanced Indoor Air Quality Strategies	2	
	2		Low-Emitting Materials	3	
	1		Construction Indoor Air Quality Management Plan	1	
	2		Indoor Air Quality Assessment	2	
	1		Thermal Comfort	1	
	2		Interior Lighting	2	
	3		Daylight	3	
	1		Quality Views	1	
	1		Acoustic Performance	1	
6 0 0 Innovation 6					
	5		Innovation	5	
	1		LEED Accredited Professional	1	
0 0 0 Regional Priority 4					
			Regional Priority: Specific Credit	1	
			Regional Priority: Specific Credit	1	
			Regional Priority: Specific Credit	1	
			Regional Priority: Specific Credit	1	
57	14	0	TOTALS	Possible Points: 110	

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80



VIKA VIRGINIA, LLC
8180 Greensboro Dr., Suite 200
Tysons, VA 22102
703.442.7800 | vika.com

Our Site Set on the Future.

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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

GENERAL NOTES & DETAILS

APPROVED
SPECIAL USE PERMIT NO. CDSUP# 2022-00025
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DRAWN BY: NDR
DESIGNED BY: VIKA
DATE ISSUED: 07/21/22

DWG. SCALE: N/A
VIKA NO.: VV8392A
SHEET NO.: C-02

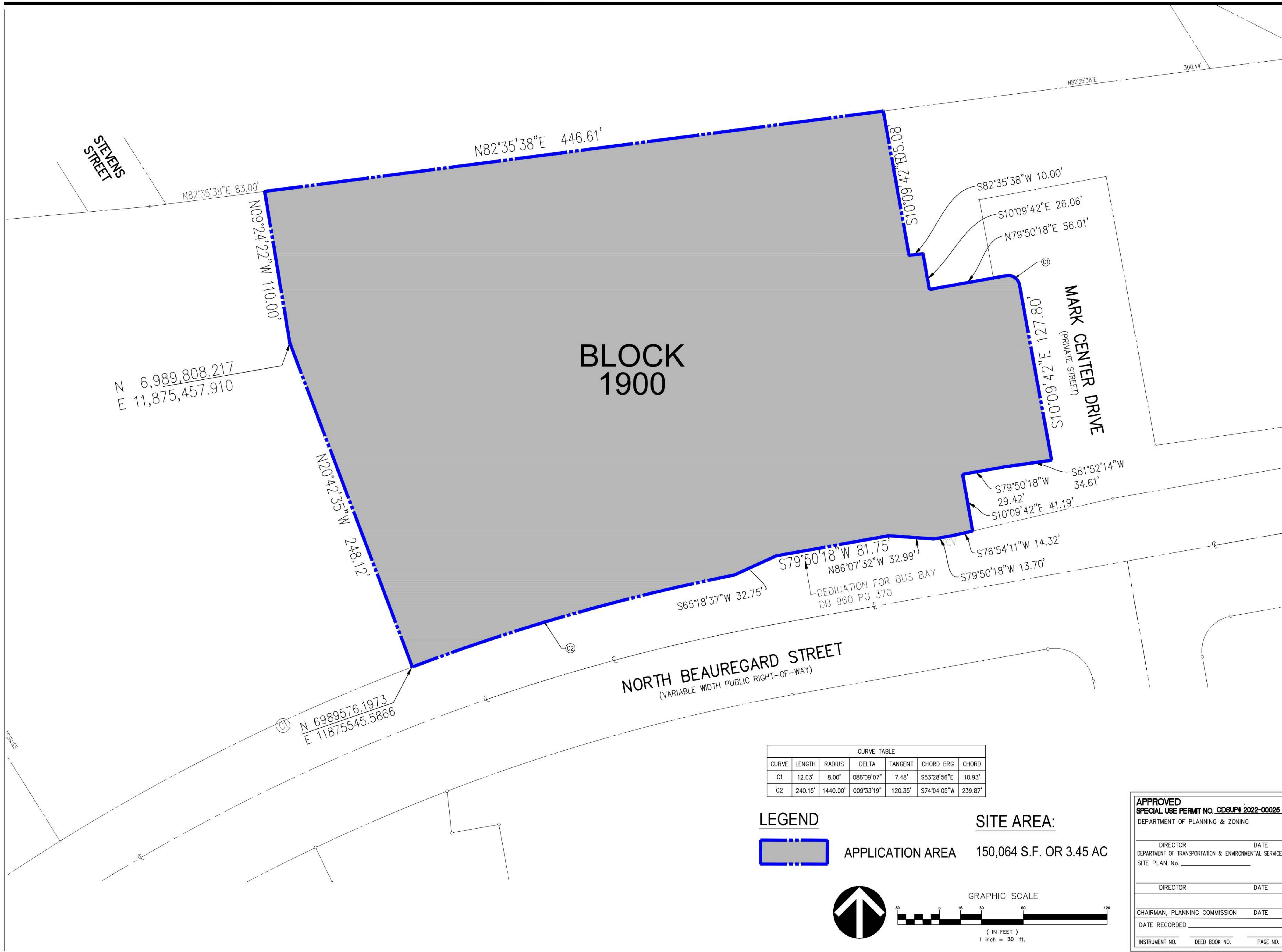


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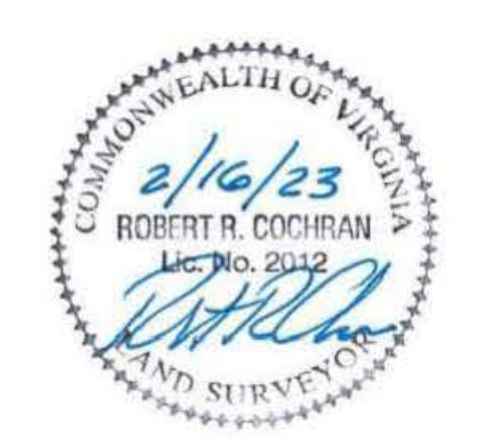
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

PROPERTY EXHIBIT

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.:	VV8392A
SHEET NO.:	C-03

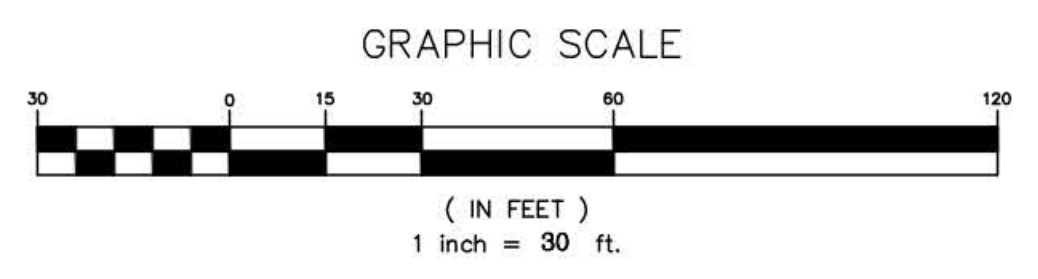
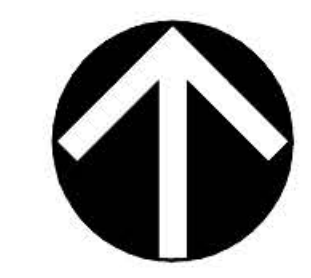
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.03'	8.00'	086°09'07"	7.48'	S53°28'56"E	10.93'
C2	240.15'	1440.00'	009°33'19"	120.35'	S74°04'05"W	239.87'

LEGEND



APPLICATION AREA 150,064 S.F. OR 3.45 AC

SITE AREA:



APPROVED
SPECIAL USE PERMIT NO. CDSUP# 2022-00025
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

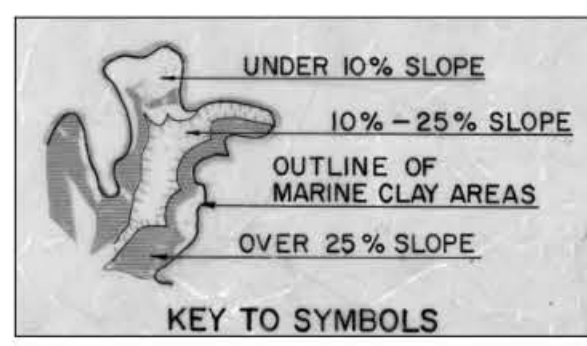
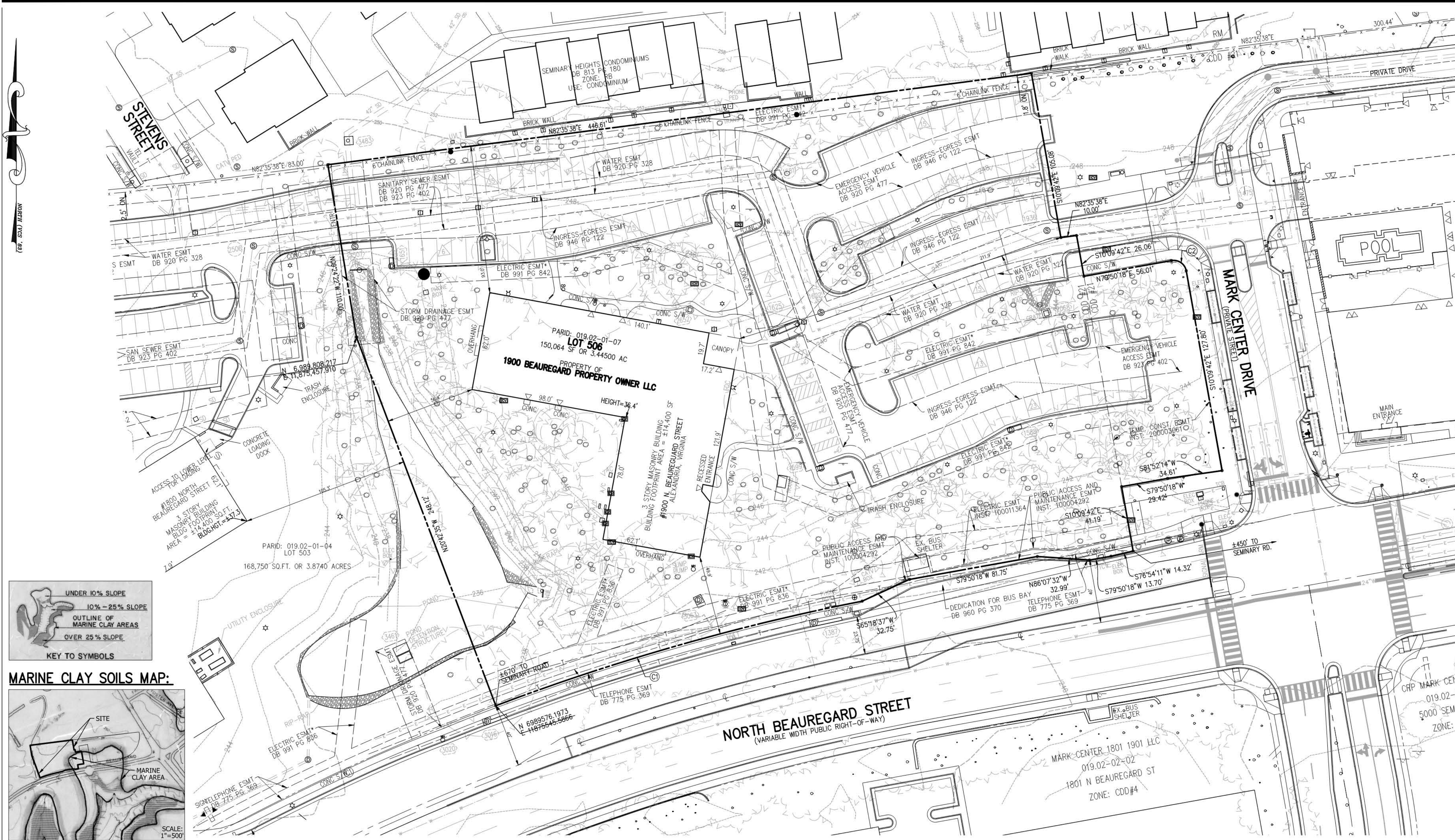


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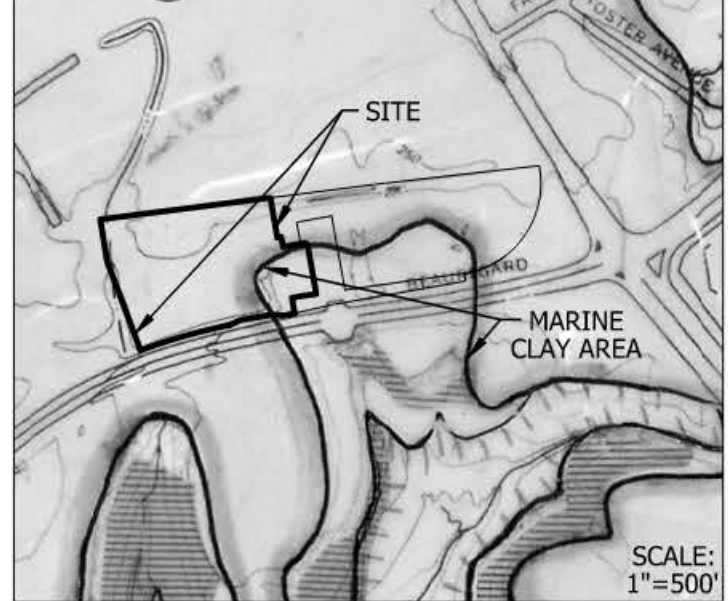
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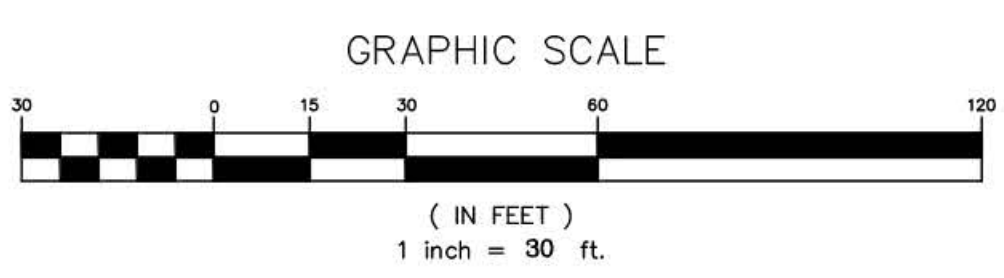


MARINE CLAY SOILS MAP:



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	240.15'	1440.00'	009°33'19"	120.35'	S74°04'05"W	239.87'
C2	12.03'	8.00'	086°09'07"	7.48'	S53°28'56"E	10.93'



- NOTES:**
1. THE SUBJECT PROPERTY IS IDENTIFIED ON CITY OF ALEXANDRIA TAX MAP AS NO. 019.02-01-07 AND IS ZONED CDD#1.
 2. THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF 1900 BEAUREGARD PROPERTY OWNER LLC AS RECORDED IN INSTRUMENT #210027850 AMONG THE LAND RECORDS OF CITY OF ALEXANDRIA, VIRGINIA.
 3. THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP (FIRM) NUMBER 5155190028E, COMMUNITY PANEL 515519 0028 E, FOR CITY OF ALEXANDRIA, DATED JUNE 16, 2011. ZONE "X" IS NOT IDENTIFIED AS A SPECIAL FLOOD HAZARD ZONE AREA.
 4. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO VIRGINIA COORDINATE SYSTEM OF 1983 (VCS '83).
 5. THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 6. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON RECORD INFORMATION, AND A SURVEY PREPARED BY WALTER L. PHILLIPS AND DOES NOT REPRESENT A FIELD RUN SURVEY BY VIKA VIRGINIA, LLC.
 7. CONTOUR INTERVAL SHOWN HEREON IS 2'-0".
 8. THE SUBJECT PROPERTY DOES NOT LIE IN A RESOURCE PROTECTION AREA (RPA) PER CITY OF ALEXANDRIA RESOURCE PROTECTIONS AREAS MAP DATED: JUNE 12, 2004.
 9. PER CITY OF ALEXANDRIA MARINE CLAY AREA MAP DATED NOVEMBER 1976 THERE ARE KNOWN AREAS OF MARINE CLAY DEPOSITS ON THE SUBJECT PROPERTY.
 10. THE EXISTING CONDITIONS SURVEY WAS COMPLETED UNDER THE DIRECT RESPONSIBLE CHARGE OF FRANKLIN E. JENKINS, LS FROM A COMPILATION OF RECORD, SURVEYS BY OTHERS, AND A FIELD RUN SURVEY BY VIKA VIRGINIA, LLC; THAT THE ORIGINAL DATA WAS OBTAINED ON JULY 14, 2022 THRU JULY 19, 2022; AND THAT THIS PLAN/PLAT MEETS MINIMUM HORIZONTAL AND VERTICAL ACCURACY STANDARDS UNLESS OTHERWISE NOTED

LEGEND:

- | | | | | | |
|---|---|---|---|---|---|
| <ul style="list-style-type: none"> — BUILDING LINE — CABLE TV CONDUIT — ELECTRICAL CONDUIT — EDGE OF PAVEMENT — FENCE LINE — NATURAL GAS CONDUIT — TELECOM CONDUIT — PROPERTY LINES — PUBLIC UTILITIES EASEMENTS — SANITARY SEWER CONDUIT — STORM DRAIN CONDUIT — WATER CONDUIT | <ul style="list-style-type: none"> ⊕ ELECTRICAL MANHOLE ⊕ ELECTRICAL JUNCTION BOX ⊕ GUY POLE ⊕ LIGHT POLE ⊕ GROUND LIGHT ⊕ UTILITY POLE ⊕ PHONE MANHOLE ⊕ PHONE PEDESTAL ⊕ CABLE TELEVISION PEDESTAL ⊕ GAS VALVE ⊕ GAS MANHOLE ⊕ GAS MARKER ⊕ TRAFFIC CONTROL BOX ⊕ TRAFFIC SIGNAL POLE | <ul style="list-style-type: none"> ⊕ STORM DRAIN MANHOLE ⊕ CATCH BASIN RIM ⊕ INLETS ⊕ CURB INLET ⊕ SANITARY MANHOLE ⊕ SANITARY CLEANOUT ⊕ WATER METER ⊕ WATER MANHOLE ⊕ WATER VALVE ⊕ FIRE HYDRANT ⊕ FIRE DEPARTMENT CONNECTION ⊕ IRRIGATION CONTROL VALVE ⊕ WELL ⊕ WSO | <ul style="list-style-type: none"> ⊕ TREE ⊕ HANDICAP ⊕ PARKING METER ⊕ HVAC UNIT ⊕ UNKNOWN UTILITY MANHOLE ⊕ BOLLARD ⊕ COLUMN ⊕ CENTERLINE ⊕ SOIL BORING ⊕ TEST PIT | <ul style="list-style-type: none"> ⊕ SIGN POST ⊕ WOOD POST ⊕ IRON PIPE FOUND ⊕ REBAR FOUND ⊕ PKNAIL FOUND ⊕ DRILL HOLE FOUND ⊕ BENCHMARK | <ul style="list-style-type: none"> CONC CONCRETE C&G CURB AND CUTTER TRANS ELECTRICAL TRANSFORMER ASPH ASPHALT ESMT EASEMENT BLDG BUILDING RCP REINFORCED CONCRETE PIPE CMP CORRUGATED METAL PIPE R/W RIGHT-OF-WAY HCR HANDICAP RAMP DBR DEED BOOK PG PAGE BRL BUILDING RESTRICTION LINE |
|---|---|---|---|---|---|

APPROVED
SPECIAL USE PERMIT NO. CDSUP# 2022-00025
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

PLAN STATUS

PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL

Franklin E. Jenkins
 Lic No. 2061
 2-16-2023

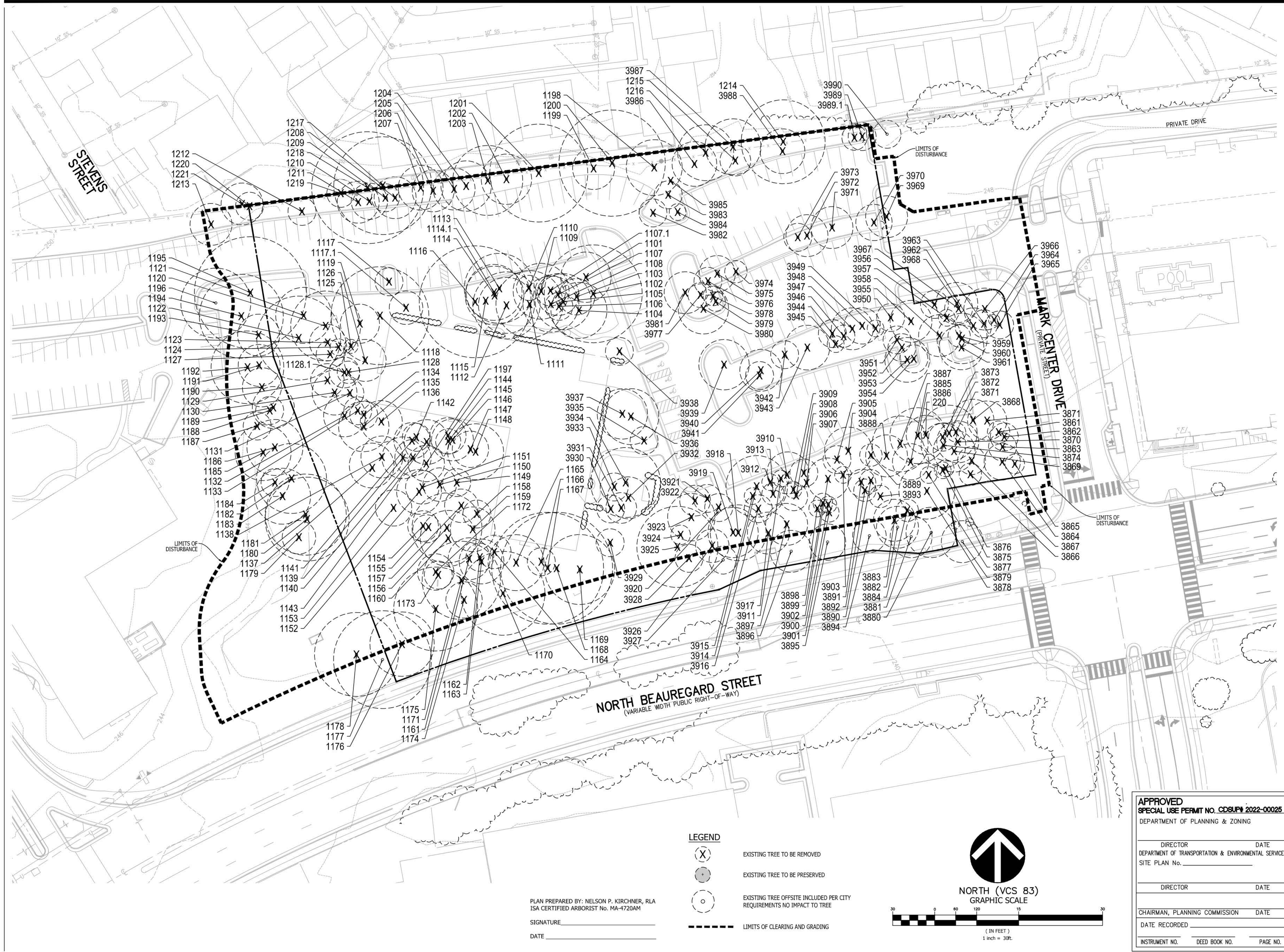
Digitally signed by Franklin E. Jenkins
 DN: c=US, E=jenkins@vika.com, OU=VIKA VIRGINIA, LLC,
 CN=Franklin E. Jenkins
 Reason: I am approving this document!
 Date: 2023.02.14 15:28:25 -0500

NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

EXISTING CONDITIONS

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.:	W8392A
SHEET NO.:	C-04



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8180 Greensboro Dr., Suite 200
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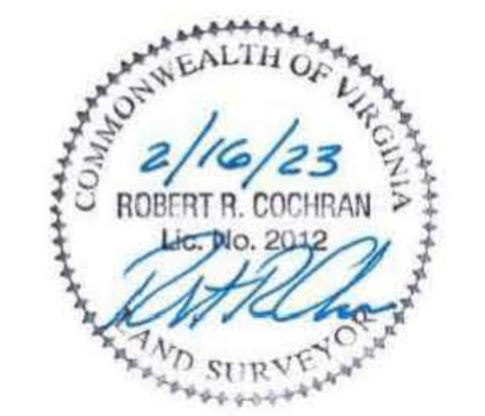
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

EXISTING TREE CONSERVATION PLAN

APPROVED
SPECIAL USE PERMIT NO. CDSUP# 2022-00025
DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No.		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
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DRAWN BY:	HR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1" = 30'
VIKA NO.	VV8392A
SHEET NO.	C-05

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1145	Quercus prinus, Chestnut Oak	8	8	0.58	Intermediate	0.80	10	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. DEADWOOD IN UPPER
1146	Quercus prinus, Chestnut Oak	13.5	14	0.60	Codominant	0.40	20 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1147	Quercus prinus, Chestnut Oak	13.7	14	0.60	Codominant	0.50	17 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1148	Quercus rubra, Red Oak	18	18	0.60	Dominant	0.50	25 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1149	Quercus alba, White Oak	10.5	11	0.65	Codominant	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1150	Quercus alba, White Oak	8.5	9	0.58	Codominant	0.60	16 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G). CODOM TRUNK STEM PREVIOUSLY REMOVED.
1151	Quercus alba, White Oak	11.7	12	0.00	Dominant	-	-	REMOVE		NECROTIC
1152	Quercus alba, White Oak	9.3	10	0.59	Codominant	0.55	18 (W)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY. TRUNK STEM LEAN.
1153	Prunus x yedoensis, Yoshino Cherry	6	8	0.60	Intermediate	0.70	15 (W)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1154	Prunus serotina, Black Cherry	7.5	8	0.65	Intermediate	0.40	14 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1155	Quercus alba, White Oak	7	8	0.63	Intermediate	0.55	13 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1156	Quercus alba, White Oak	18.5	19	0.64	Dominant	0.65	18 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1157	Quercus alba, White Oak	9	9	0.60	Codominant	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1158	Quercus alba, White Oak	8	8	0.63	Codominant	0.80	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1159	Quercus alba, White Oak	15.5	16	0.65	Dominant	0.60	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1160	Quercus prinus, Chestnut Oak	11	11	0.60	Codominant	0.50	18 (W)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1162	Quercus alba, White Oak	13.5	14	0.00	Dominant	-	-	REMOVE		NECROTIC. HYPOXYLON.
1163	Quercus prinus, Chestnut Oak	12.5, 9	13	0.60	Dominant	0.45	17 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE. CODOM AT ROOT CROWN. ASYMMETRIC CANOPY.
1164	Quercus alba, White Oak	12	12	0.58	Dominant	0.65	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE.
1165	Quercus rubra, Red Oak	14	14	0.59	Dominant	0.30	25 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE. DEADWOOD AT LOW CANOPY. LOW ASYMMETRIC CANOPY RATIO.
1166	Quercus prinus, Chestnut Oak	11.5	12	0.60	Dominant	0.40	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1167	Quercus rubra, Red Oak	14.2, 10.7	15	0.60	Dominant	0.40	30 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1168	Quercus rubra, Red Oak	29	29	0.60	Dominant	0.40	30	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. PRUNED FOR BLDG CLEARANCE.
1169	Cedrus deodara, Deodar Cedar	22	22	0.65	Dominant	0.80	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1170	Tilia Cordata, Littleleaf Linden	15	15	0.60	Codominant	0.65	26 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1171	Acer platanoides, Norway Maple	14.5	15	0.65	Dominant	0.80	19	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1172	Cornus florida, Flowering Dogwood	6	8	0.60	Intermediate	0.50	14 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1173	Cornus florida, Flowering Dogwood	6	8	0.60	Intermediate	0.50	14 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1174	Cercis canadensis, Eastern Redbud	6.6	7	0.64	Intermediate	0.50	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1175	Acer platanoides, Norway Maple	14.5	15	0.58	Dominant	0.80	18	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD & SLIME FLUX. CAVITY AT ROOT CROWN.
1176	Acer platanoides, Norway Maple	14	14	0.55	Dominant	0.70	15	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD & SLIME FLUX.
1177	Acer saccharinum, Silver Maple	26	26	0.65	Dominant	0.80	30	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1178	Malus spp., Crabapple	12, 9, 10.5	12	0.62	Codominant	0.70	16	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SAP WELL HOLES FROM BIRDS.
1179	Carya glabra, Pignut Hickory	6	8	0.65	Codominant	0.60	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1180	Ulmus americana, American Elm	17.3	18	0.60	Dominant	0.40	35 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1181	Quercus alba, White Oak	16.5	17	0.00	-	-	-	REMOVE		NECROTIC W/ FUNGI & HYPOXYLON.
1182	Acer rubrum, Red Maple	9, 9, 10	10	0.65	Dominant	0.80	28	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TRI-DOM STREMS AT ROOT CROWN.
1183	Quercus rubra, Red Oak	17, 6	17	0 - 0.05	-	-	-	REMOVE		TREE NEAR NECROSIS. STORM DAMAGED TOPPED. 6" STEM W/ FUNGI.
1184	Quercus rubra, Red Oak	9.3	10	0.65	Codominant	0.65	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1185	Quercus alba, White Oak	18	18	0.62	Dominant	0.30	22	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1186	Quercus alba, White Oak	17.5	18	0.65	Dominant	0.60	24	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1187	Carya glabra, Pignut Hickory	6.2	8	0.60	Intermediate	0.50	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1188	Quercus rubra, Red Oak	6	8	0.60	Intermediate	0.35	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. LOW CANOPY RATIO.
1189	Carya glabra, Pignut Hickory	7	8	0.60	Intermediate	0.50	15 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1190	Quercus prinus, Chestnut Oak	15	15	0.65	Codominant	0.50	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1191	Carya glabra, Pignut Hickory	7.5	8	0.65	Intermediate	0.35	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1192	Quercus prinus, Chestnut Oak	11, 15	15	0.65	Codominant	0.70	20	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN.
1193	Quercus alba, White Oak	9.5, 12	12	0.65	Codominant	0.80	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN.
1194	Quercus rubra, Red Oak	21, 22	22	0.62	Dominant	0.40	25 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
ISA CERTIFIED ARBORIST No. MA-4720AM
SIGNATURE _____
DATE _____

APPROVED		
SPECIAL USE PERMIT NO. CDSUP# 2022-00025		
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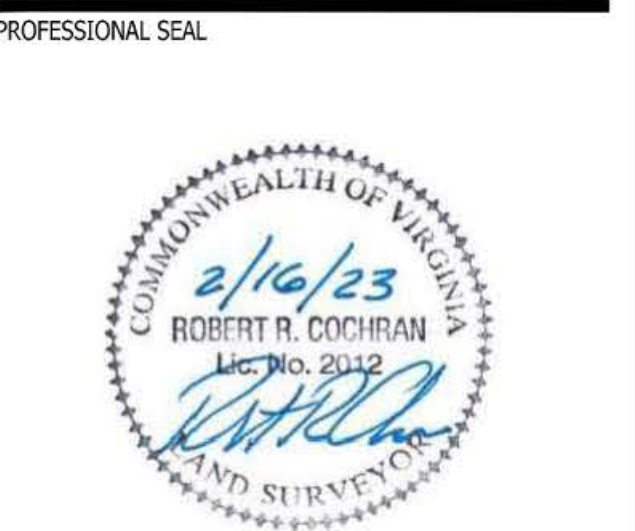
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

EXISTING TREE CONSERVATION INVENTORY DATA

DRAWN BY: **HR**
DESIGNED BY: **VIKA**
DATE ISSUED: 07/21/22

DWG. SCALE: 1" = 30'
VIKA NO. VV8392A
SHEET NO. C-07

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3981	Gleditsia tricanthos, Honeylocust	10.8	11	0.60	Codominant	0.50	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3982	Cornus florida, Flowering Dogwood	5.5	8	0.64	Intermediate	0.55	10	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3983	Prunus x yedoensis, Yoshino Cherry	10.2	11	0.64	Intermediate	0.50	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3984	Cornus florida, Flowering Dogwood	5	8	0.64	Intermediate	0.50	8	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3985	Snag	8	-	0.00	-	-	-	REMOVE		NECROTIC. SEVERE ENGLISH IVY.
3986	Pinus nigra, Austrian Pine	16	16	0.54	Dominant	0.50	18	REMOVE		TREE-3986 WITH EMBEDDED ENGLISH IVY FROM GRADE TO MID-TRUNK STEM. CANOPY FOLIAGE SHOWS GOOD COLOR, VIGOR & VITALITY.
3987	Pinus nigra, Austrian Pine	11.5	12	0.54	Codominant	0.20	14	REMOVE		TREE-3987 W/ SEVERE ENGLISH IVY FRM GRADE TO CANOPY. F/P SCAFFOLD BRANCHING & ASYMMETRIC CANOPY. NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. INVASIVE ENGLISH IVY AT LOW TRUNK STEM.
3988	Pinus nigra, Austrian Pine	16	16	0.60	Dominant	0.30	16	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. INVASIVE ENGLISH IVY AT LOW TRUNK STEM.
3989	Juniperus virginiana, Redcedar	7	8	0.00	Intermediate	-	8	REMOVE		TREE-3989 IS NECROTIC. SEVERE INVASIVES FROM GRADE TO UPPER CANOPY.
3989.1	Juniperus virginiana, Redcedar	8	8	0.00	Intermediate	-	9	REMOVE		TREE-3989.1 IS NECROTIC W/ SEVERE INVASIVES FROM GRADE TO UPPER CANOPY.
3990	Pinus nigra, Austrian Pine	8	8	0.58	Intermediate	0.50	8	PRESERVE	X	NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.

DBH = Diameter at Breast Height (measured 4.5 feet above existing grade or as noted).

* = Diameter measurement as recorded at the root crown where tree has a codominant, or multi-stem trunk which precludes a measurement at 4.5 ft above existing grade.

CRZ = Critical Root Zone (1 foot of radius per inch of tree diameter) CRZ for trees with multiple stems were calculated based on the diameter of a tree with the basal area equal to the sum of the basal areas for all stems measured.

Conditions Ratings provided as percentages as based on methods outlined in the 9th edition of the "Guide for Plant Appraisal", published by the International Society of Arboriculture.

For Avg Canopy Radius postings of 17(S) reference, the (S) indicates the cardinal direction of the asymmetric canopy of the subject tree (North, South, East, West)

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PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
ISA CERTIFIED ARBORIST No. MA-4720AM

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DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

EXISTING TREE CONSERVATION INVENTORY DATA

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**CITY OF ALEXANDRIA
 STANDARD TREE PRESERVATION NOTES**

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS WITH PRESERVATION AREAS

- 1) VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL CONTINUOUSLY RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
 - A. MAINTENANCE SHALL BE PRO- ACTIVE.
 - B. MAINTENANCE OPERATIONS SHALL AGGRESSIVELY MONITOR THE HEALTH, GROWTH AND VIGOR OF VEGETATION AND PRESCRIBE SELECTIVE PRUNING, REMOVAL OF VOLUNTEER AND/ OR INVASIVE SPECIES, WATERING, FERTILIZATION AND INSTALLATION OF MULCH/TOPDRESSING.
 - C. WHEN PRESERVED VEGETATION IS LOCATED ON CITY PROPERTY, MAINTENANCE SHALL BE PERFORMED TO THE SATISFACTION OF THE CITY.
- 2) ARE AS DESIGNATED FOR PROTECTION AND/ OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:
 - A. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES.
 - B. FELLING AND STORING VEGETATION. III. INCINERATING MATERIALS WITH IN OR IN CLOSE PROXIMITY.
 - C. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/ EQUIPMENT PARKING OR STORAGE.
 - D. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.
 - E. DISPOSAL OF DEBRIS OR CHEMICALS. VII. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.
 - F. STORAGE OF CONSTRUCTION MATERIALS OR WASTE.

c:\projects\8324a\notes & schedules\alex tree preserv nts (2021.10.11).docx

NOTES

1. TREE PROTECTION DETAIL SHALL APPLY TO ALL TREES INCLUDING STREET TREES.
2. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION. CITY STAFF SHALL BE NOTIFIED 72 HOURS PRIOR TO INSTALLATION OR ANY OTHER TREE PRESERVATION MEASURE SPECIFIED IN PLANS AND SHALL APPROVE LAYOUT.
3. NO PERSONNEL, VEHICLES, EQUIPMENT, CONSTRUCTION MATERIALS OR DEBRIS ALLOWED IN TREE PROTECTION AREAS. REFER TO LANDSCAPE GUIDELINES FOR ADDITIONAL RESTRICTIONS.
4. REMOVE TREE PROTECTION FENCE ONLY WITH APPROVAL FROM CITY STAFF AFTER ALL SITE WORK HAS BEEN COMPLETED.
5. SIGN MATERIAL TO BE WEATHER RESISTANT.
6. FENCE FABRIC MAY ALSO BE 2X4 WELDED WIRE FABRIC MIN. 12.5 GAUGE LAYERED WITH ORANGE SNOW FENCE FOR VISIBILITY

NO ENTRY
 TREE PRESERVATION AREA
 CALL: 703-746-6666
 TO REPORT VIOLATIONS
 PROHIBIDO ENTRAR
 ZONA DE PROTECCION ED. ARBOR
 LLAMAR AL TEL. 703-746-6666
 PARA REPORTAR INFRACCIONES

12"

2" CHAIN LINK FABRIC OR WIRE FENCE

TYPICAL SIGNAGE 30" O.C. (SEE ENLARGEMENT)

PIPE 2" O.D. GALVANIZED STEEL OR 2X4 PRESSURE TREATED POSTS

10'-0" MAX.

4'-0"

2'-0" MIN. DEPTH

TENSION BAR AT ENDS

A TREE PROTECTION FENCE
 NOT TO SCALE

# OF UPDATES: 00 LAST UPDATED: CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA		NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA Date drawn: 01/01/19 LD 014
--	--	--	---

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
 ISA CERTIFIED ARBORIST No. MA-4720AM

SIGNATURE _____
 DATE _____

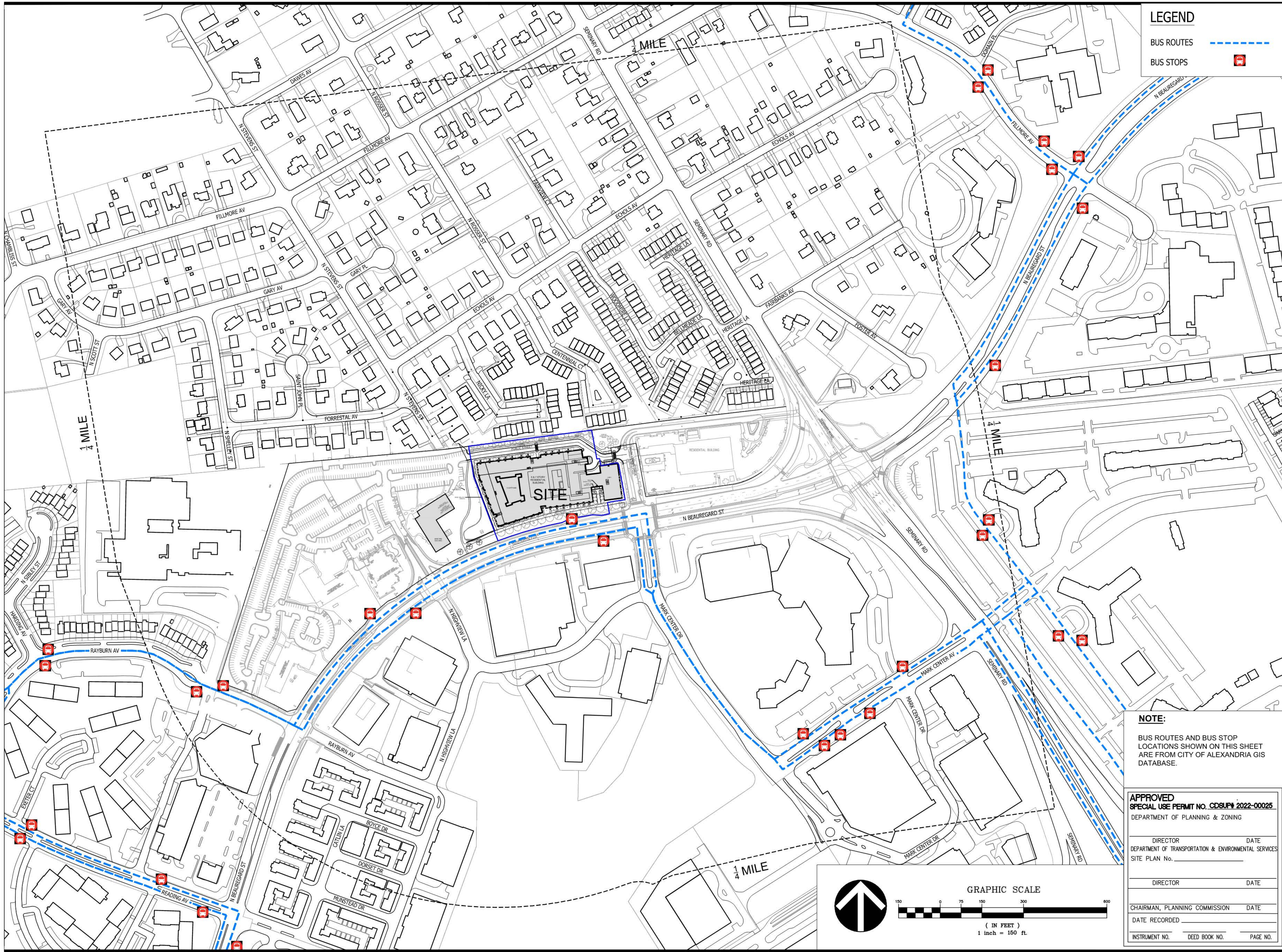
APPROVED		
SPECIAL USE PERMIT NO. CDSUP# 2022-00025		
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR	DATE	
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**NORTH BEAUREGARD
 STREET**
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

**EXISTING TREE
 CONSERVATION NOTES
 AND DETAILS**

DRAWN BY:	HR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
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SHEET NO.:	C-12



LEGEND

- BUS ROUTES ---
- BUS STOPS ■



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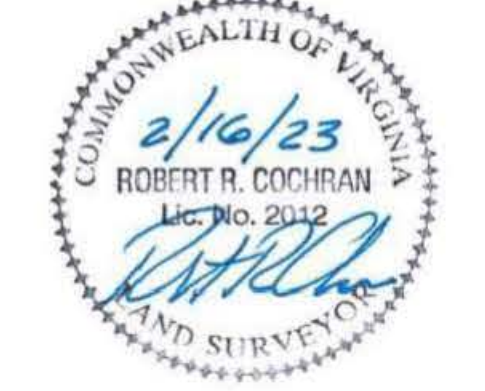
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PLAN STATUS

PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

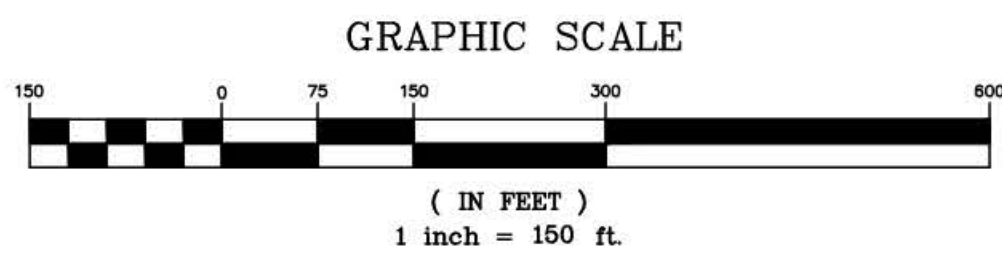
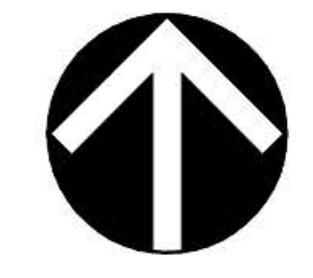
OVERALL CONTEXT PLAN

DRAWN BY:	NR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=150'
VIKA NO.:	VV8392A
SHEET NO.:	C-13

NOTE:
 BUS ROUTES AND BUS STOP LOCATIONS SHOWN ON THIS SHEET ARE FROM CITY OF ALEXANDRIA GIS DATABASE.

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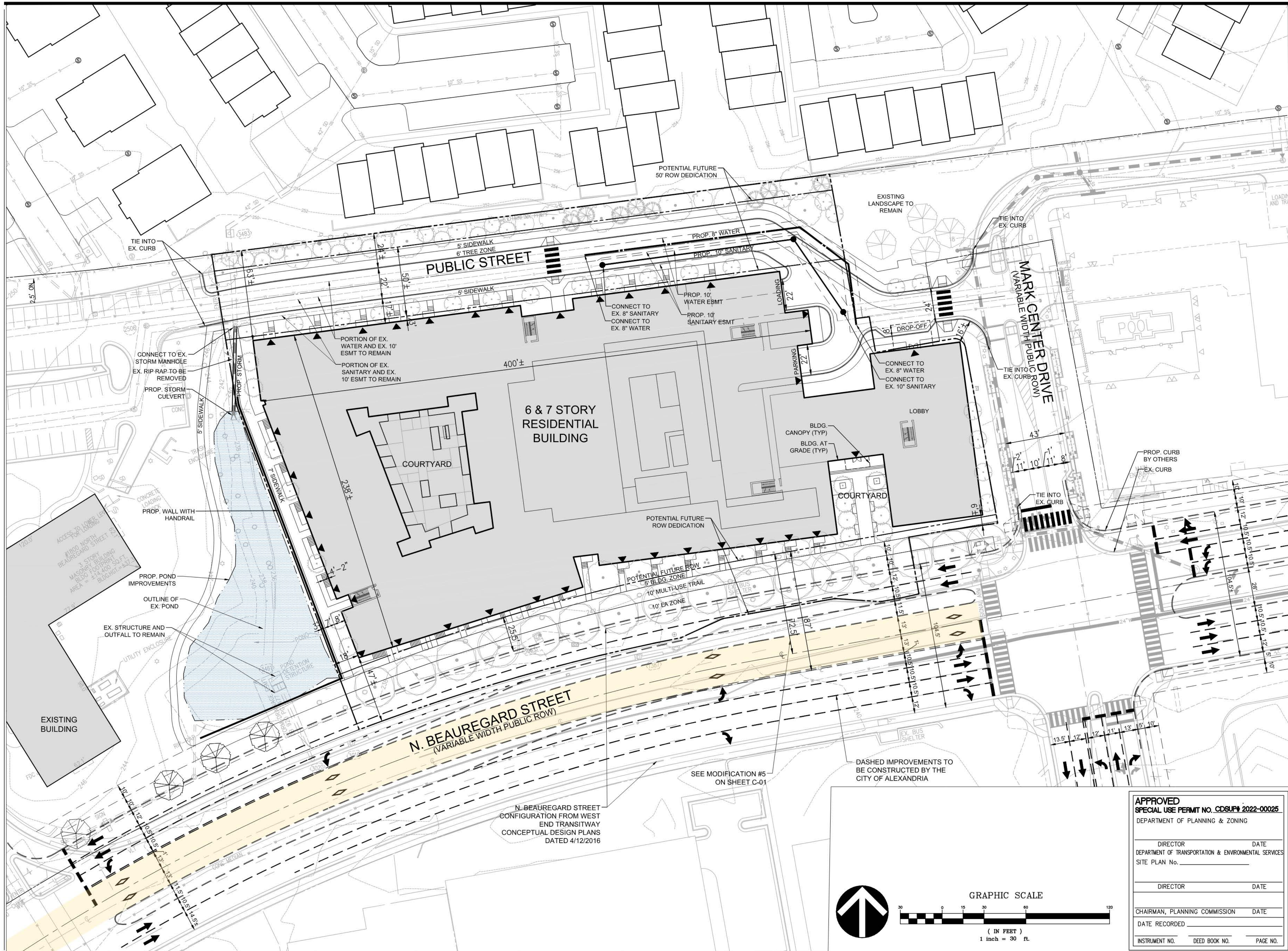


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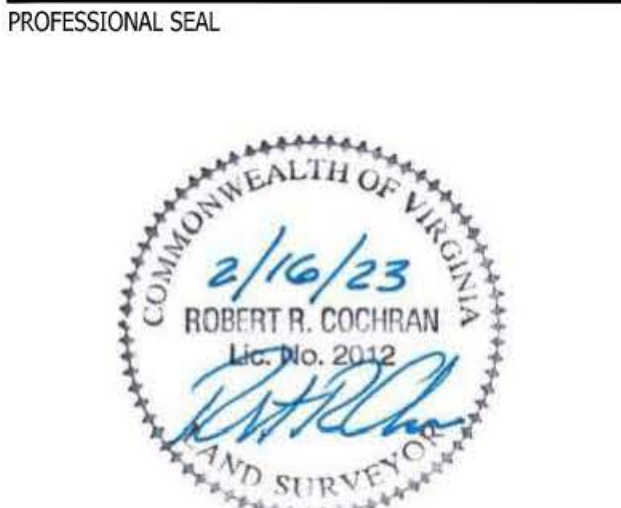
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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

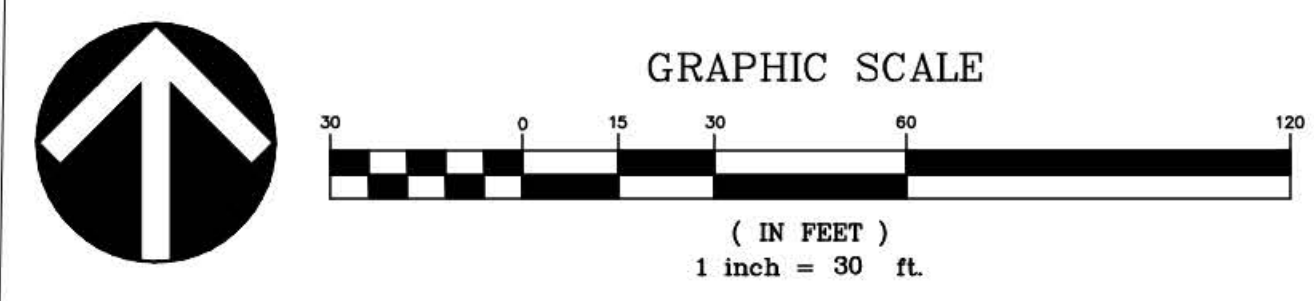
ULTIMATE CONCEPT PLAN

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.:	VV8392A
SHEET NO.:	C-14

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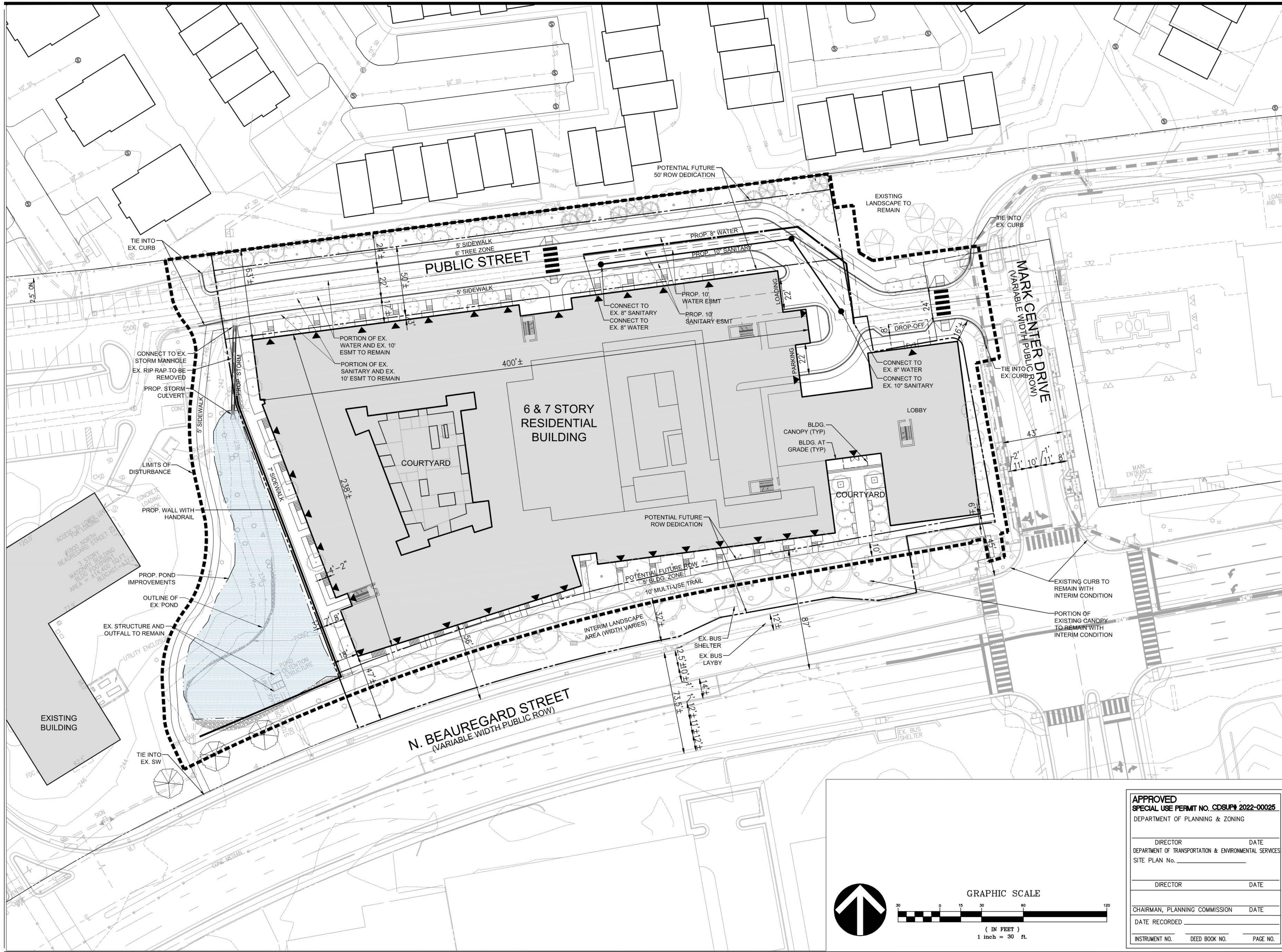


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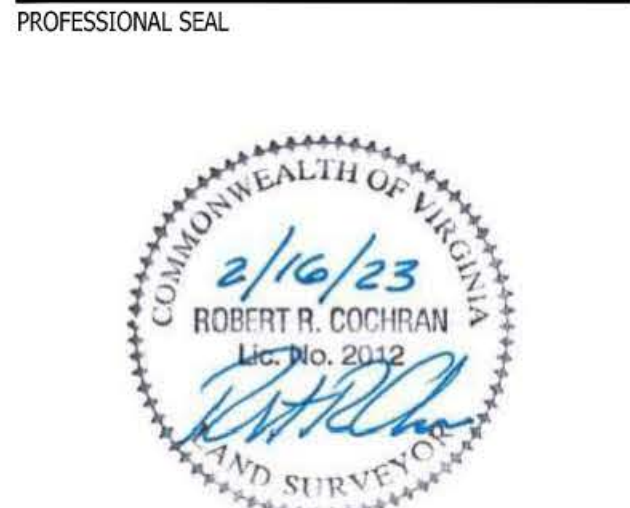
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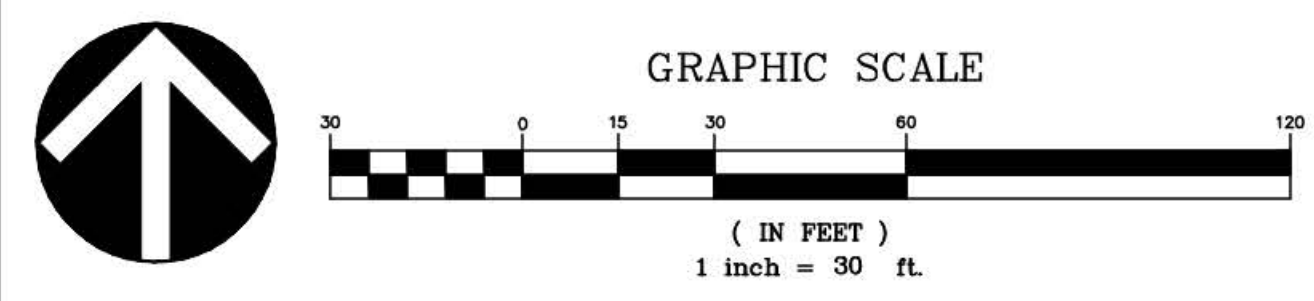


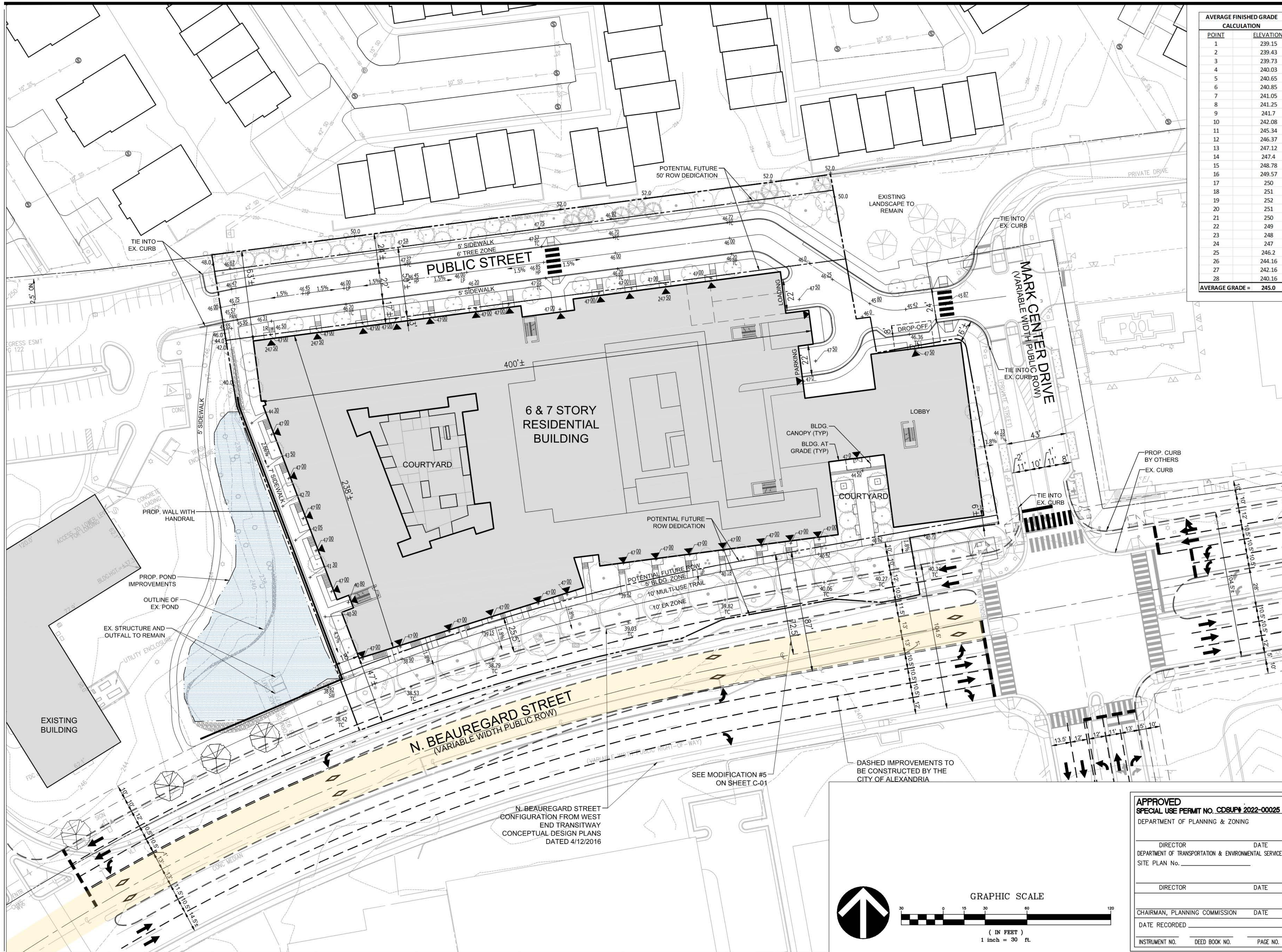
NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

INTERIM CONCEPT PLAN

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.:	VV8392A
SHEET NO.:	C-15

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DIRECTOR	DATE
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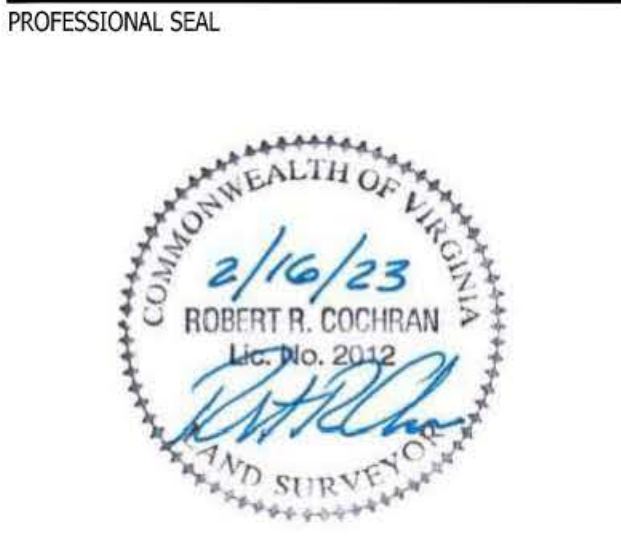
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POINT	ELEVATION
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2	239.43
3	239.73
4	240.03
5	240.65
6	240.85
7	241.05
8	241.25
9	241.7
10	242.08
11	245.34
12	246.37
13	247.12
14	247.4
15	248.78
16	249.57
17	250
18	251
19	252
20	251
21	250
22	249
23	248
24	247
25	246.2
26	244.16
27	242.16
28	240.16
AVERAGE GRADE = 245.0	

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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

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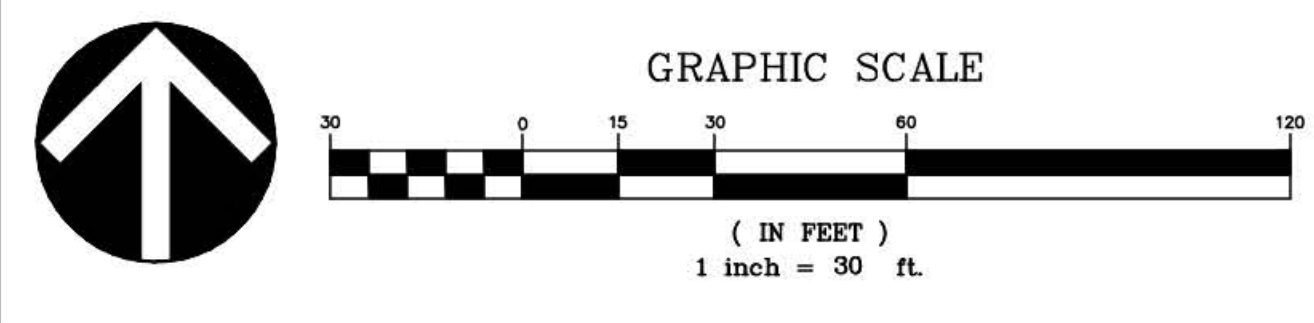
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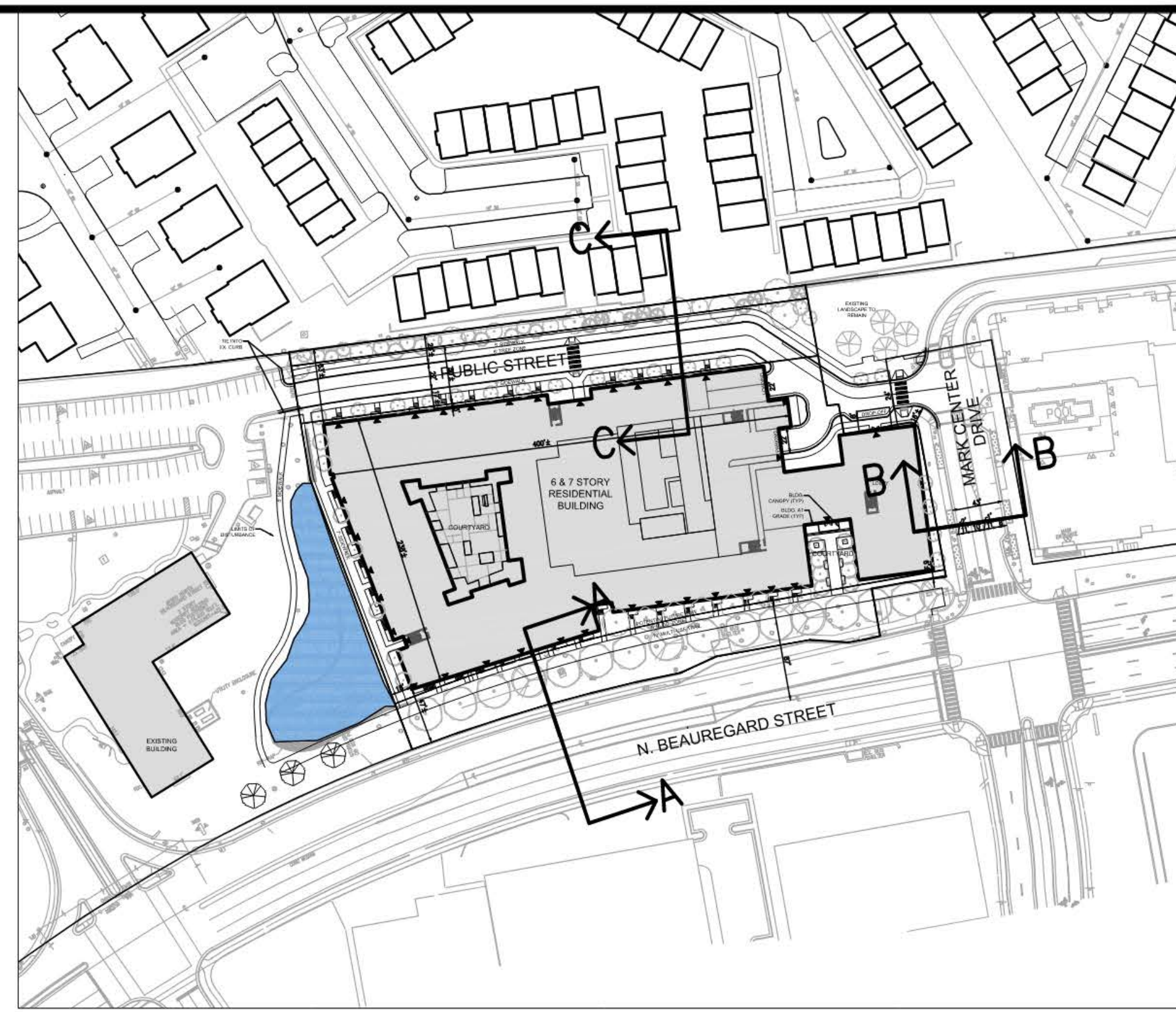
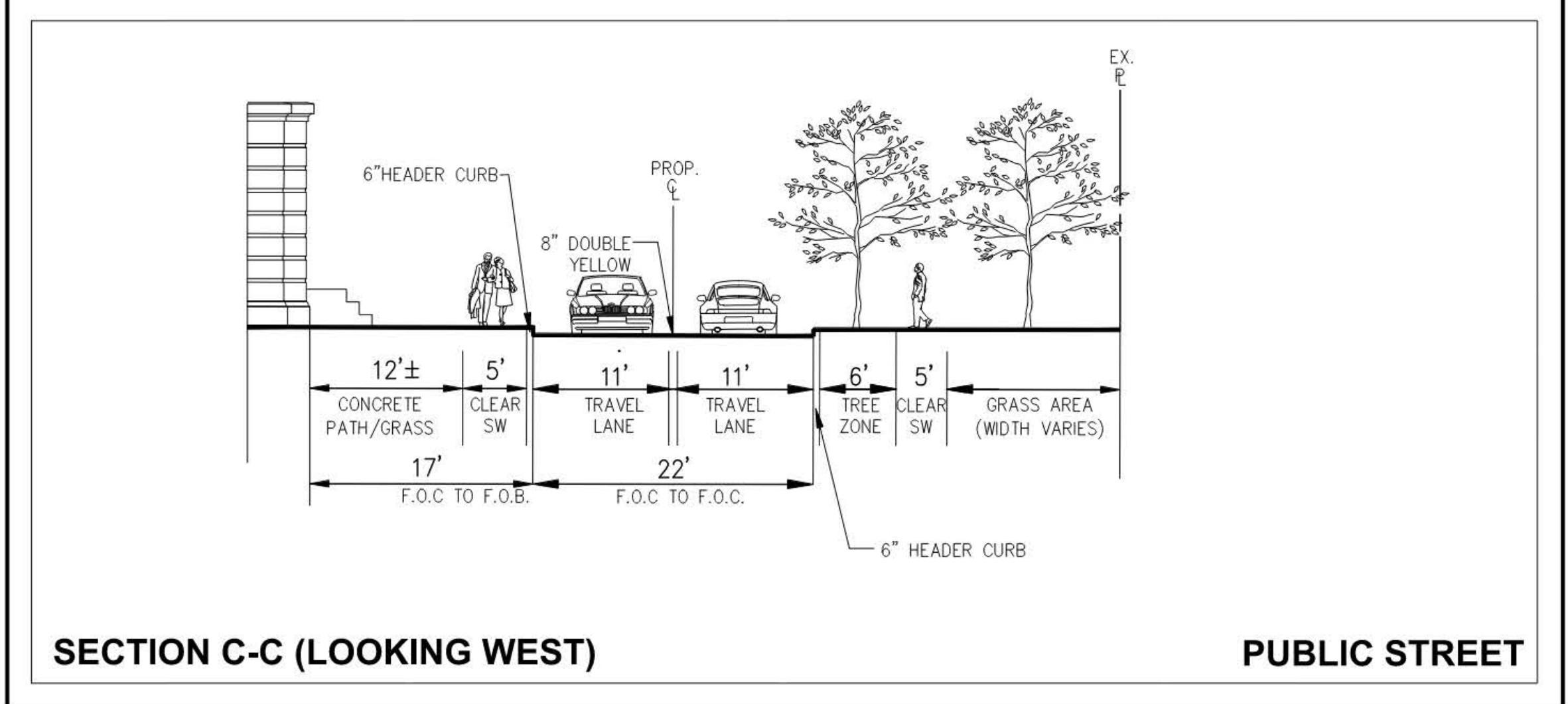
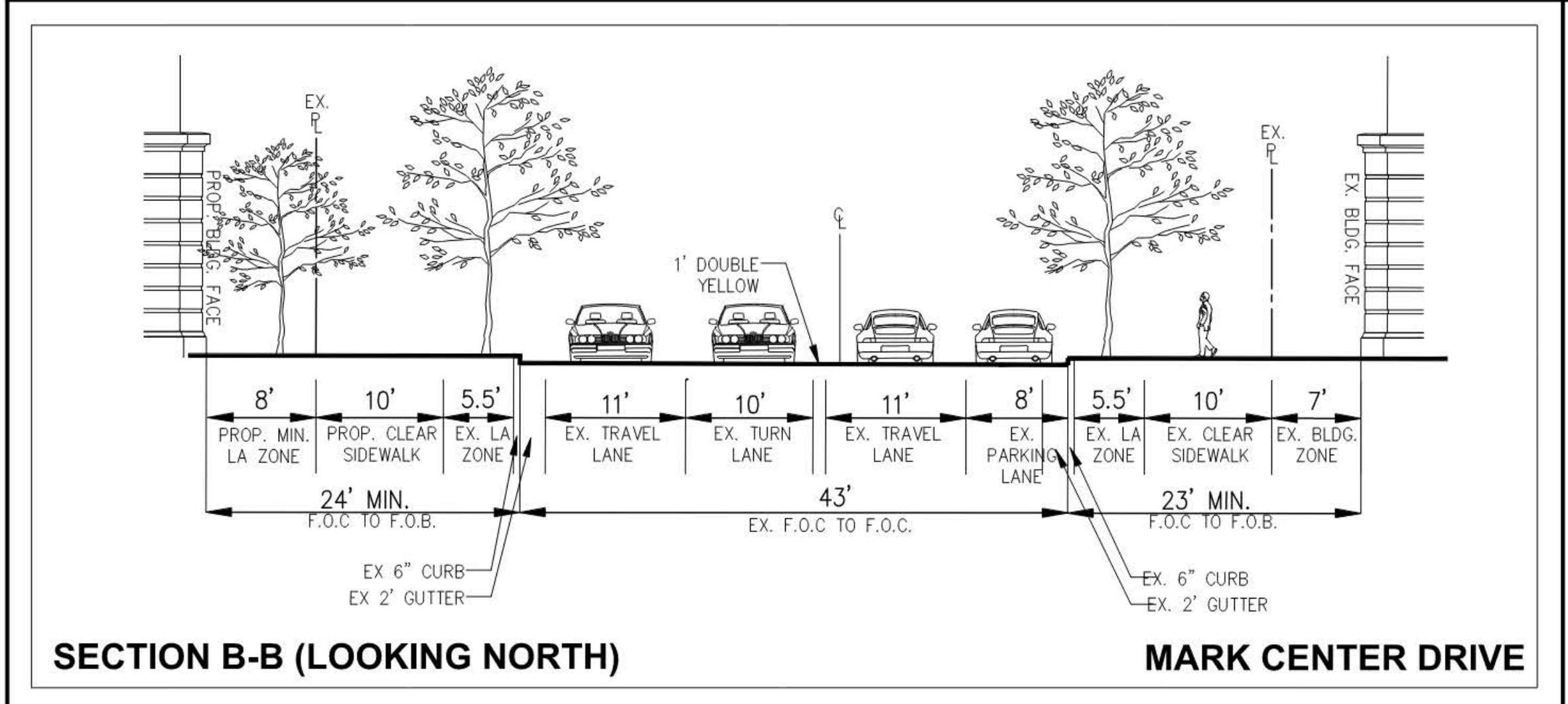
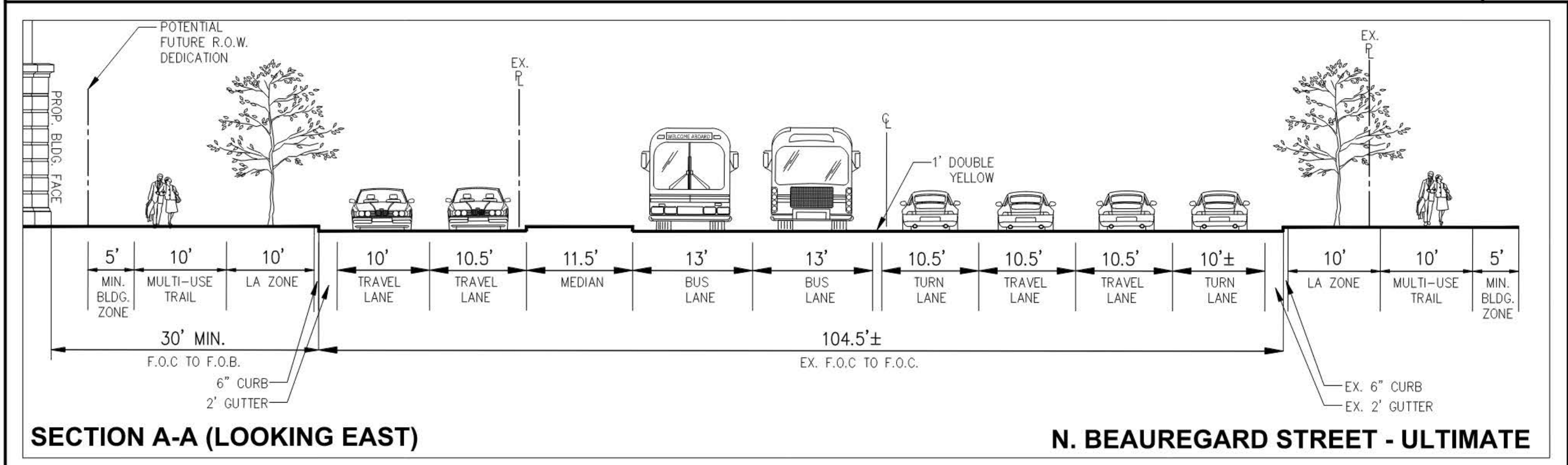
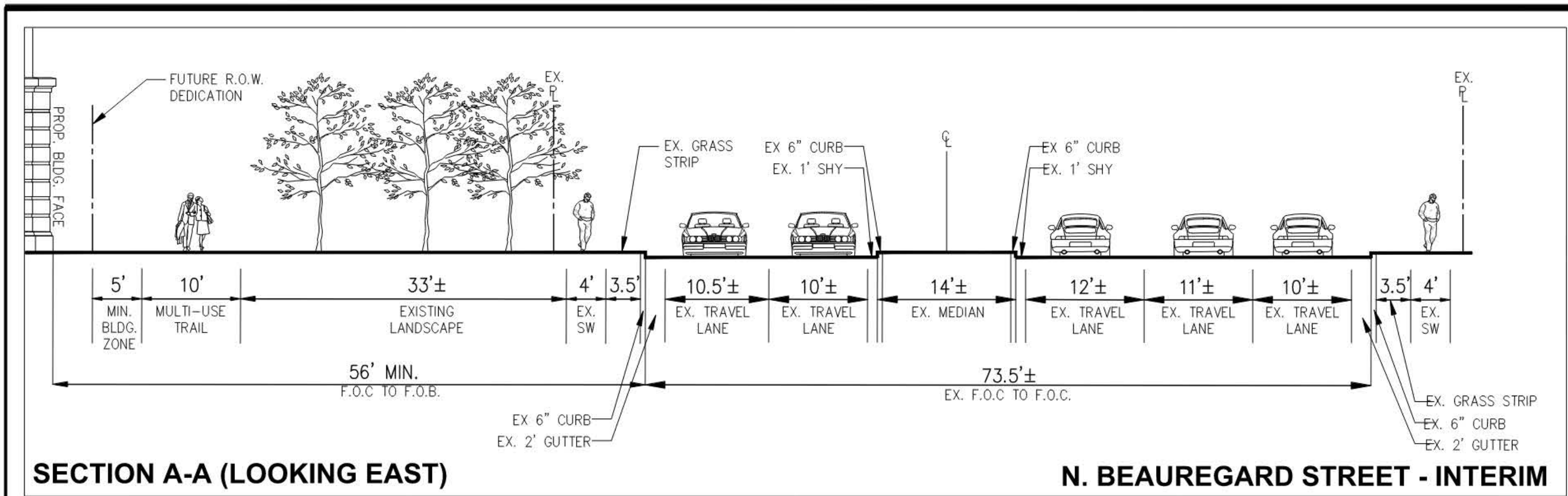
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KEY MAP
SCALE: 1" = 100'

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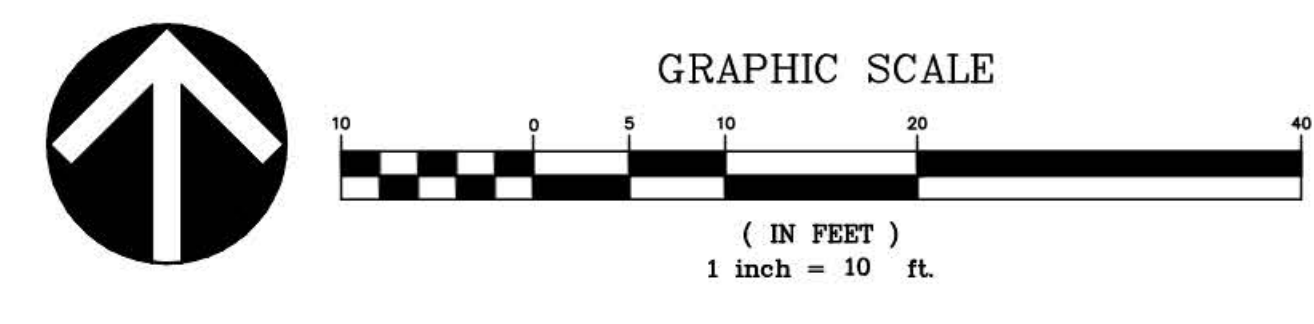


NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

STREET SECTIONS

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DIRECTOR	DATE	
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DATE RECORDED		
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DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	AS NOTED
VIKA NO.	VV8392A
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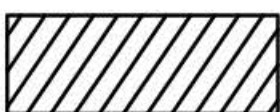

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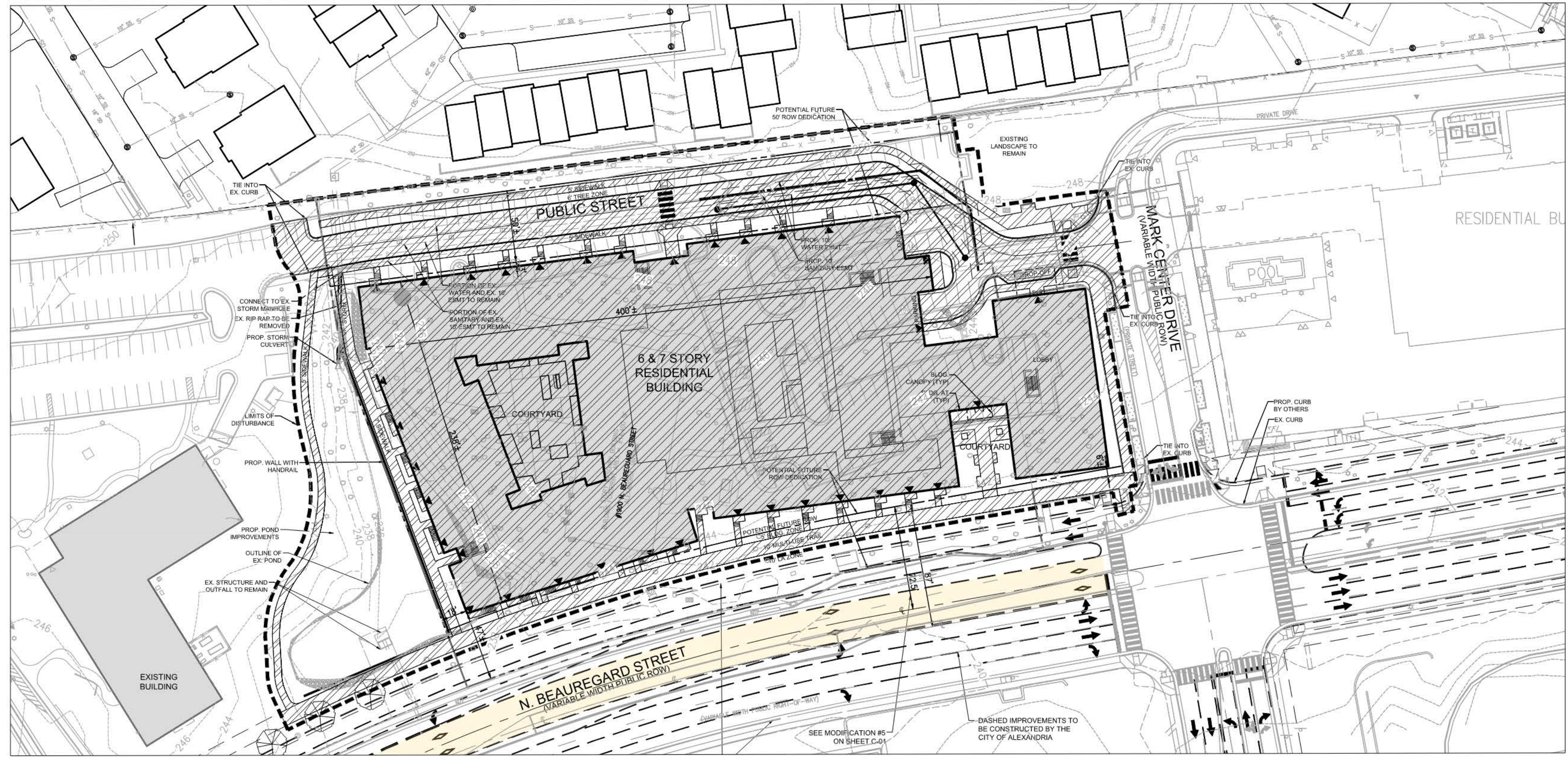
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PRE-DEVELOPMENT



LEGEND - EXISTING CONDITION

-  IMPERVIOUS AREA: 73,732 SF / 1.69 AC
-  PERVIOUS AREA: 96,823.20 SF / 2.23 AC
- TOTAL SITE AREA: 170,755.20 SF / 3.92 AC



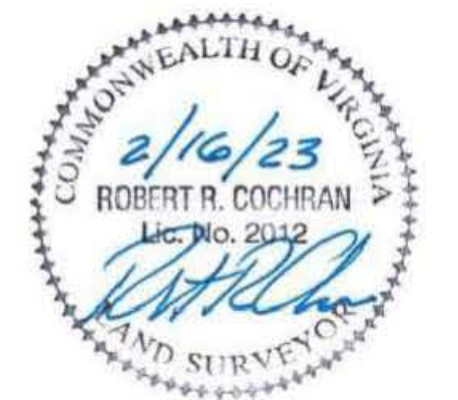
POST-DEVELOPMENT

LEGEND - PROPOSED CONDITION

-  IMPERVIOUS AREA: 127,195 SF / 2.92 AC
-  PERVIOUS AREA: 43560.20 SF / 1.00 AC
- TOTAL SITE AREA: 170,755.20 SF / 3.92 AC

PLAN STATUS	DATE
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PROFESSIONAL SEAL



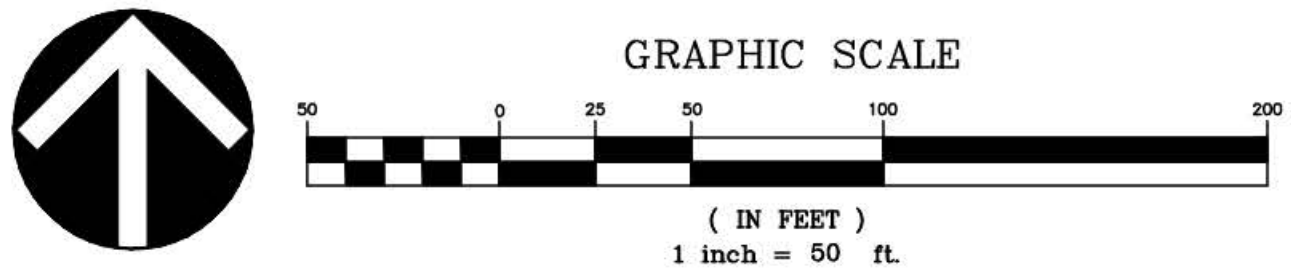
**NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II**

CITY OF ALEXANDRIA, VA

**STORMWATER
 MANAGEMENT PLAN**

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	PAGE NO.

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DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=50'
VIKA NO.	VV8392A
SHEET NO.	C-18





- SWM LEGEND**
- CONTRIBUTING DRAINAGE TO PROPRIETARY BMP DEVICE (40)
 - CONTRIBUTING DRAINAGE (190)
SWM VAULT 1
 - CONTRIBUTING DRAINAGE (92)
 - URBAN BIORETENTION (ROOFTOP DISCONNECT TO SWM PLANTER)
 - OFF-SITE CONTRIBUTING DRAINAGE (70)
 - ON-SITE CONTRIBUTING DRAINAGE (70)
 - URBAN BIORETENTION (BIO-TREE PIT)
 - PROPERTY LINE



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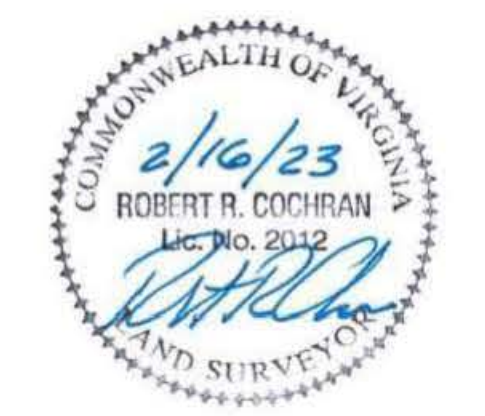
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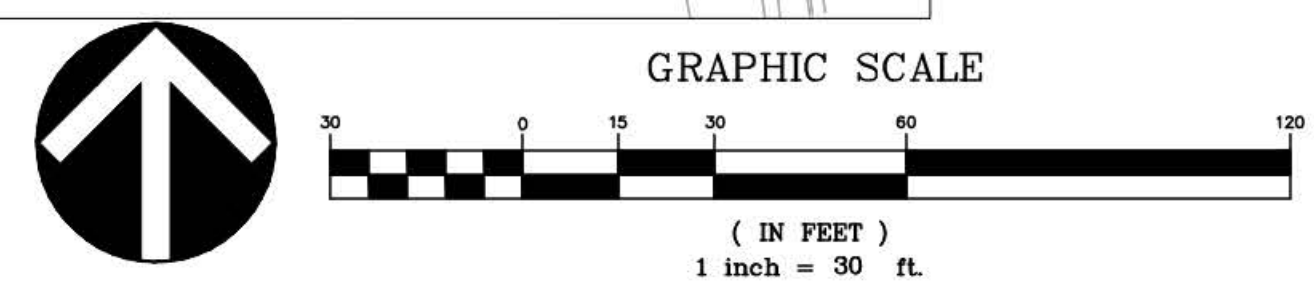


NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

STORMWATER MANAGEMENT PLAN

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.:	VV8392A
SHEET NO.:	C-18A

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Project Name: NORTH BEAUREGARD STREET
Date: 12/13/2022
Linear Development Project? No
Enter Total Disturbed Area (acres) 3.92
Maximum reduction required: 20%
The site's net increase in impervious cover (acres) is: 1.23
Post-Development TP Load Reduction for Site (lb/yr): 3.01

Pre-Development Land Cover (acres) table with columns for A Soils, B Soils, C Soils, D Soils, and Totals.

Post-Development Land Cover (acres) table with columns for A Soils, B Soils, C Soils, D Soils, and Totals.

Runoff Coefficients (Rc) table with columns for A Soils, B Soils, C Soils, D Soils, and Totals.

LAND COVER SUMMARY - PRE-REDEVELOPMENT table with columns for Listed and Adjusted values.

LAND COVER SUMMARY - POST DEVELOPMENT table with columns for Listed and Adjusted values.

Treatment Volume and Nutrient Load table with columns for Pre-Development and Post-Development values.

Post-Development Requirement for Site Area table showing TP Load Reduction Required (lb/yr) as 3.01.

Nitrogen Loads (Informational Purposes Only) table with columns for Pre-Development TN Load (lb/yr) and Final Post-Development TN Load (lb/yr).

Drainage Area A Land Cover (acres) table with columns for A Soils, B Soils, C Soils, D Soils, and Totals.

Stormwater Best Management Practices (RR = Runoff Reduction) table with columns for Practice, Runoff Reduction Credit, and Phosphorus Removal.

Summary boxes for: TOTAL IMPERVIOUS COVER TREATED (2.53 ac), TOTAL MANAGED TURF AREA TREATED (0.00 ac), TOTAL RUNOFF REDUCTION IN D.A. A (3,490 ft³), TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (6.90 lb/yr), TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (3.01 lb/yr), TOTAL PHOSPHORUS REMAINING AFTER APPLYING RUNOFF REDUCTION PRACTICES IN D.A. A (3.89 lb/yr).

Runoff Volume and Curve Number Calculations
Enter design storm rainfall depths (in): 1-year storm 2.70, 2-year storm 3.20, 10-year storm 5.20
Runoff Volume (RV) and Curve Number (CN) calculations for Drainage Area A.

Drainage Area A Land Cover (acres) table with columns for A Soils, B Soils, C Soils, D Soils, and Totals.

Stormwater Best Management Practices (RR = Runoff Reduction) table with columns for Practice, Runoff Reduction Credit, and Phosphorus Removal.

Summary boxes for: TOTAL IMPERVIOUS COVER TREATED (2.53 ac), TOTAL MANAGED TURF AREA TREATED (0.00 ac), TOTAL RUNOFF REDUCTION IN D.A. A (3,490 ft³), TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (6.90 lb/yr), TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (3.01 lb/yr), TOTAL PHOSPHORUS REMAINING AFTER APPLYING RUNOFF REDUCTION PRACTICES IN D.A. A (3.89 lb/yr).

Site Results (Water Quality Compliance) table with columns for Area Checks (Forest/Open Space, Impervious Cover, Managed Turf Area) and Area Check results.

Site Treatment Volume (ft³) table showing 10,977.

Runoff Reduction Volume and TP By Drainage Area table with columns for D.A. A, D.A. B, D.A. C, D.A. D, D.A. E, and TOTAL.

Summary boxes for: Total Phosphorus (Final Post-Development TP Load 6.90, TP Load Reduction Required 3.01, TP Load Reduction Achieved 3.01, TP Load Remaining 3.89), Remaining TP Load Reduction Required (0.00), Total Nitrogen (Post-Development Load 49.34, Nitrogen Load Reduction Achieved 25.07, Remaining Post-Development Nitrogen Load 24.27).

DESIGN NOTES: COMPUTATIONS HEREON ARE BASED ON APPROXIMATIONS OF PROPOSED PERVIOUS/IMPERVIOUS AREA...
BMP NARRATIVE: THIS PROJECT IS CLASSIFIED AS A RE-DEVELOPMENT UNDER CITY CODE 13-109-E(5)(A)...
SWM NARRATIVE: THE 3.92 ACRE SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS...
PROFESSIONAL SEAL: ROBERT R. COCHRAN, Lic. No. 2012

STORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES: THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE...

STORMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT: THE APPLICANT SHALL SUBMIT TO THE CITY OF ALEXANDRIA A STORMWATER BMP FACILITIES MAINTENANCE AGREEMENT WITH THE FINAL SUBMISSION...

NOTE: ALL BMP AND SWM FACILITIES SHALL BE PRIVATELY MAINTAINED.

CONSTRUCTION INSPECTION CHECKLISTS AND ASSOCIATED PHOTOGRAPHIC DOCUMENTATION MUST BE COMPLETED FOR EACH BMP DURING CONSTRUCTION...

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DIRECTOR DATE
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SITE PLAN No.



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PLAN STATUS and DATE table showing 2nd Submission on 12/23/2022 and Concept II 1st Submission on 02/16/2023.

PROFESSIONAL SEAL area with a circular seal for Robert R. Cochran, Lic. No. 2012, dated 2/16/23.

NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

STORMWATER MANAGEMENT COMPUTATIONS
DRAWN BY: NDR
DESIGNED BY: VIKA
DATE ISSUED: 07/21/22
DWG. SCALE: NOT TO SCALE
VIKA NO.: WV8392A
SHEET NO.: C-19

SECTION 9-A-3: DESIGN TABLE

Table 9-A.2. Urban Bioretention Design Criteria

Level 1 Design Only (RR: 40; TP: 25)
Sizing (Refer to Section 9-A-6.1):
Surface Area (sq. ft.) = $T_p/2 = \{[(1.0 \text{ inch})(R_v)(A)/12]\}$ – the volume reduced by an upstream BMP/2
Underdrain = Schedule 40 PVC with clean-outs
(Refer to the Main Bioretention Design Specification, Section 9.8)
Maximum Drainage Area = 2,500 sq. ft.
Maximum Ponding Depth = 6 to 12 inches
Filter media depth minimum = 30 inches, recommended maximum = 48 inches
Media and Surface Cover (Refer to the Main Bioretention Design Specification, Section 9.8)
Sub-soil testing (Refer to the Main Bioretention Design Specification, Section 9.8)
Inflow = sheetflow, curb cuts, trench drains, roof drains, concentrated flow, or equivalent
Building setbacks (Refer to Section A-4 9-A-5)
Deeded maintenance O&M plan (Refer to the Main Bioretention Design Specification, Section 9.1)
¹ Ponding depth above 6 inches will require a specific planting plan to ensure appropriate plants (Refer to the Main Bioretention Design Specification, Section 6.8).

SECTION 9-A-4: TYPICAL DETAILS

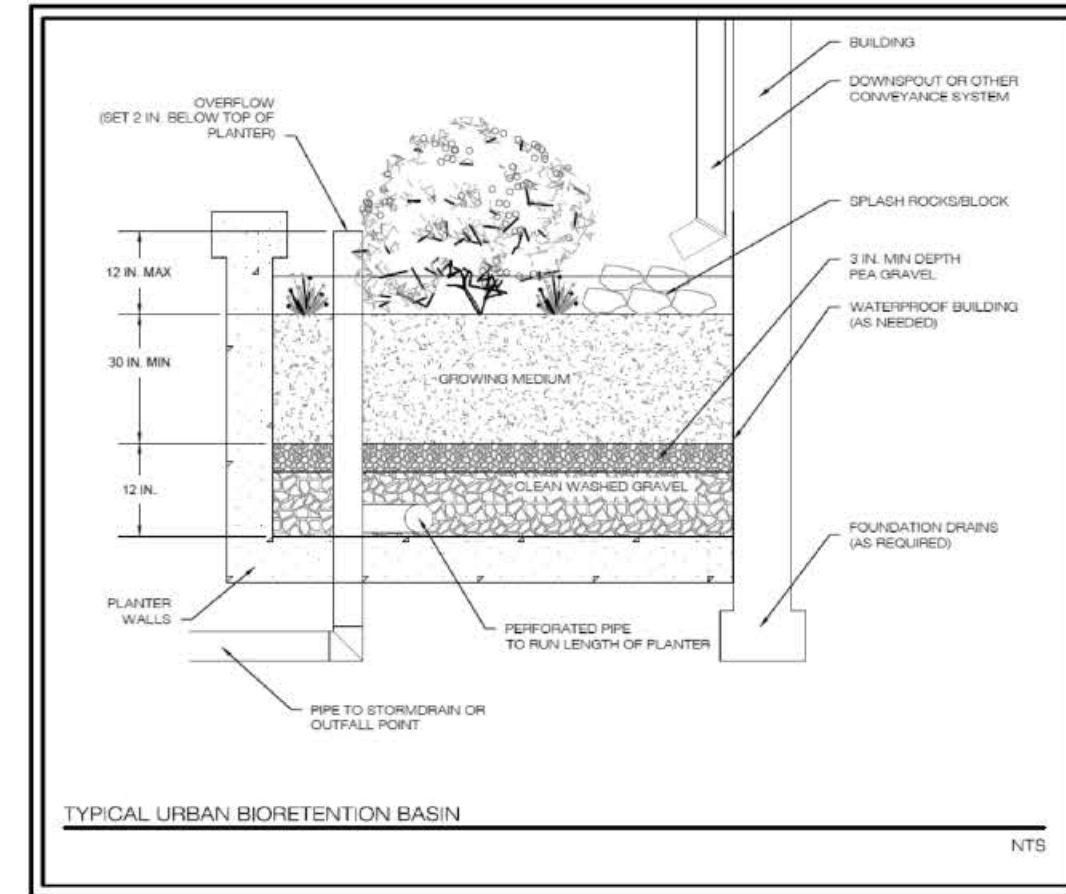
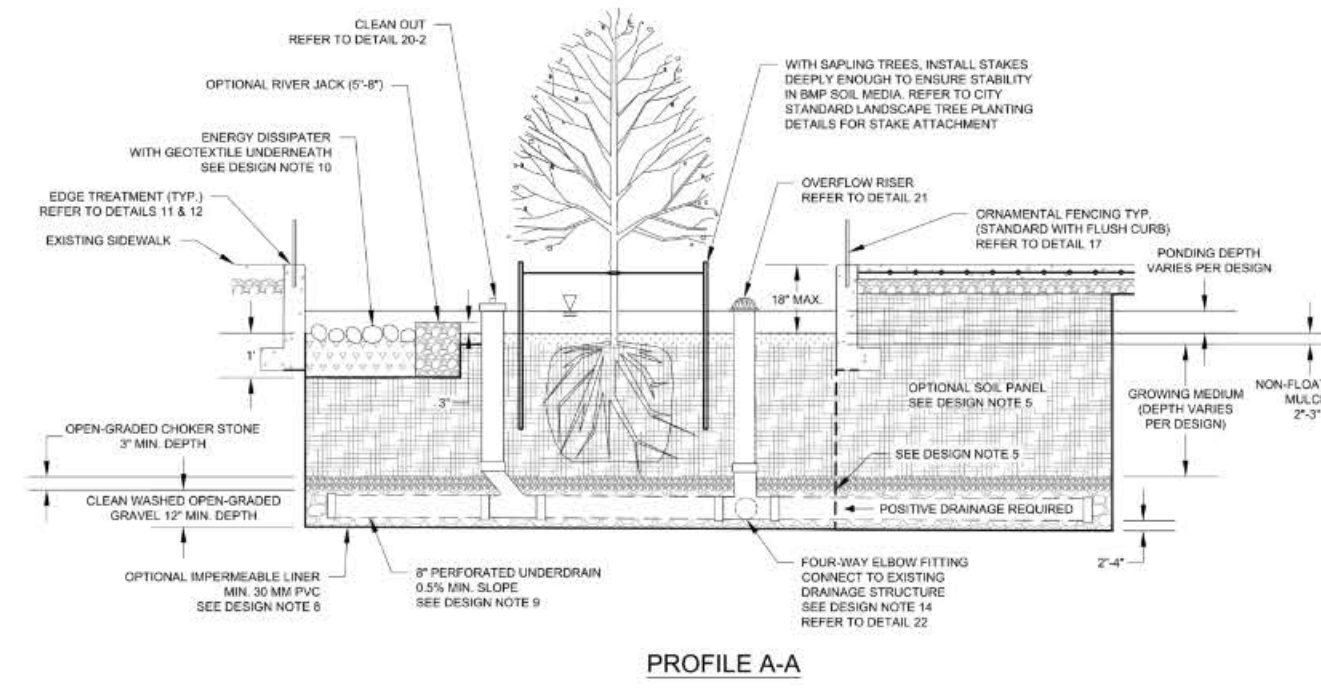
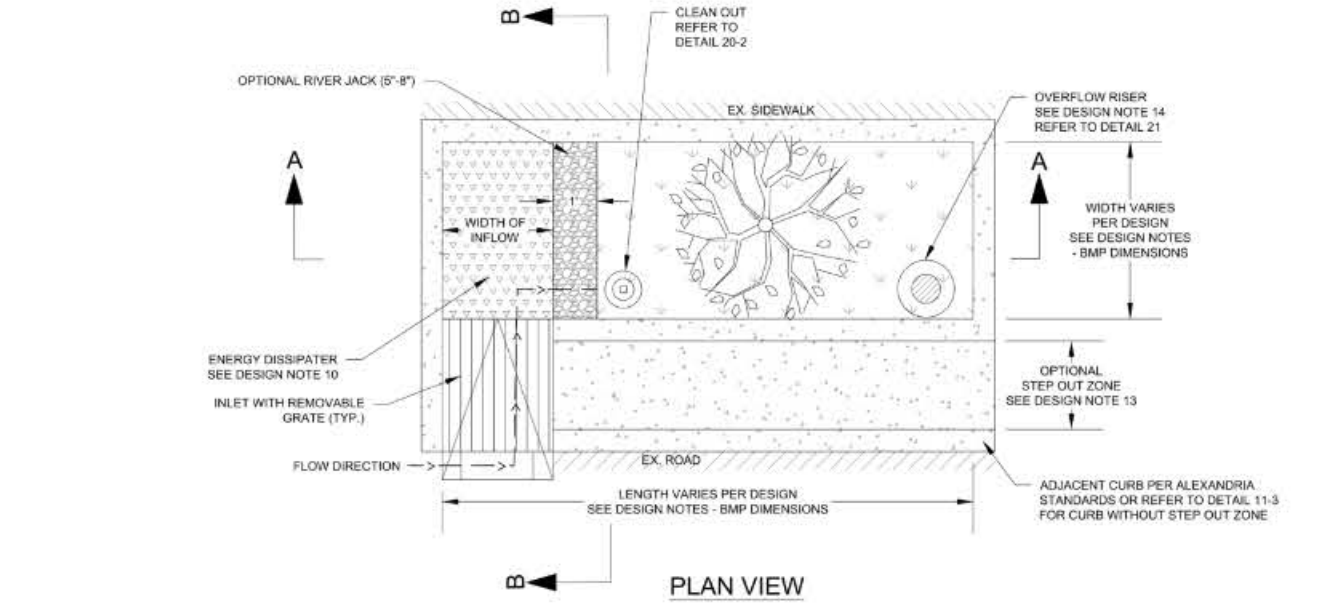


Figure 9-A.4. Stormwater Planter Cross-Section



DETAIL 1
INDIVIDUAL TREE WELL

GREEN STREETS AND SIDEWALKS 45 STORMWATER DESIGN GUIDELINES, ALEXANDRIA, VA

Project Description

Development or <u>Redevelopment</u>			
Drainage Area	Impervious	Pervious	Total
Site Area	2.92 AC	1.0 AC	3.92 AC
On-Site Treated	2.10 AC	0.20 AC	2.30 AC
Off-Site Treated	0.23 AC	0.00 AC	0.23 AC
Total Treated	2.33 AC	0.20 AC	2.53 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)			
Total On-Site Treated or Disconnected			

Water Treatment on site

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
BIO TREE PITS	0.30	0.30	55
SWM PLANTER	2.00	2.00	55

Miscellaneous

Total QVQ treated: yes no
 Detention on site: yes no
 Project is within which watershed? HOLMES RUN
 Project discharges to which body of water? EXISTING POND

1 STORM PLANTER CROSS-SECTION
C-20A NOT TO SCALE

2 INDIVIDUAL TREE WELL
C-20A NOT TO SCALE



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Concept II 1st Submission	02/16/2023

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NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

SWM NOTES AND DETAILS

DRAWN BY: NDR
 DESIGNED BY: VIKA
 DATE ISSUED: 07/21/22
 DWG. SCALE: NOT TO SCALE
 VIKA NO.: VV8392A
 SHEET NO.: C-20A

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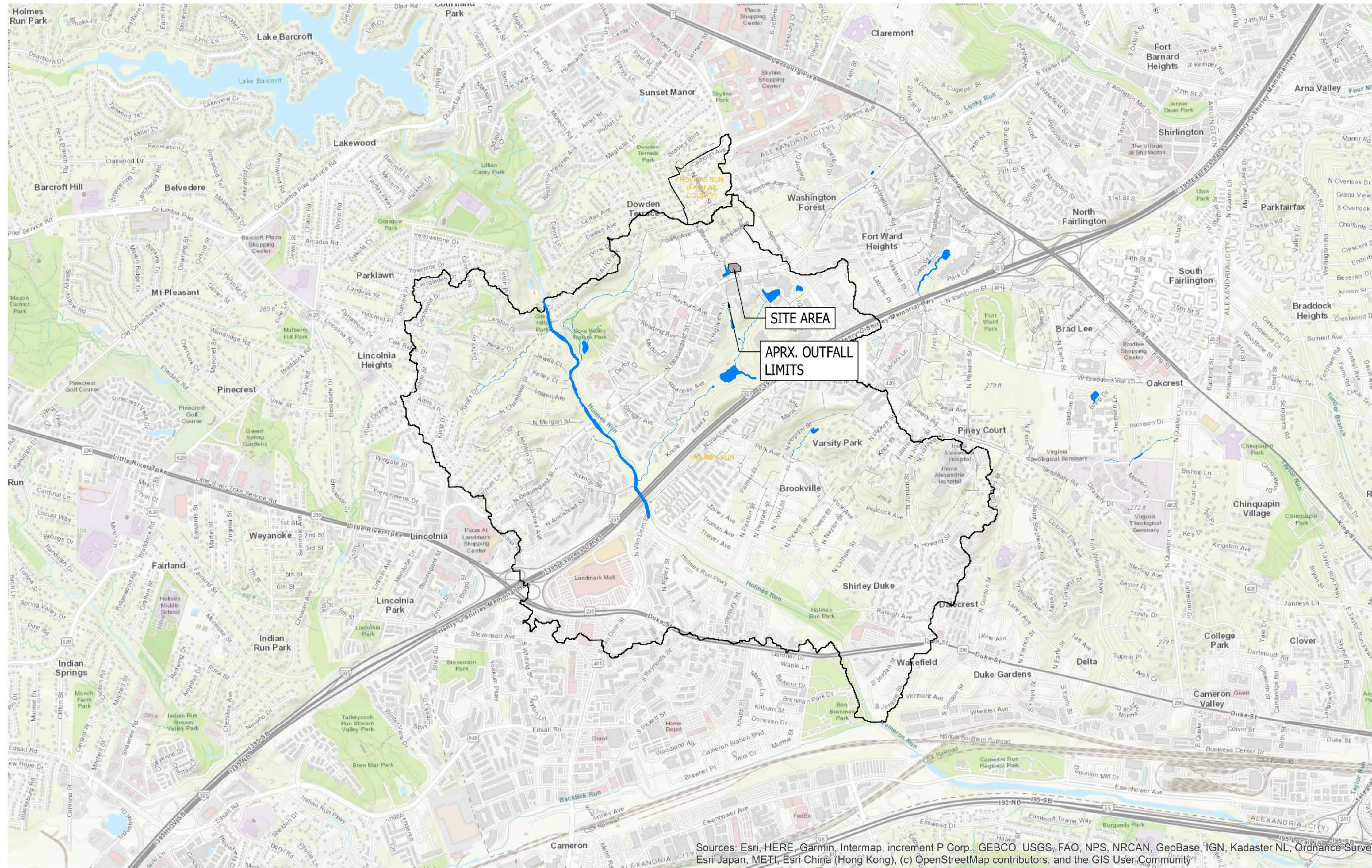
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

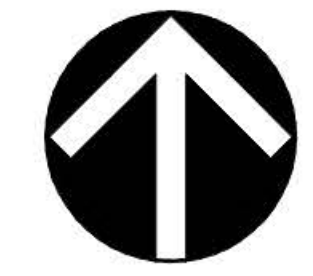
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DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



NORTH (VCS 83)

OUTFALL NOTE:

THE SUBJECT PROPERTY IS BOUNDED BY RESIDENTIAL TOWNHOMES TO THE NORTH, MARK CENTER DRIVE TO THE EAST, N. BEAUREGARD STREET TO THE SOUTH, AND PARCELS OFFICE SPACE TO THE WEST. CURRENTLY THERE IS ONE OUTFALL ASSOCIATED WITH THIS SITE WHICH IS DRAINS TO THE SOUTH WESTERN DIRECTION. THIS SINGLE OUTFALL POINT IS AN EXISTING POND, LOCATED TO THE WEST OF THE SUBJECT PROPERTY.

THE STUDY OF THE SUBJECT SITE WILL FOCUS ON THE EXISTING POND WEST OF THE PROPERTY AND CONTINUE SOUTH TOWARDS THE PARK IN THE SOUTH EAST DIRECTION OF N. HIGHVIEW LANE. ULTIMATE OUTFALL LIMITS TO BE FINALIZED AT SITE PLAN.



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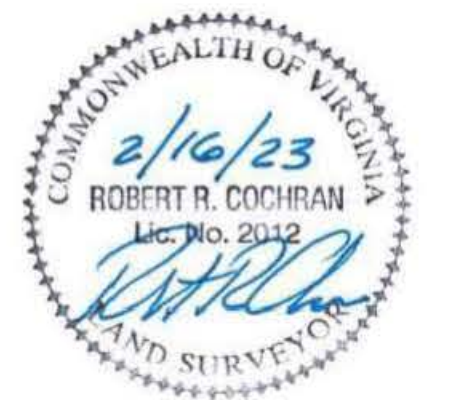
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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

ADEQUATE OUTFALL ANALYSIS

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1" = 30'
VIKA NO.:	W8392A
SHEET NO.:	C-21

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INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

SANITARY SEWER OUTFALL NARRATIVE:

IT IS ANTICIPATED THAT THE PROPOSED NET INCREASE IN SANITARY FLOW RESULTING FROM THIS DEVELOPMENT WILL BE APPROXIMATELY:

RESIDENTIAL: 348 UNITS x 300 = 104,400
OFFICE: 43,200 x 20 GDP / 100 SF = -8,640
95,760 GPD x 4 (PEAK FACTOR) = 383,040 GPD (266 GPM)

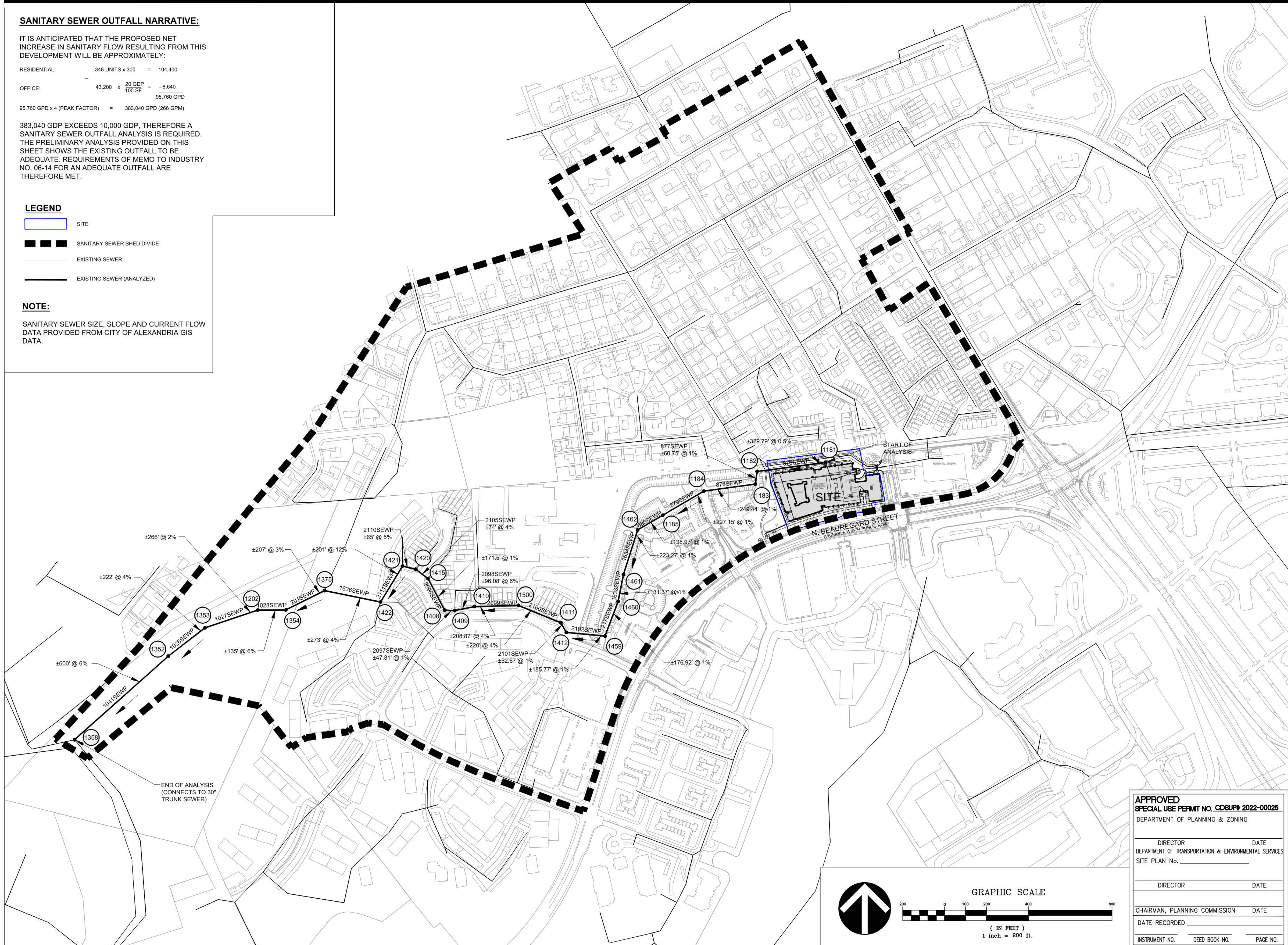
383,040 GDP EXCEEDS 10,000 GDP, THEREFORE A SANITARY SEWER OUTFALL ANALYSIS IS REQUIRED. THE PRELIMINARY ANALYSIS PROVIDED ON THIS SHEET SHOWS THE EXISTING OUTFALL TO BE ADEQUATE. REQUIREMENTS OF MEMO TO INDUSTRY NO. 06-14 FOR AN ADEQUATE OUTFALL ARE THEREFORE MET.

LEGEND

- SITE
- SANITARY SEWER SHED DIVIDE
- EXISTING SEWER
- EXISTING SEWER (ANALYZED)

NOTE:

SANITARY SEWER SIZE, SLOPE AND CURRENT FLOW DATA PROVIDED FROM CITY OF ALEXANDRIA GIS DATA.



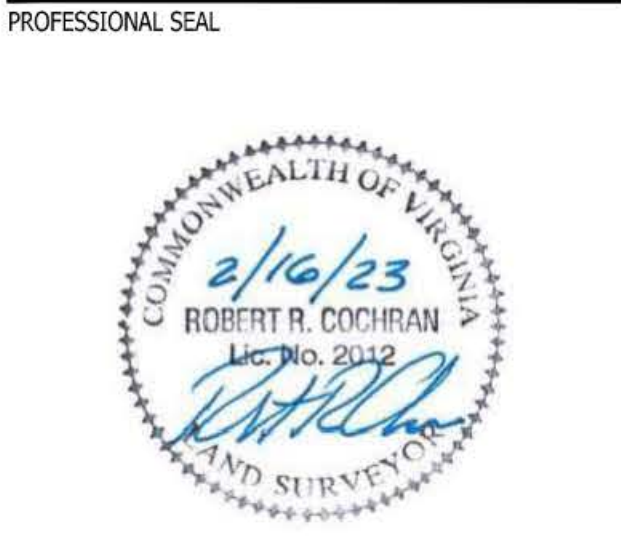
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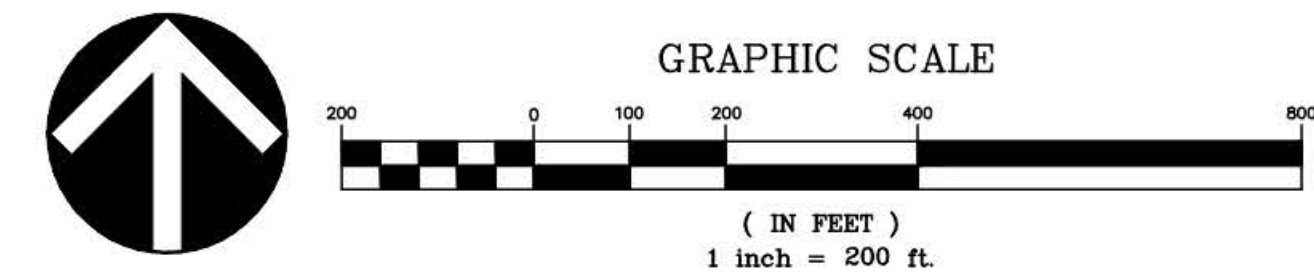


NORTH BEAUGARD STREET
DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

SANITARY OUTFALL ANALYSIS

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CHAIRMAN, PLANNING COMMISSION		DATE	
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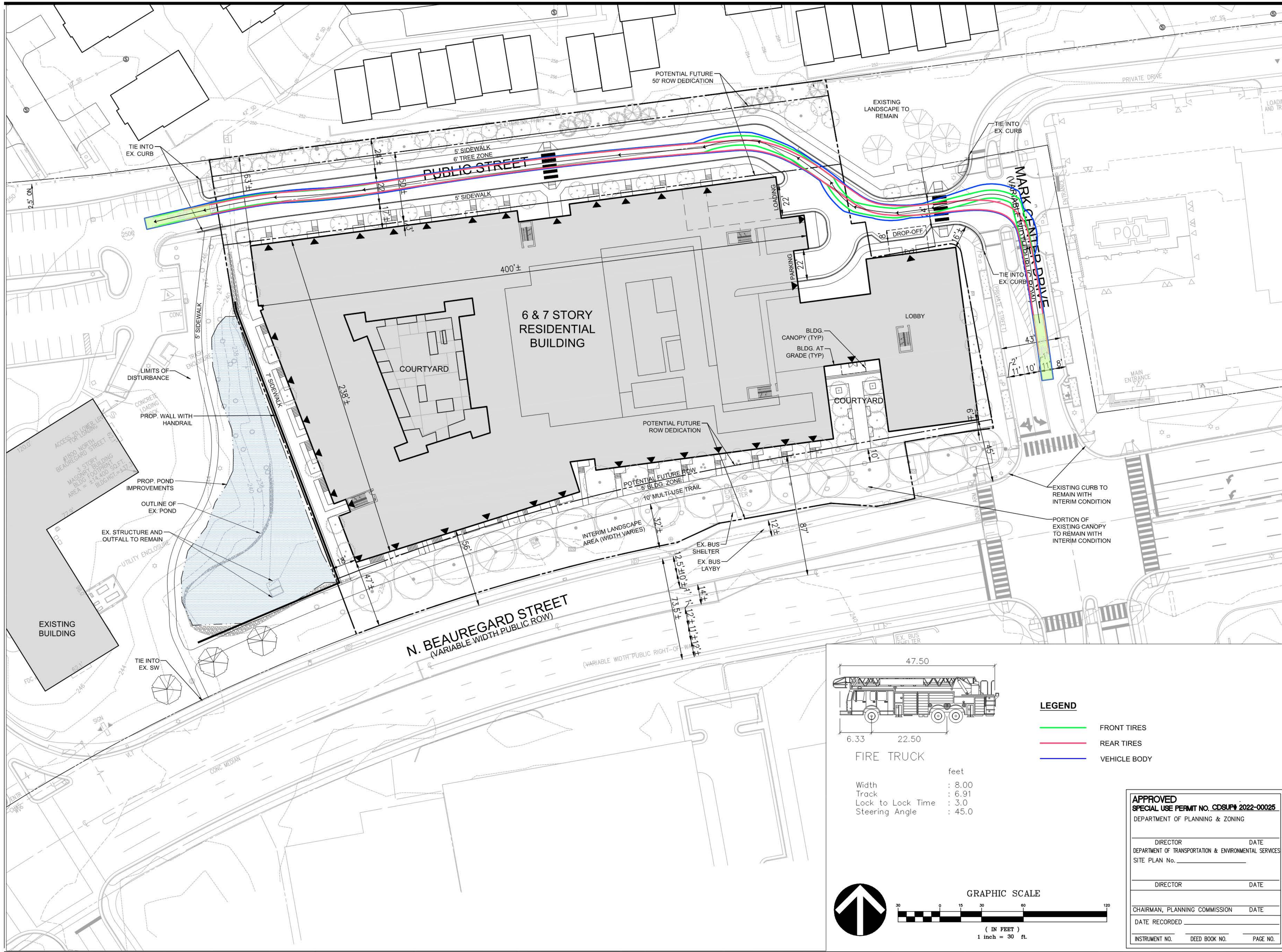


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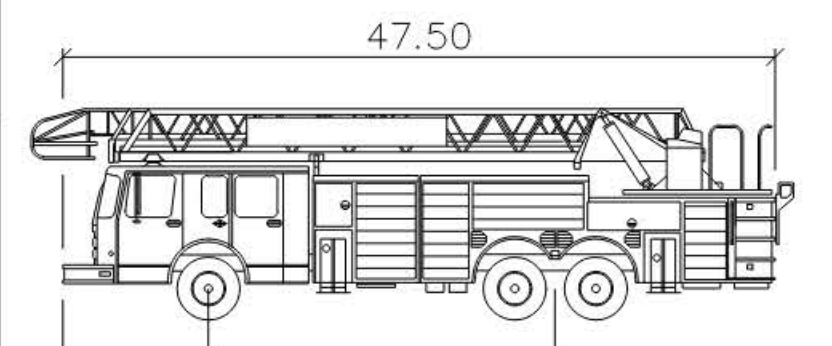


NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

FIRE TRUCK
 AUTOTURN EXHIBIT

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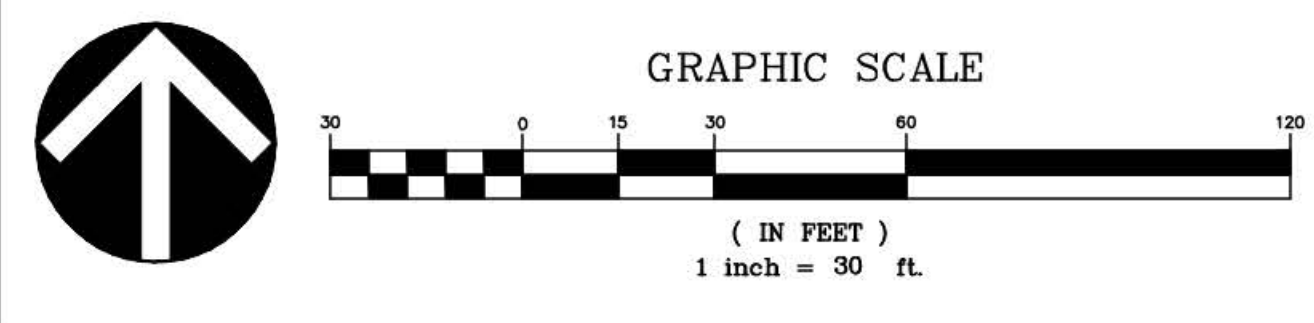


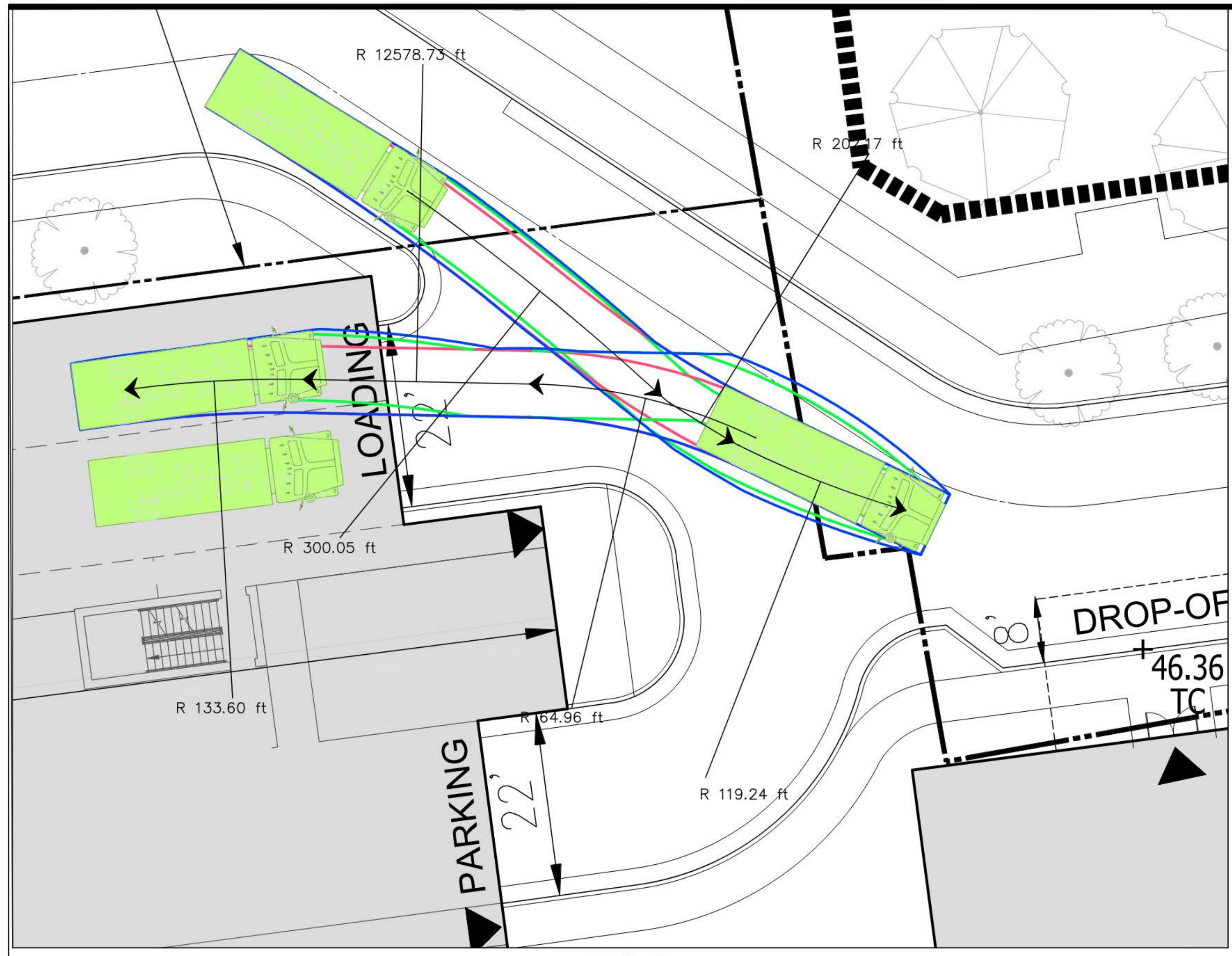
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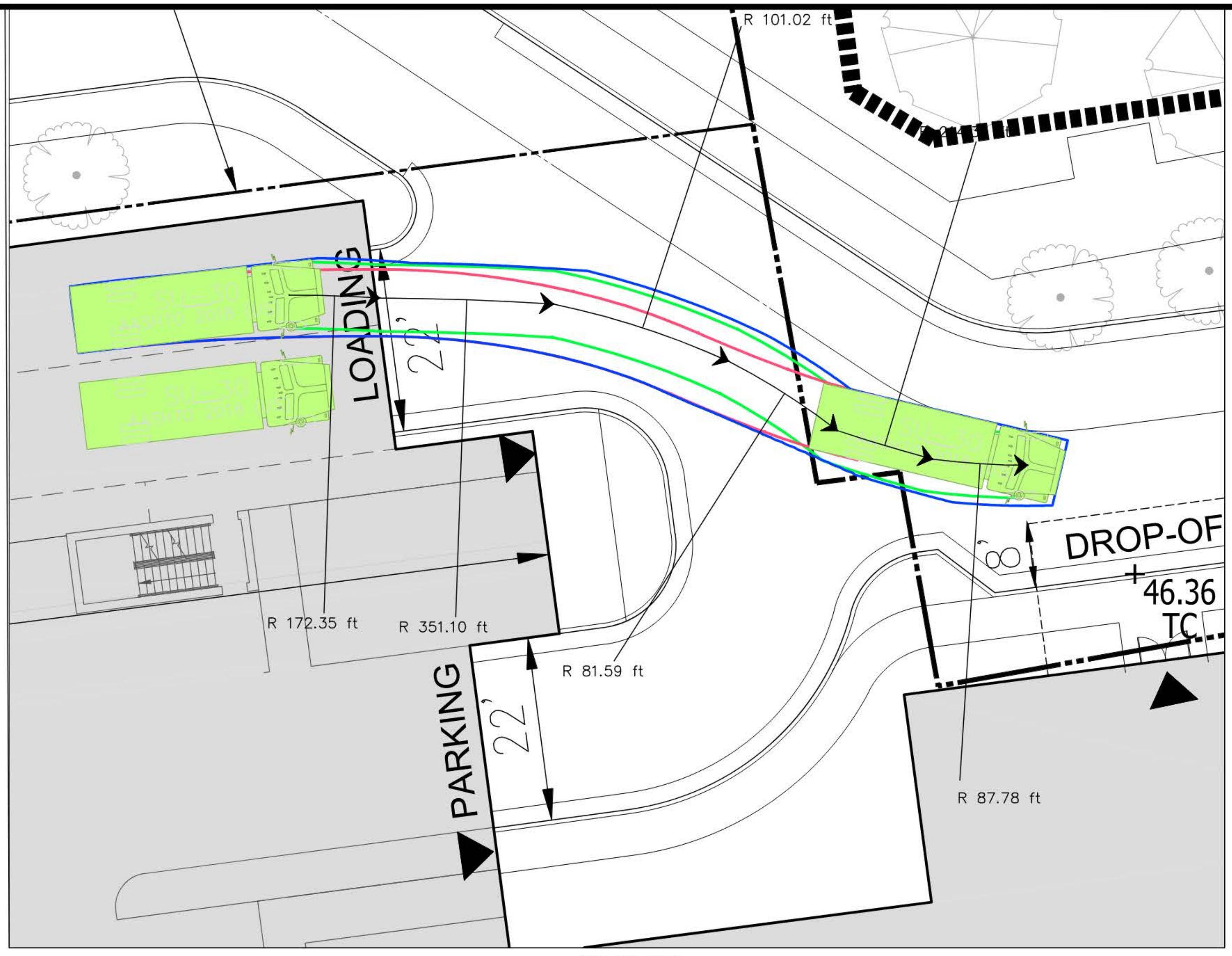
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—	REAR TIRES
—	VEHICLE BODY

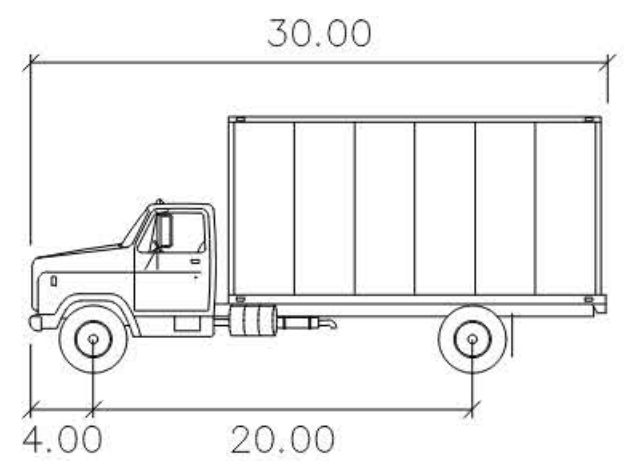




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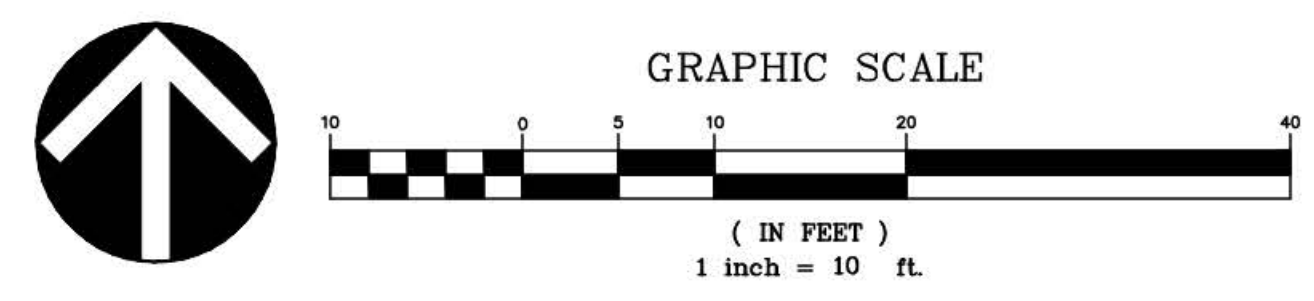


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 Lock to Lock Time : 6.0
 Steering Angle : 31.8

LEGEND
 — FRONT TIRES
 — REAR TIRES
 — VEHICLE BODY



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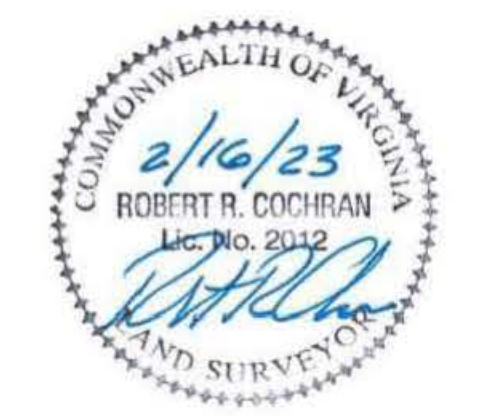
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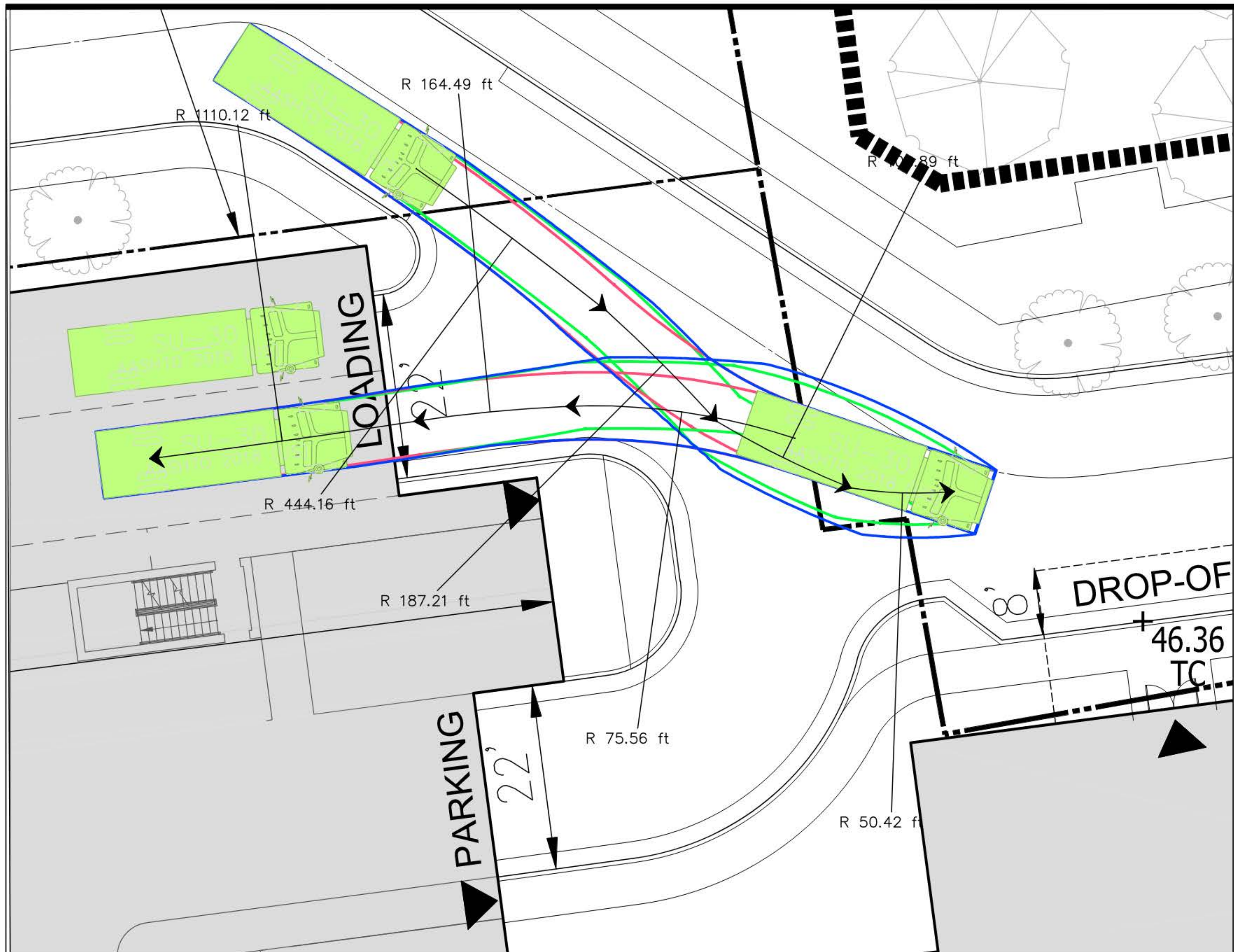
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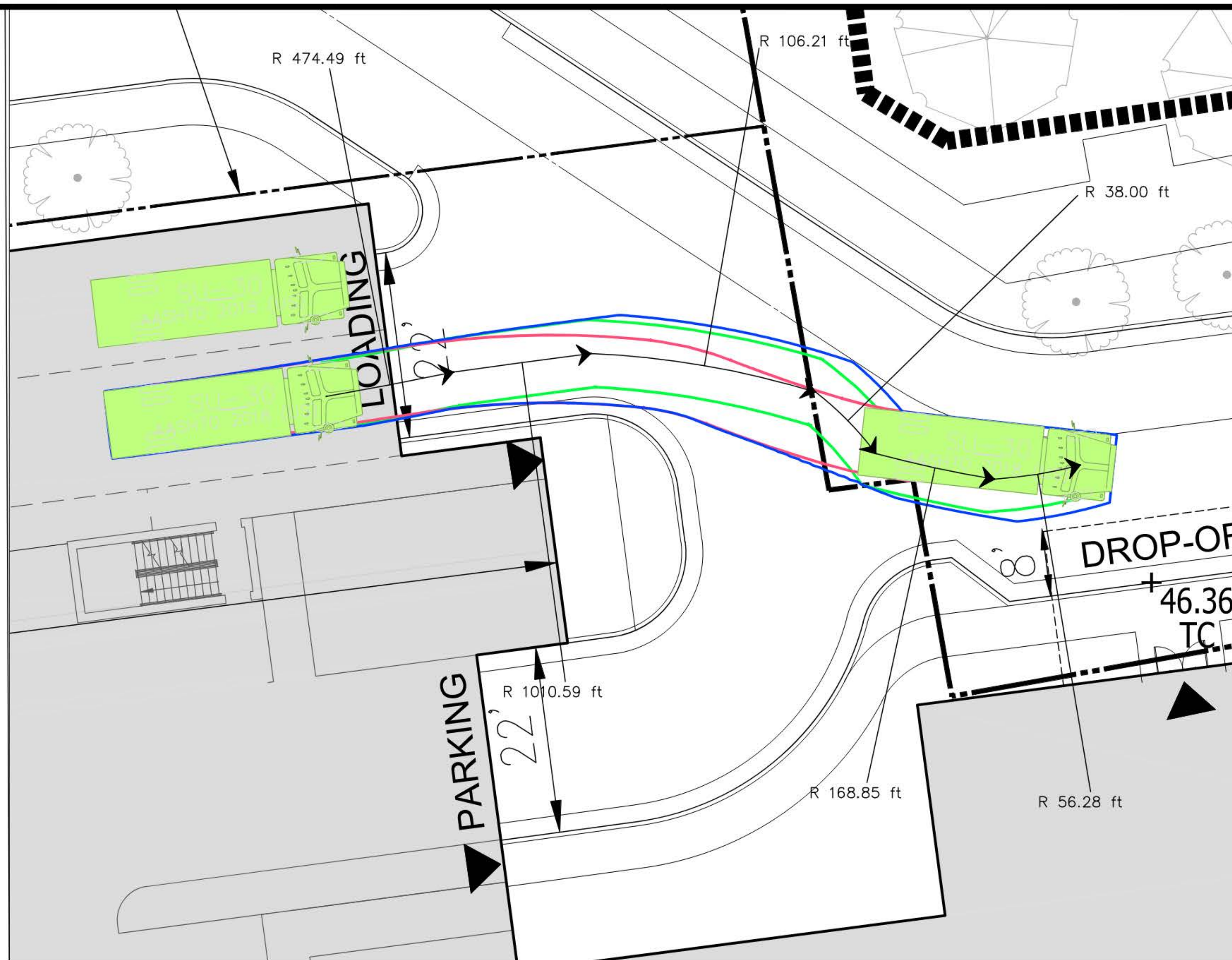
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 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

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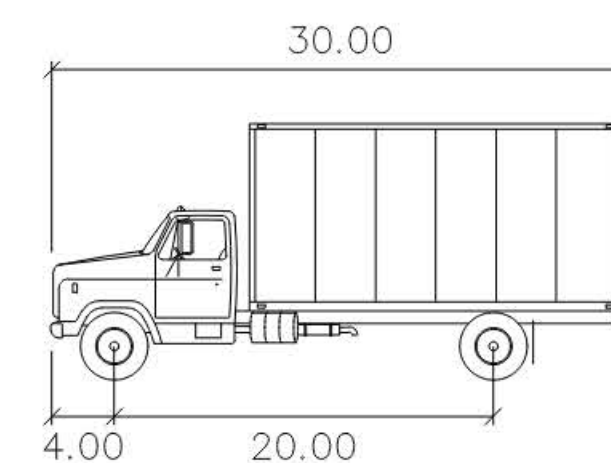
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SU-30 - OUT

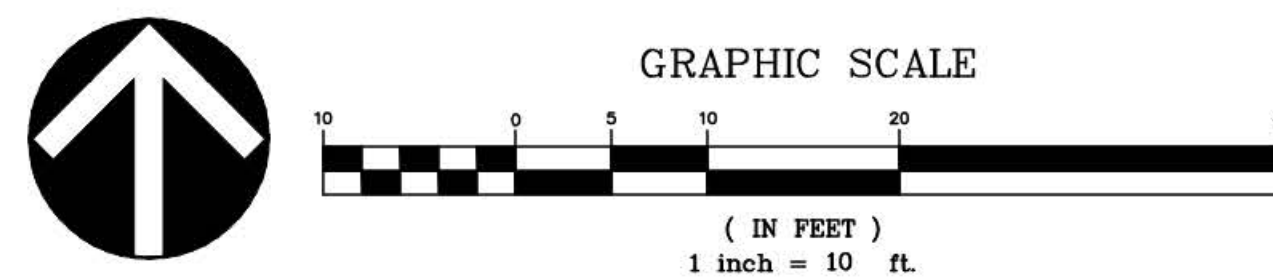


SU-30

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LEGEND

—	FRONT TIRES
—	REAR TIRES
—	VEHICLE BODY



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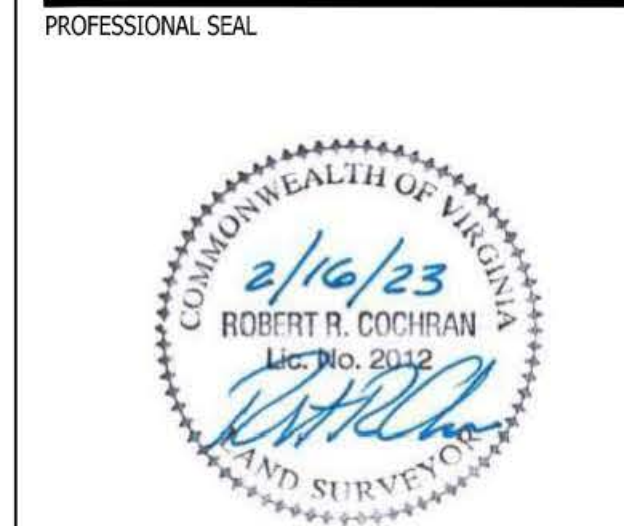
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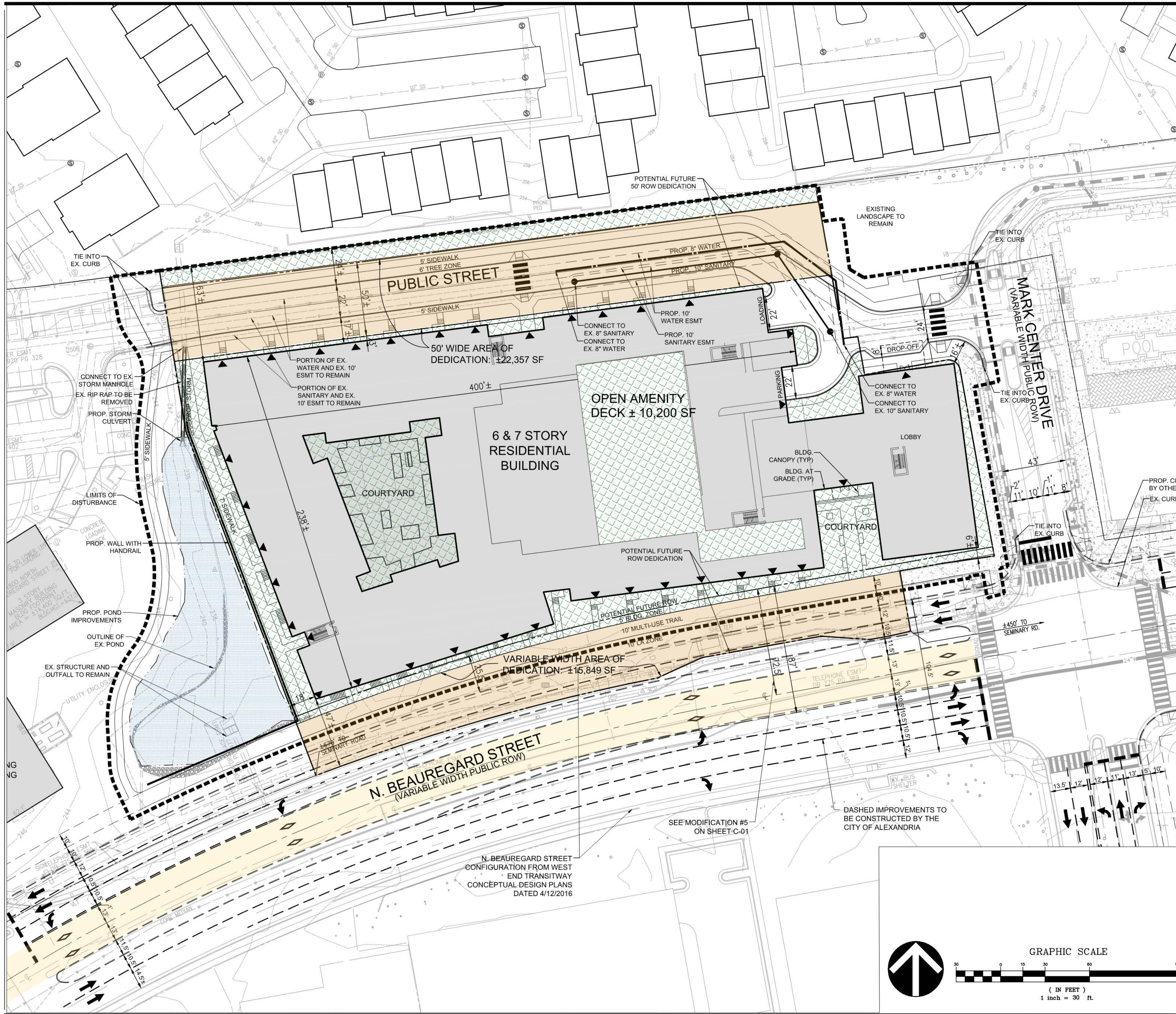
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NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

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DESIGNED BY:	VIKA
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DWG. SCALE:	1"=10'
VIKA NO.:	VV8392A
SHEET NO.:	C-25



TABLATIONS

GROSS SITE AREA: 150,064 SF (3.45 AC)
 AREA OF DEDICATION: 38,206 SF
 NET SITE AREA: 111,758 SF (2.56)

LEGEND

[Orange Box] AREA OF DEDICATION
 [Green Box] OPEN SPACE 34,640 SF± (INCLUDES 6,511 SF IN INTERIOR COURTYARD AND 10,200 SF IN AMENITY DECK)

OPEN SPACE PERCENTAGE: 31%
 (NOTE: OPEN SPACE BASED ON NET SITE AREA)

VKA

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PLAN STATUS

PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL

COMMONWEALTH OF VIRGINIA
 2/16/23
 ROBERT R. COCHRAN
 Lic. No. 2012
 LAND SURVEYOR

NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

NOTE:
 LOCATION AND SPECIES OF PROPOSED VEGETATION ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.

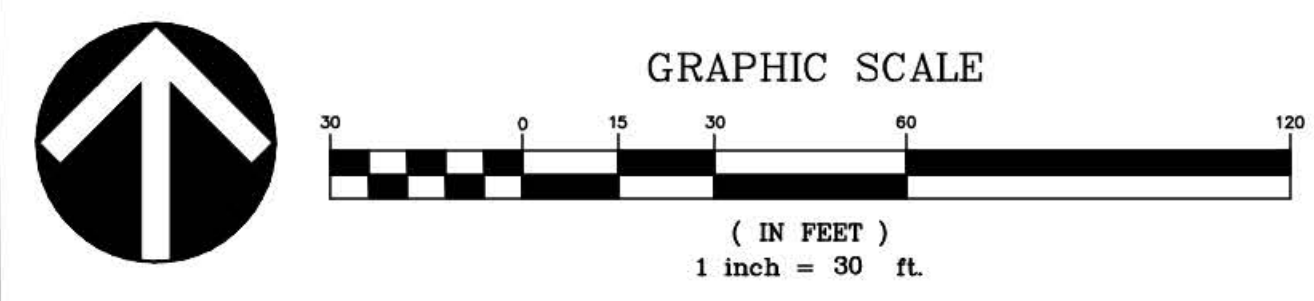
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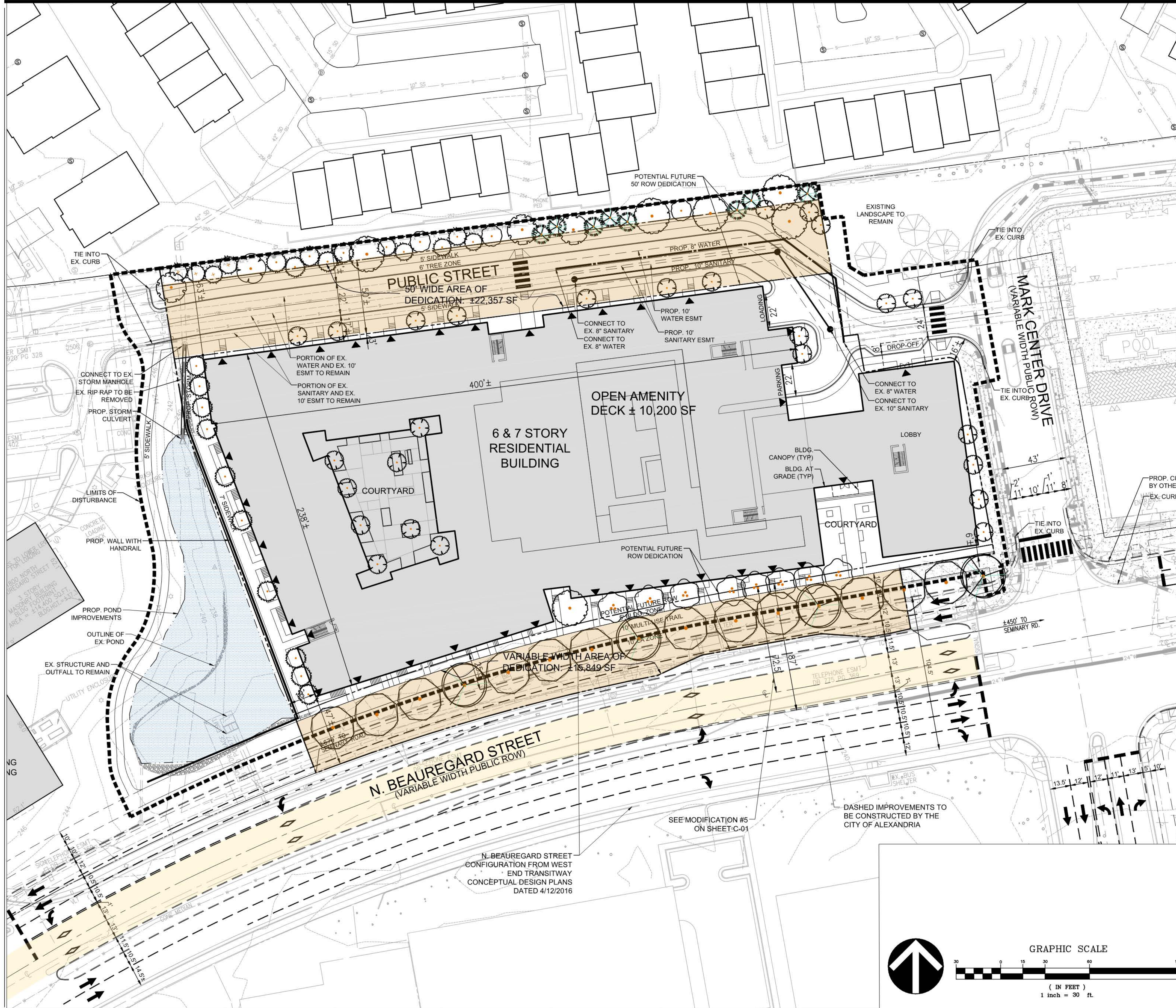
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN No.	

DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

LANDSCAPE & OPEN SPACE PLAN

DRAWN BY:	NDR
DESIGNED BY:	VKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VKA NO.:	VV8392A
SHEET NO.:	L-01





LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE

SEE L-03 FOR ADDITIONAL INFORMATION REGARDING PROPOSED TREES.

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 Tysons, VA 22102
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LANDSCAPE & OPEN SPACE PLAN





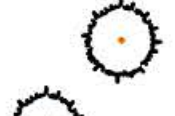
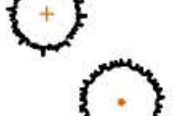







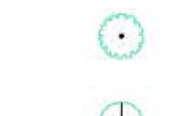
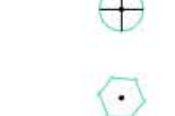




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DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
VIKA NO.	VV8392A
SHEET NO.	L-02

PLANT SCHEDULE TREE CANOPY

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™	SHADEMASTER LOCUST	3" CAL.	B&B	750	5		CCA = 3,750 SF
	MS	MAGNOLIA VIRGINIANA	SWEET BAY	8" HT.	B&B	250	3		CCA = 750 SF
	QP	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	B&B	1250	3		CCA = 3,750 SF
	UV	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	3" CAL.	B&B	1250	11		CCA = 13,750 SF
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS
	CJ	CRYPTOMERIA JAPONICA	JAPANESE CEDAR	8"-10" HT.	B&B	250	5		CCA = 1,250 SF
	IN	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	8"-10" HT.	B&B	250	4		CCA = 1,000 SF
	IF	ILEX X ATTENUATA 'FOSTERI'	FOSTER'S HOLLY	8"-10" HT.	B&B	250	15		CCA = 3,750 SF
	JE	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	8"-10" HT.	B&B	250	8		CCA = 2,000 SF
FLOWERING TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS
	AC	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	2" CAL.	B&B	500	8		CCA = 1,250 SF
	CC	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	B&B	500	3		CCA = 1,500 SF
	CV	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	2" CAL.	B&B	500	1		CCA = 500 SF
	CP	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	2" CAL.	B&B	250	19		CCA = 4,750 SF
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	AREA	QTY	DETAIL	REMARKS
	CA2	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL.	CONTAINER	10	32		CCA = 320 SF
	CS	CORNUS SERICEA 'CARDINAL'	'CARDINAL' RED-TWIG DOGWOOD	3 GAL.	CONTAINER	25	5		CCA = 125 SF
	IG	ILEX GLABRA	INKBERRY HOLLY	3 GAL.	CONTAINER	25	43		CCA = 1,075 SF
	LD	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	3 GAL.	CONTAINER	10	43		CCA = 430 SF
	MP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 GAL.	CONTAINER	25	9		CCA = 225 SF
	VA	VIBURNUM DENTATUM	VIBURNUM	3 GAL.	CONTAINER	25	58		CCA = 1,450 SF
	VB	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	3 GAL.	CONTAINER	25	5		CCA = 125 SF
							TOTAL CCA:		41,750 SF

OPEN SPACE TABULATIONS

TOTAL SITE AREA:	150,064 SF
NET SITE AREA:	111,758 SF
REQUIRED OPEN SPACE:	15% OR 16,763 SF
PROPOSED OPEN SPACE:	
GROUND LEVEL:	24,440 SF
ABOVE GROUND:	10,200 SF
TOTAL:	31% OR 34,640 SF

CROWN COVER TABULATIONS

TOTAL SITE AREA:	150,064 SF
25% CROWN COVER REQUIRED:	37,516 SF
EXISTING CROWN COVER:	84,212 SF
REMOVED CROWN COVER:	84,212 SF
PRESERVED CROWN COVER	
CROWN COVER FROM PRESERVED TREES:	0
CROWN COVER FROM PRESERVED SHRUBS:	0
PROPOSED CROWN COVER (SF)	
COVER FROM PROPOSED TREES:	38,000 SF
TOTAL CROWN COVER PROVIDED (%):	25.3%
TOTAL CROWN COVER PROVIDED (SF):	38,000 SF

NOTE:
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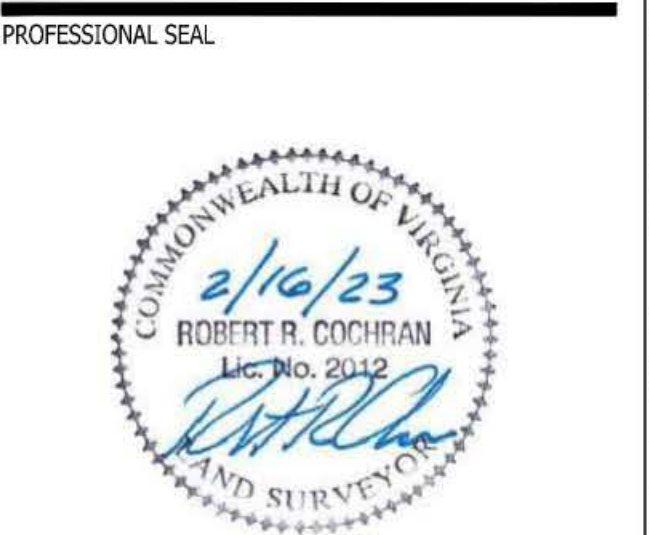
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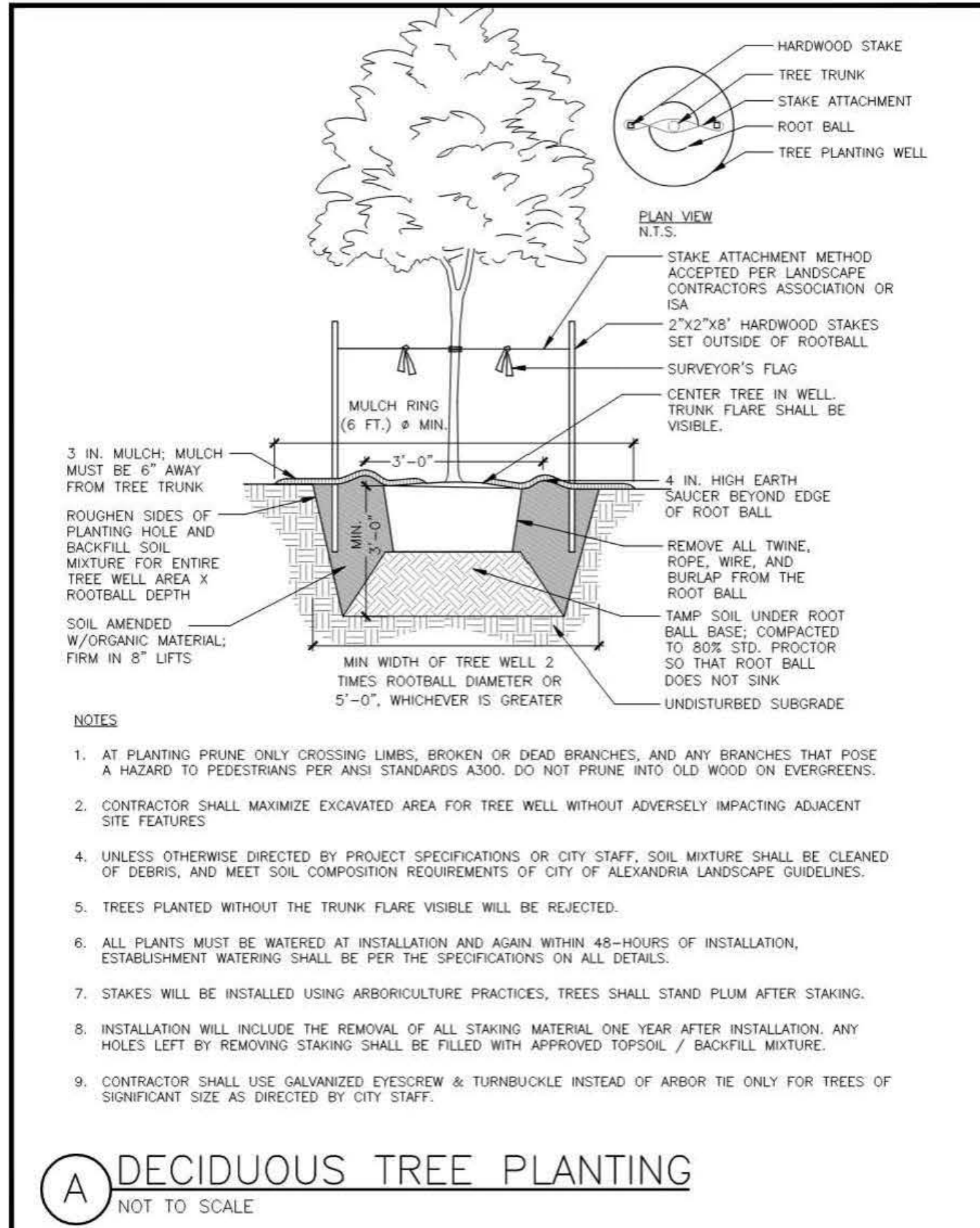
PLAN STATUS	DATE
2nd Submission	12/23/2022
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NORTH BEAUREGARD
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DEVELOPMENT PLAN CONCEPT II
CITY OF ALEXANDRIA, VA

LANDSCAPE
TABULATIONS

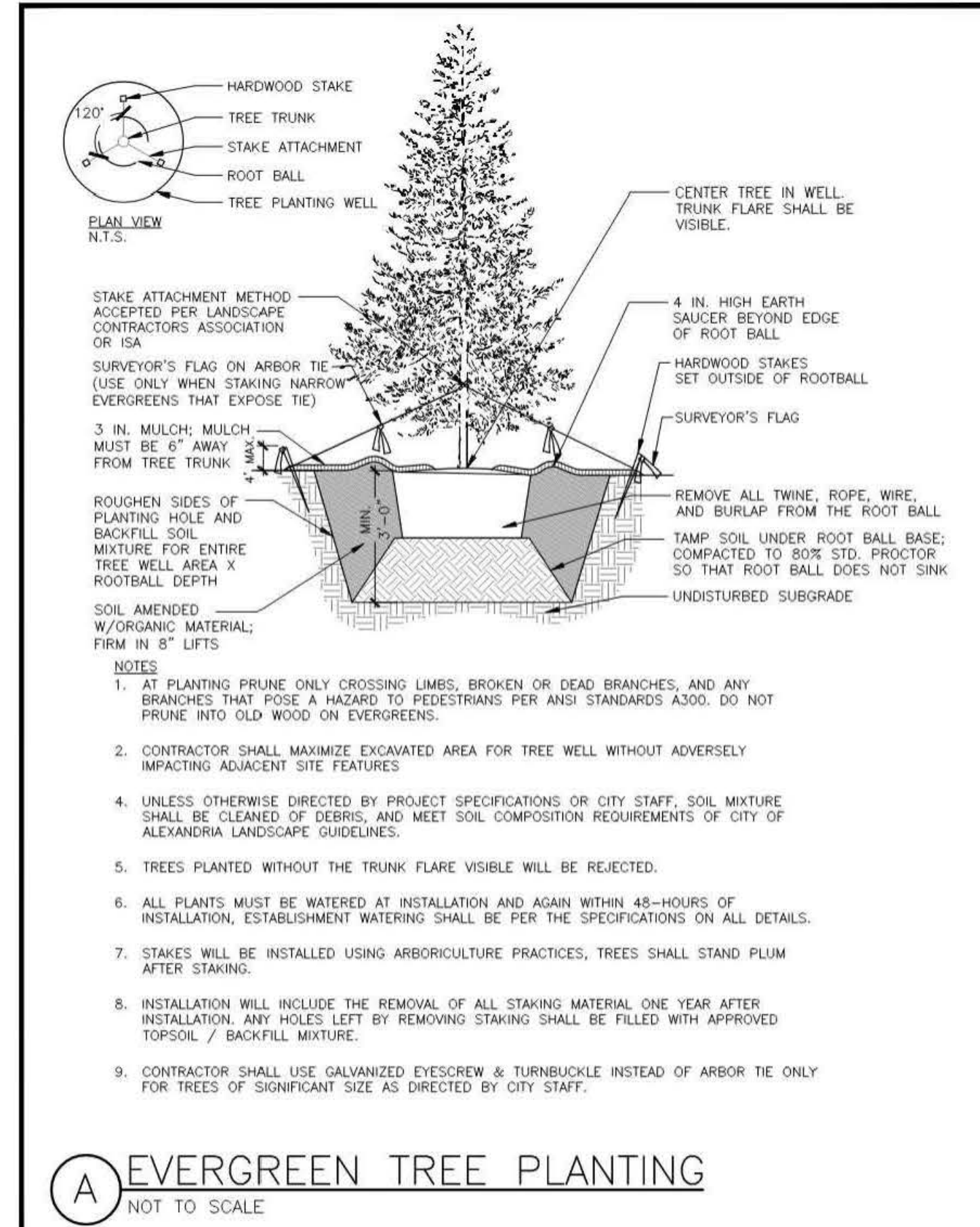
DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=30'
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SHEET NO.:	L-03



A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

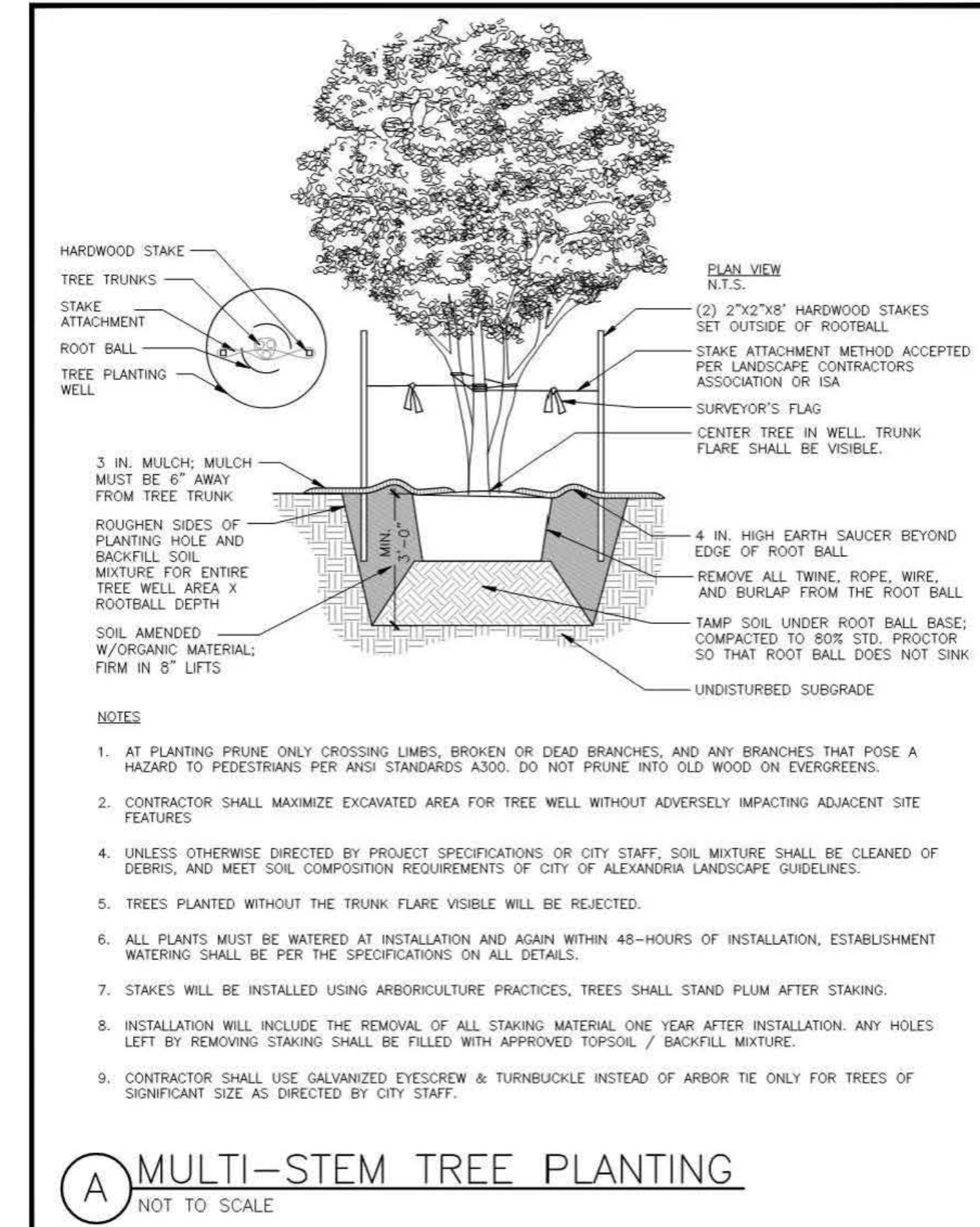
CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA Date drawn: 01/01/19 LD 001	DECIDUOUS TREE PLANTING
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A EVERGREEN TREE PLANTING
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

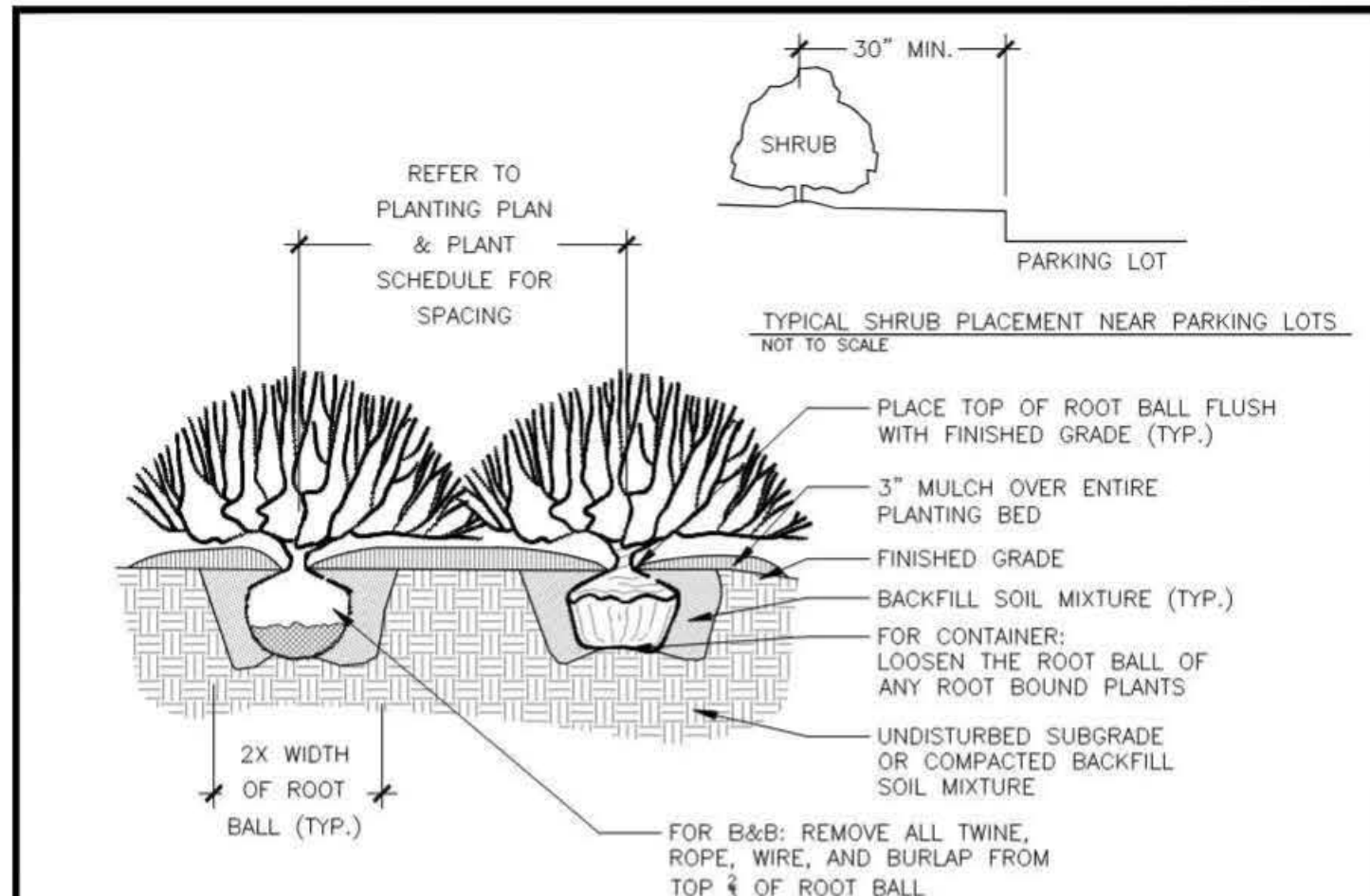
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A MULTI-STEM TREE PLANTING
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

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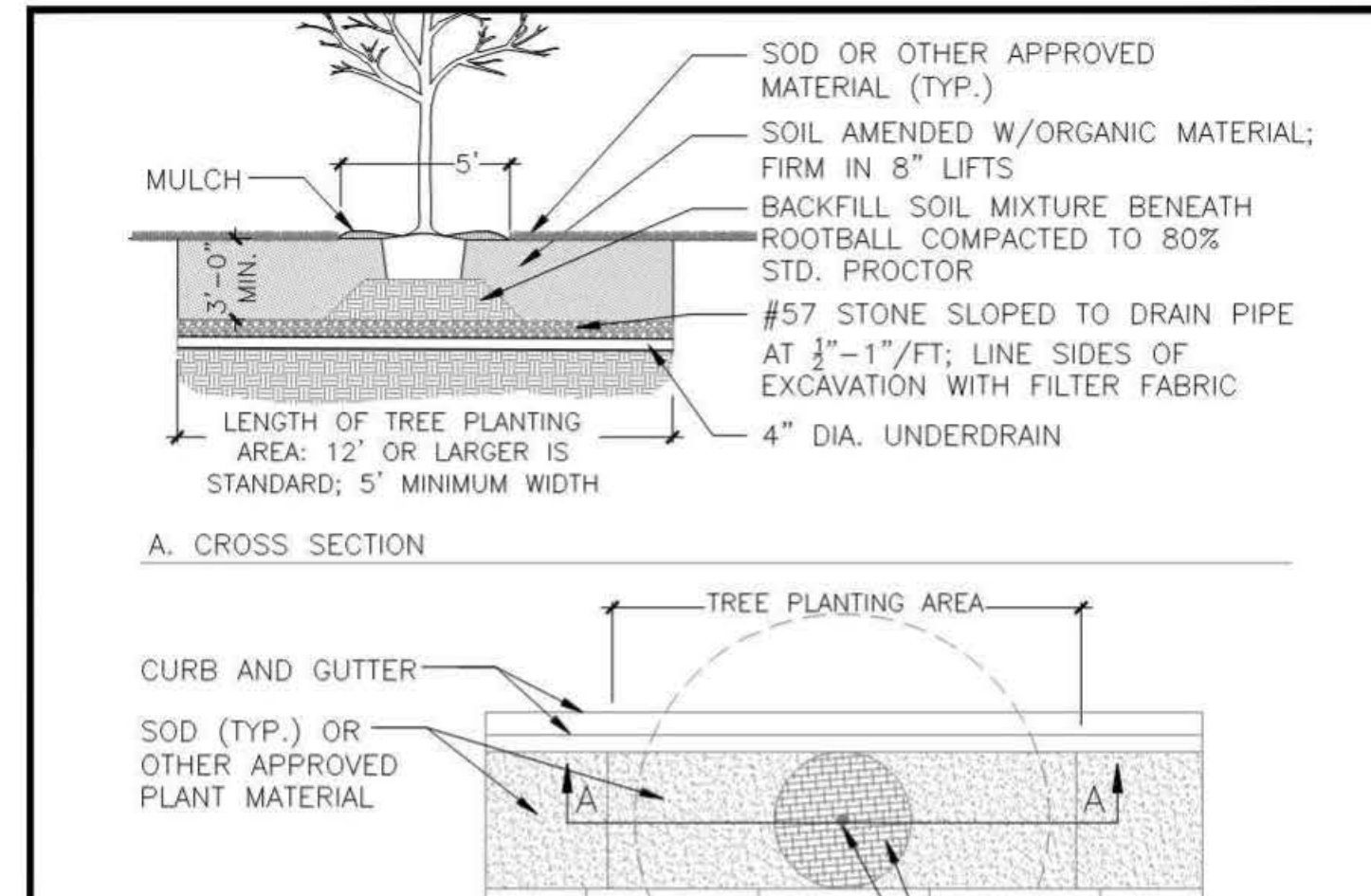


- NOTES**
1. AT PLANTING, PRUNE ONLY BROKEN OR DEAD BRANCHES PER ANSI 300 STANDARD.
 2. PLANTING WELL / TRENCH SHALL BE DUG TO ALLOW TOP OF ROOT BALL TO SET FLUSH WITH EXISTING GRADE.
 3. SET PLANTS IN ERRECT, STABLE, AND UNIFORM POSITIONS. ORIENT BEST FACE OF PLANT TO BE MOST VISIBLE.
 4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
 5. DO NOT PLACE MULCH IN CONTACT WITH STEM OF PLANTS.
 6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.

A SHRUB PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA Date drawn: 01/01/19 LD 009	SHRUB PLANTING
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- PLAN**
- NOTES**
1. REFER TO LANDSCAPE GUIDELINES FOR TREE STRIP PLANTING AREA INFORMATION.
 2. REFER TO LANDSCAPE GUIDELINES FOR GENERAL TREE PLANTING NOTES.
 3. SEE STAKING DETAIL FOR MORE INFORMATION.
 4. SITE CONDITIONS MAY REQUIRE INSTALLATION OF GRANITE BLOCK IN LIEU OF SOD AND BRICK EDGE. SEE TREE WELL WITH GRANITE BLOCK DETAIL.
 5. REFER TO STREET TREE WELL DETAIL FOR CROSS-SECTION.

A TREE PLANTING STRIP
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA	NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: City of Alexandria Approved by: COA Date drawn: 01/01/19 LD 006	TREE PLANTING STRIP
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- A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:**
- THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES:
- 1) THE PROPERTY OWNER AND/OR APPLICANT, SUPERVISOR, CONTRACTOR AND INSTALLER OF PLANT MATERIAL, ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION OR ANY LAND DISTURBING ACTIVITY.
 - 2) THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
 - 3) THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
 - 4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
 - 5) INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
 - 6) IN LIEU OF MORE STENOGRAPHIC SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA (GATHERSBURG, MARYLAND).
 - 7) SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
 - 8) MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSON(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONTROLED BY PROJECT APPROVAL, AS APPLICABLE.
- B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:**
- IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSIP PROJECTS:
- 1) THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
 - 2) THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
 - 3) THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT; AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
 - 4) ALL CONSTRUCTION WASTE SHALL BE REMOVED PRIOR TO PLANTING.
 - 5) AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
 - 6) AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY.

A STANDARD LANDSCAPE PLAN NOTES
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

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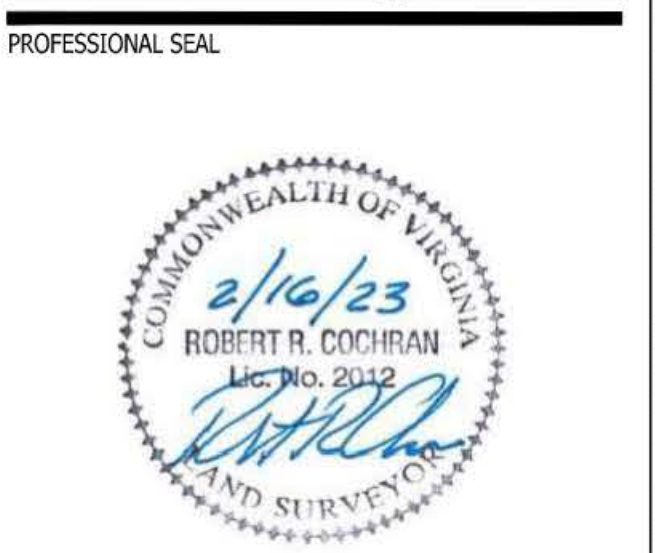
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PLAN STATUS	DATE
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Concept II 1st Submission	02/16/2023



NORTH BEAUREGARD STREET
DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LANDSCAPE NOTES & DETAILS

DRAWN BY: NDR
DESIGNED BY: VIKA
DATE ISSUED: 07/21/22

DWG. SCALE: 1"=30'

VIKA NO. W8392A

SHEET NO. L-04

APPROVED SPECIAL USE PERMIT NO. CDSUP# 2022-00025

DEPARTMENT OF PLANNING & ZONING

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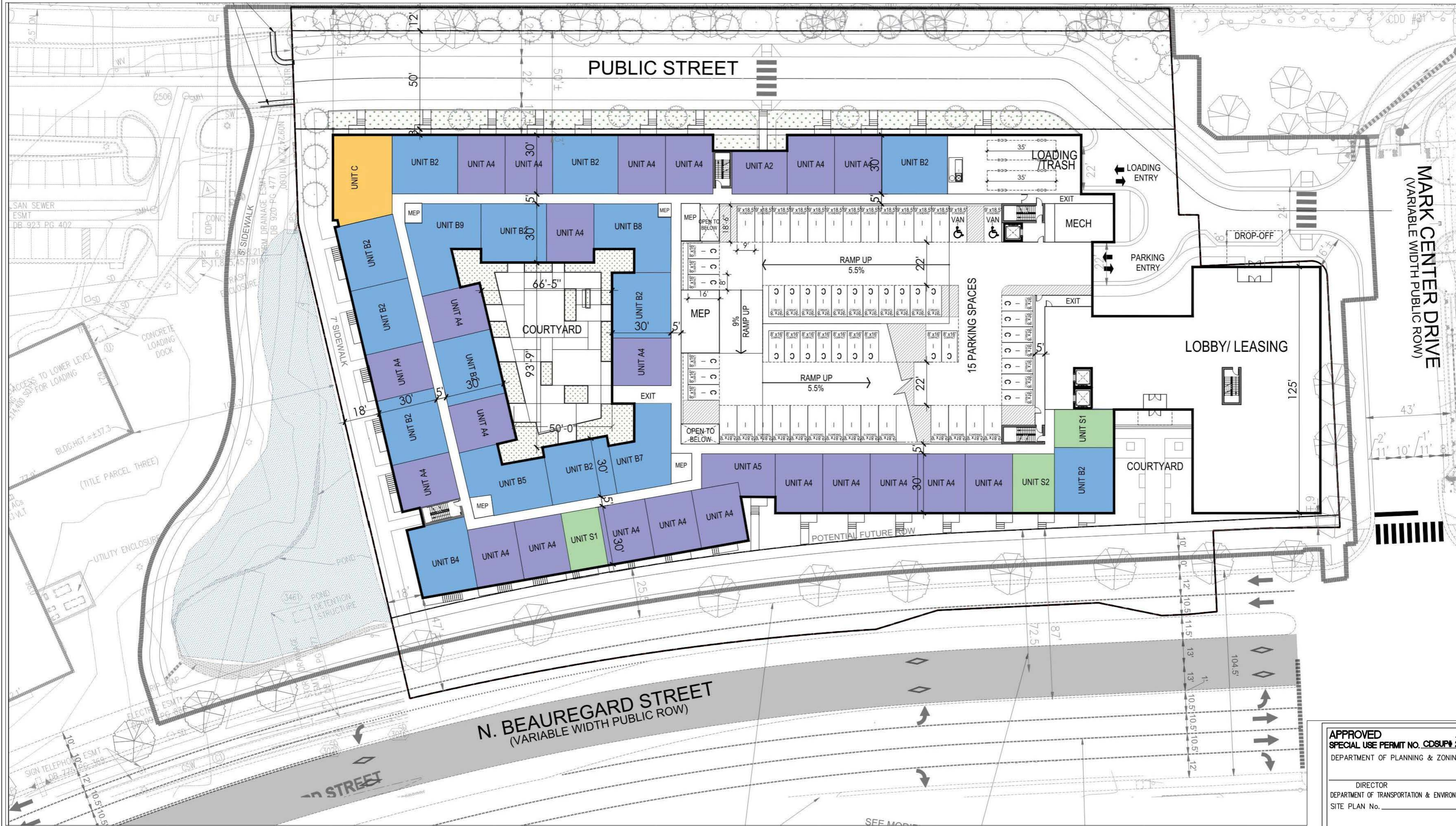


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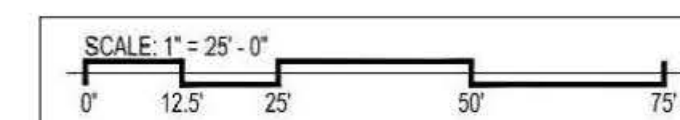
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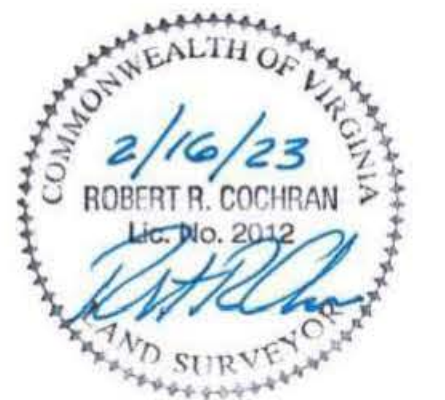
1 GROUND LEVEL FLOORPLAN
 1"=25'



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PROFESSIONAL SEAL



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CITY OF ALEXANDRIA, VA

GROUND FLOOR PLAN

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=25'
VIKA NO.:	VV8392A
SHEET NO.:	A-001



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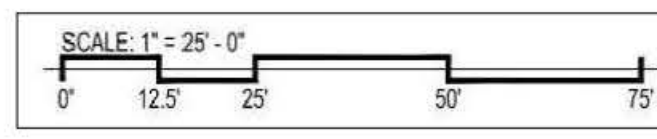


PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL

NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

1 LEVEL 2 FLOORPLAN
 1"=25'



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DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
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SITE PLAN No. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

LEVEL 2 FLOOR PLAN

DRAWN BY: NDR
 DESIGNED BY: VIKA
 DATE ISSUED: 07/21/22

DWG. SCALE: 1"=25'
 VIKA NO. VV8392A
 SHEET NO. **A-002**

LAYOUT: A-002 ARCH. Plotted By: Richardson

FILE: C:\Projects\8392\8392A\CADD\PLANNING\DEVELOPMENT\CONCEPT 2\8392A_ARCHITECTURE.dwg USER: Richardson DATE: February 16, 2023 TIME: 1:26:37 PM LAYOUT: A-002 ARCH



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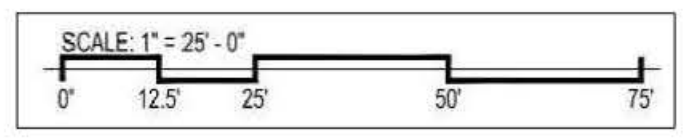
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1 LEVEL 3-5 FLOORPLANS
 1"=25'



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 SITE PLAN No. _____

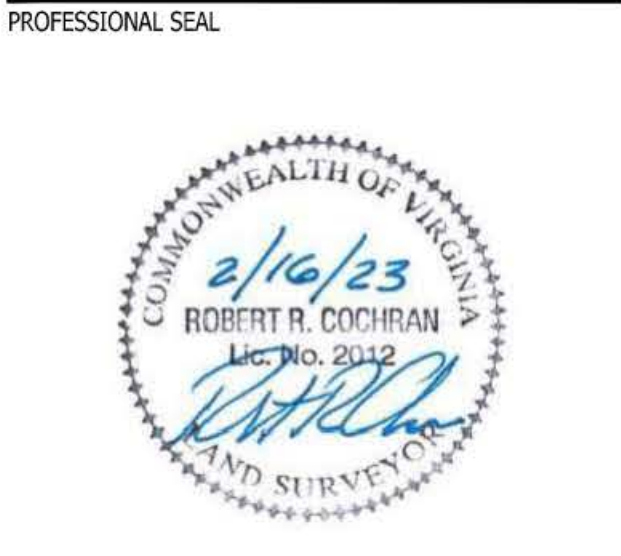
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CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

LEVEL 3-5 FLOOR PLANS

DRAWN BY: NDR
 DESIGNED BY: VIKA
 DATE ISSUED: 07/21/22

DWG. SCALE: 1"=25'

VIKA NO. VV8392A

SHEET NO. **A-003**



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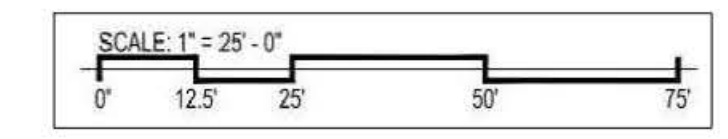


NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

LEVEL 6 FLOOR PLAN

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=25'
VIKA NO.:	VV8392A
SHEET NO.:	A-004

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SITE PLAN No. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.



1 LEVEL 6 FLOORPLAN
 1"=25'

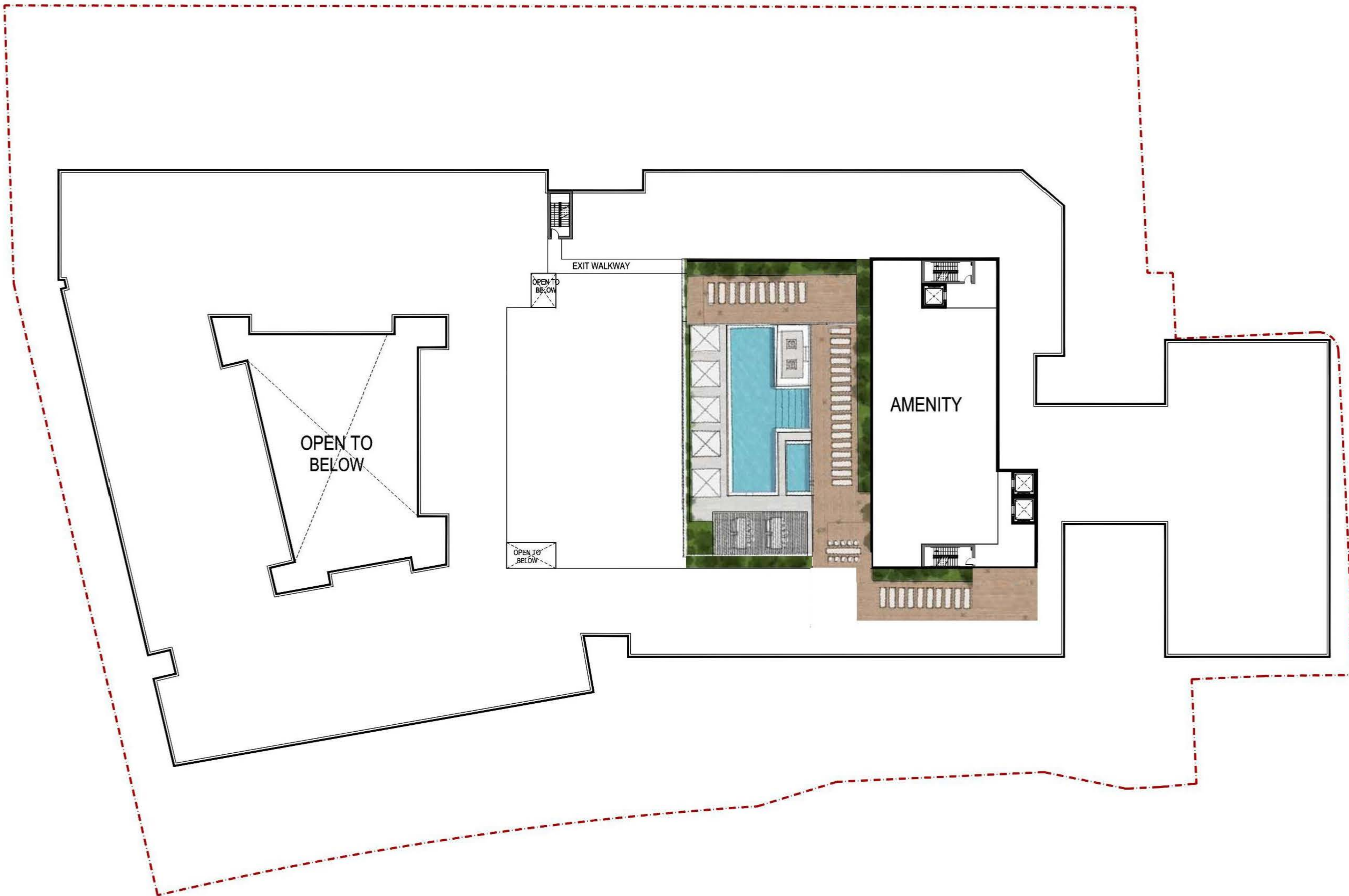


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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

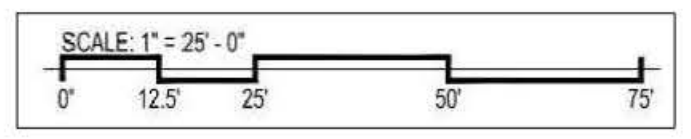
LEVEL 7 FLOOR PLAN

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DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION	DATE	
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=25'
VIKA NO.	VV8392A
SHEET NO.	A-005

1 LEVEL 7 FLOORPLAN
 1"=25'





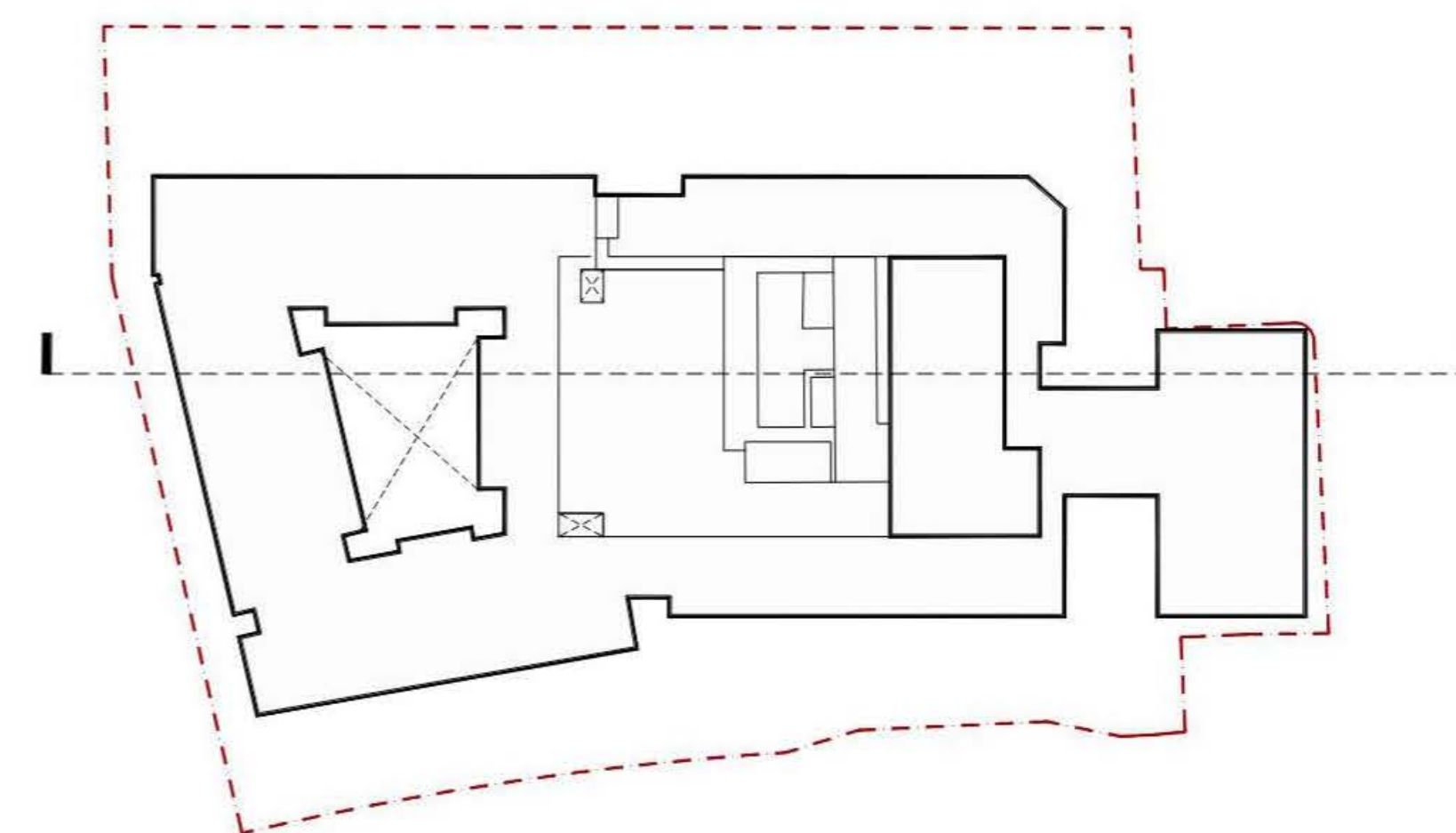
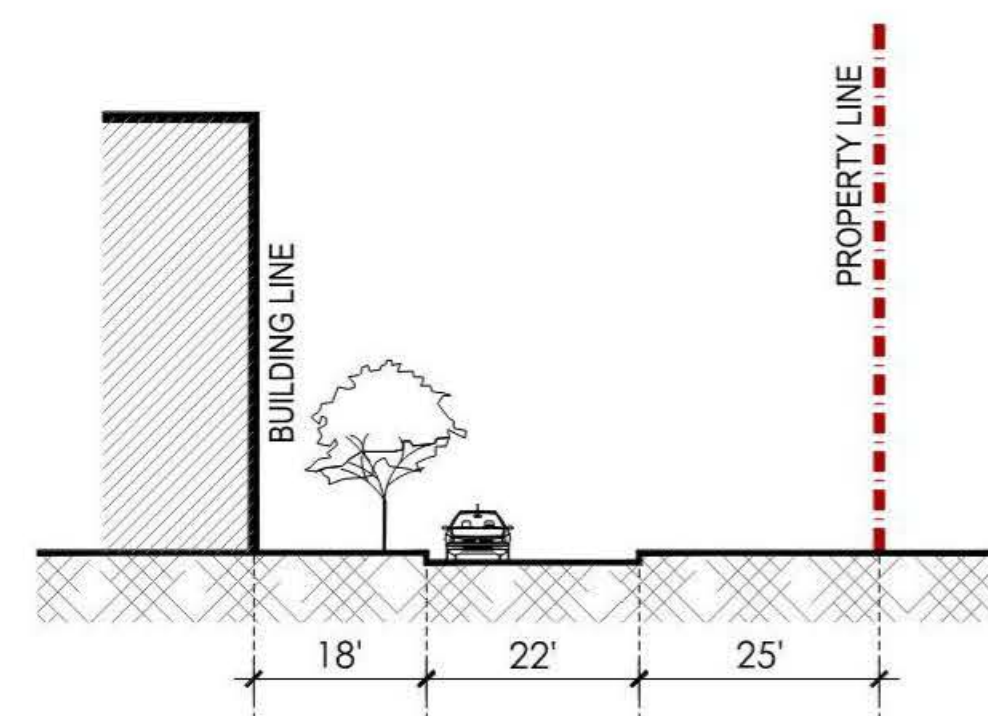
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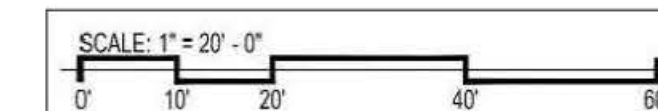
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ROOF	AMENITY DECK										AMENITY			
LEVEL 7	12'	RES. UNIT		RES. UNIT		RES. UNIT		PARKING GARAGE		RES. UNIT	RES. UNIT		RES. UNIT	RES. UNIT
LEVEL 6	10'-6"	RES. UNIT		RES. UNIT		RES. UNIT		PARKING GARAGE		RES. UNIT	RES. UNIT		RES. UNIT	RES. UNIT
LEVEL 5	10'-6"	RES. UNIT		RES. UNIT		RES. UNIT		PARKING GARAGE		RES. UNIT	RES. UNIT		RES. UNIT	RES. UNIT
LEVEL 4	78'-6" 10'-6"	RES. UNIT		RES. UNIT		RES. UNIT		PARKING GARAGE		RES. UNIT	RES. UNIT		RES. UNIT	RES. UNIT
LEVEL 3	10'-6"	RES. UNIT		RES. UNIT		RES. UNIT		PARKING GARAGE		RES. UNIT	RES. UNIT		RES. UNIT	RES. UNIT
LEVEL 2	10'-6"	RES. UNIT		RES. UNIT		RES. UNIT		MEP	PARKING GARAGE		RES. UNIT			
GROUND LEVEL	14'	RES. UNIT		RES. UNIT		COURT.		RES. UNIT	MEP	PARKING GARAGE		RES. UNIT	LOBBY	



1 BUILDING SECTION
1"=20'



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DIRECTOR	DATE
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DATE RECORDED _____	
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

BUILDING SECTION

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=20'
VIKA NO.:	VV8392A
SHEET NO.:	A-006

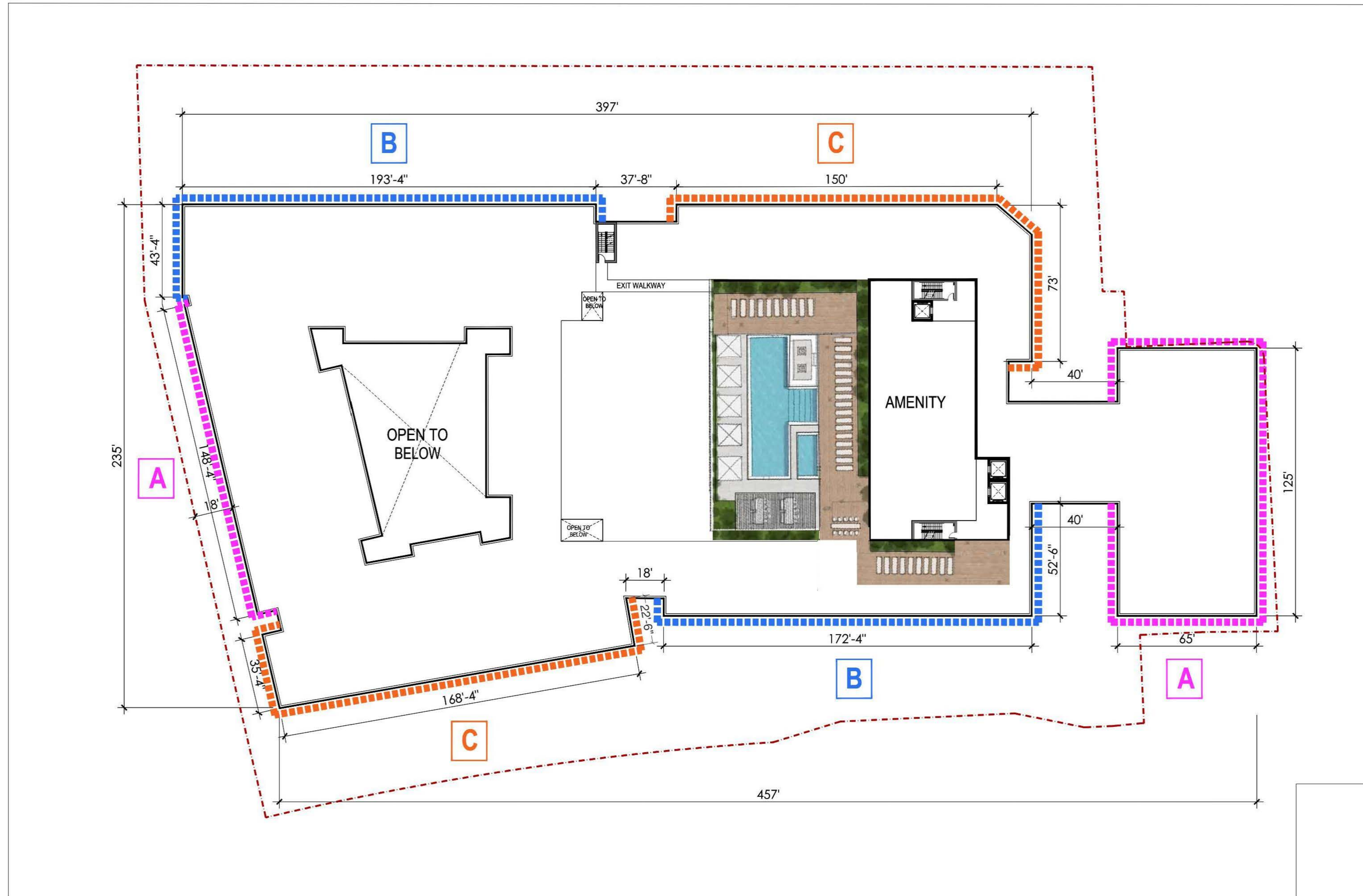


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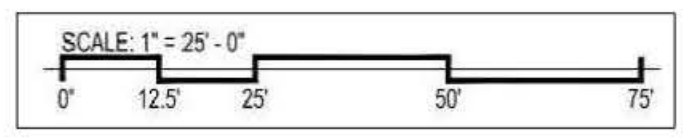


NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

BUILDING PERIMETER EXHIBIT

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DATE RECORDED	DATE
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DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	1"=25'
VIKA NO.	VV8392A
SHEET NO.	A-007





1. SOUTHEAST CORNER CONCEPTUAL EXTERIOR VIEW



2. SOUTHWEST CORNER CONCEPTUAL

1 CONCEPTUAL EXTERIOR VEIWS

APPROVED		
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SITE PLAN No. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED	DATE	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



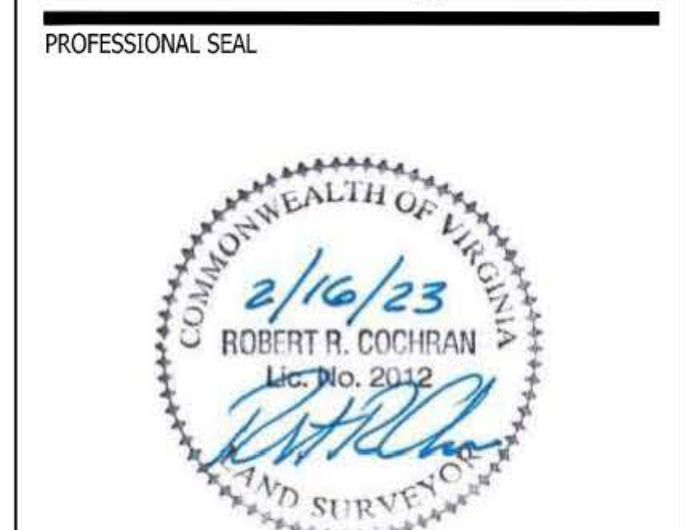
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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

CONCEPTUAL EXTERIOR VIEWS

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	N/A
VIKA NO.:	VV8392A
SHEET NO.:	A-008



3. NORTHEAST CORNER CONCEPTUAL EXTERIOR VIEW



4. NORTHWEST CORNER CONCEPTUAL EXTERIOR VIEW

2 CONCEPTUAL EXTERIOR VEIWS



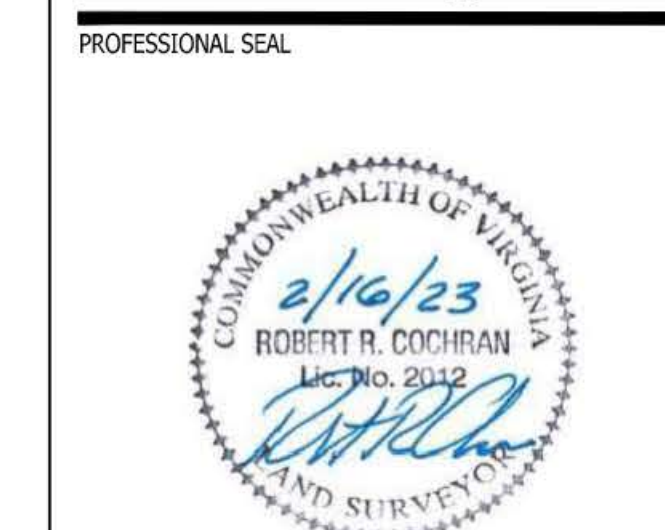
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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

CONCEPTUAL EXTERIOR VIEWS

APPROVED SPECIAL USE PERMIT NO. CDSUP# 2022-00025 DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
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SITE PLAN No. _____	
DIRECTOR	DATE
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DATE RECORDED	DATE
INSTRUMENT NO.	DEED BOOK NO. PAGE NO.

DRAWN BY:	NDR
DESIGNED BY:	VIKA
DATE ISSUED:	07/21/22
DWG. SCALE:	N/A
VIKA NO.	VV8392A
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SHAKER PANEL OR SIMILAR
 BRICK 2 AT GROUND LEVEL
 MASONRY STOOPS

FIBER CEMENT SIDING 1
 FIBER CEMENT SIDING 3
 BRICK 1 AT GROUND LEVEL
 BRICK 2 AT GROUND LEVEL

1. WEST CONCEPTUAL VIEW



FIBER CEMENT SIDING 1
 FIBER CEMENT SIDING 3
 BRICK 1 AT GROUND LEVEL
 BRICK 2 AT GROUND LEVEL

CORRUGATED METAL PANEL
 BRICK 1 AT MAIN ENTRY/LOBBY
 BRICK 2 AT GROUND LEVEL

2. WEST CONCEPTUAL VIEW

3 CONCEPTUAL EXTERIOR VIEWS

PLAN STATUS	DATE
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NORTH BEAUREGARD STREET
 DEVELOPMENT PLAN CONCEPT II
 CITY OF ALEXANDRIA, VA

CONCEPTUAL EXTERIOR VIEWS

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DESIGNED BY:	VIKA
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