EXISTING TREE CONSERVATION PLAN

EXISTING TREE CONSERVATION INVENTORY DATA EXISTING TREE CONSERVATION INVENTORY DATA EXISTING TREE CONSERVATION INVENTORY DATA **EXISTING TREE CONSERVATION INVENTORY DATA**

EXISTING TREE CONSERVATION INVENTORY DATA **EXISTING TREE CONSERVATION INVENTORY DATA**

EXISTING TREE CONSERVATION DETAILS

OVERALL CONTEXT PLAN ULTIMATE CONCEPT PLAN

INTERIM CONCEPT PLAN **GRADING PLAN**

STREET SECTIONS STORMWATER MANAGEMENT PLAN

STORMWATER MANAGEMENT PLAN

STORMWATER MANAGEMENT COMPUTATIONS STORMWATER MANAGEMENT COMPUTATIONS

STORMWATER MANAGEMENT COMPUTATIONS ADEQUATE OUTFALL ANALYSIS SANITARY OUTFALL ANALYSIS FIRE TRUCK AUTOTURN EXHIBIT

LOADING AUTOTURN EXHIBIT C-25 LOADING AUTOTURN EXHIBIT

LANDSCAPE ARCHITECTURE

LANDSCAPE & OPEN SPACE PLAN LANDSCAPE & OPEN SPACE PLAN LANDSCAPE TABULATIONS LANDSCAPE NOTES & DETAILS

ARCHITECTURE

A-001 GROUND FLOOR PLAN A-002 LEVEL 2 FLOOR PLAN A-003 LEVEL 3-5 FLOOR PLANS

A-004 LEVEL 6 FLOOR PLAN A-005 LEVEL 7 FLOOR PLAN A-006 BUILDING SECTION

A-009 CONCEPTUAL EXTERIOR VIEWS A-010 CONCEPTUAL EXTERIOR VIEWS

A-007 BUILDING PERIMETER EXHIBIT

AREA TABULATIONS

TOTAL SITE/LOT AREA = _____3.45___ AC. __150,064__ SF.

ZONING TABULATIONS

EXISTING ZONE:

EXISTING USE: OFFICE BUILDING (57,600 GSF) PROPOSED USE: MULTIFAMILY HOUSING SITE AREA: 150,064 S.F. OR 3.45 AC

BEAUREGARD CORRIDOR SMALL AREA PLAN MASTER PLAN:

GFA & FAR

HEIGHT

PARKING

PROPOSED RESIDENTIAL GFA: +/- 334,307 S.F. (RESIDENTIAL AREA + AMENITY)

PROPOSED RESIDENTIAL FAR: 2.23 PROPOSED PARKING GFA: +/-127,735 S.F.

+/- 462,042 S.F. / 3.08 FAR TOTAL GFA AND FAR:

NET RESIDENTIAL FLOOR AREA: 282,360

RESIDENTIAL UNITS: 343 (36 STUDIO, 180 ONE BEDROOM, 121 TWO BEDROOM, 6 THREE BEDROOM)

99.56 UNITS/ACRE

LOADING

MAXIMUM PERMITTED HEIGHT: +/- 80'-0" (6 STORIES) MAXIMUM PROPOSED HEIGHT:

LOADING/TRASH AREA: LOADING REQUIRED:

+/- 2,000 S.F.PROVIDED 1 SPACE LOADING PROVIDED: 2 SPACES

OPEN SPACE

PROPOSE USE

MULTIFAMILY HOUSING (MARKET RATE) 1 SPACE PER BEDROOM (479) REQUIRED: PROPOSED:

COMPACT: 212 STANDARD: 166 HANDICAP: 12

REQUIRED: PROVIDED: AT GRADE: ABOVE GRADE: PUBLIC:

NET SITE AREA:

34,640 S.F.± OR 1.15 AC.± (31%± OF GSA) SEE SHEET L-01 24,440 S.F. 10,200 S.F. 0 S.F. 34,640 S.F

111,758 SF OR 2.56 AC

25% OR 27,939.5 SF

PRIVATE:

PROPOSED: TOTAL PARKING PROVIDED (390) *PARKING REDUCTION REQUIRED

BICYCLE PARKING

AVERAGE FINISHED GRADE:

REQUIRED: 3 SPACES/ 10 RESIDENTIAL UNITS &

1 VISITOR SPACE/ 50 RESIDENTIAL UNITS= 103 SPACES 103 SPACES CLASS 1 OR CLASS 2 BICYCLE PARKING PROPOSED:

1900 N. BEAUREGARD STREET

DEVELOPMENT CONCEPT PLAN STAGE II ADAMS NEIGHBORHOOD CDSUP #2022-00025 CITY OF ALEXANDRIA, VIRGINIA

JULY 08, 2022 DECEMBER 23, 2022 FEBRUARY 16, 2023



VICINITY MAP

PROJECT DESCRIPTION NARRATIVE

THIS APPLICATION PROPOSES THE REDEVELOPMENT OF THE SUBJECT PROPERTY TO REMOVE THE EXISTING 57,600 GSF OFFICE BUILDING AND CONSTRUCT A MULTIFAMILY RESIDENTIAL BUILDING WITH APPROXIMATELY 340-350 DWELLING UNITS AND SCREENING ABOVE-GROUND PARKING STRUCTURE. ALL SUPPORTING INFRASTRUCTURE NECESSARY TO SUPPORT THIS DEVELOPMENT IS ALSO PROPOSED.

THE SITE IS CURRENTLY ZONED CDD #21 (PER REZONING #2012-0002. COORDINATED DEVELOPMENT DISTRICT #2012-0003 & TEXT AMENDMENT #2012-0007, DATED APRIL 13, 2013)

THE SITE IS BORDERED TO THE NORTH BY SINGLE FAMILY HOMES. TO THE EAST BY 2000 N. BEAUREGARD. TO THE SOUTH BY NORTH BEAUREGARD. STREET AND TO THE WEST BY AN EXISTING OFFICE BUILDING.

SPECIAL USE PERMIT/ZONING MODIFICATIONS/WAIVERS

- 1. REQUEST A MASTER PLAN AMENDMENT TO THE BEAUREGARD SMALL AREA PLAN TO MAKE AREA PLAN REQUIREMENTS CONSISTENT WITH PROPOSED DEVELOPMENT.
- 2. REQUEST AMENDMENTS TO THE CDD #21 CONDITIONS AND CDD CONCEPT PLAN CONSISTENT WITH THE PROPOSED DEVELOPMENT. REQUEST A DEVELOPMENT SPECIAL USE PERMIT WITH PRELIMINARY SITE PLAN.
- 4. REQUEST AN AMENDMENT TO THE BEAUREGARD SMALL AREA PLAN TO CHANGE LAND USE DESIGNATION TO INCLUDE RESIDENTIAL; INCREASE THE BUILDING HEIGHT; AND TO AMEND THE STREET FRAMEWORK AND OPEN SPACE MAP TO REINSTATE THE PARALLEL ROAD ALONG THE
- 5. REQUEST MODIFICATION OF SECTION 7-1006(E) TO REDUCE THE REQUIRED 80 FT SETBACK FROM CENTERLINE OF THE WEST END TRANSIT WAY ALONG NORTH BEAUREGARD STREET.
- SUP FOR PARKING REDUCTION.

GREEN BUILDING NOTE

THE APPLICANT INTENDS TO MEET THE REQUIREMENTS OF THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY.

ARCHAEOLOGICAL NOTE

CONTACT ALEXANDRIA ARCHAEOLOGY(703-746-4399) TWO WEEKS PRIOR TO ANY GROUND DISTURBING ACTIVITY (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE) CITY ARCHAEOLOGISTS WILL PROVIDE ON-SITE INSPECTIONS TO RECORD SIGNIFICANT FINDS.

THE DEPTHS AND LOCATIONS OF ANY UNDERGROUND ELECTRIC, WATER, TELEPHONE, AND GAS MAIN LINES OR SERVICES CANNOT BE FIELD SURVEYED. "MISS UTILITY" UTILITY SERVICE PROTECTION CENTER MAY BE CONTACT AT 1-800-552-7001 REGARDING THE LOCATION OF THESE UNDERGROUND UTILITIES.

1900 BEAUREGARD PROPERTY OWNER, LLC 1000 WILSON BOULEVARD, SUITE 700 ARLINGTON, VA 22209 (703) 284-0200

APPLICANT

LAND USE ATTORNEY

WIRE GILL LLP 700 N FAIRFAX STREET, SUITE 600 ALEXANDRIA, VA 22314 **KEN WIRE**

ARCHITECT

(703) 677-3129

BKV GROUP 1054 31ST ST. NW, SUITE 410 WASHINGTON, D.C. 20007 JOHN TREIBER (202) 595-3173

ENGINEER

VIKA VIRGINIA, LLC 8180 GREENSBORO DRIVE, SUITE 200 TYSONS, VIRGINIA 22102 ROBERT COCHRAN, L.S. (703) 442-7800

LANDSCAPE ARCHITECT

VIKA VIRGINIA. LLC 8180 GREENSBORO DRIVE, SUITE 200 TYSONS, VIRGINIA 22102 JEFF KREPS, PLA/ASLA (703) 442-7800

TRANSPORTATION

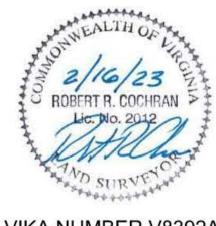
VIKA VIRGINIA, LLC 8180 GREENSBORO DRIVE, SUITE 200 TYSONS, VIRGINIA 22102 MICHAEL PINKOSKE (703) 442-7800

TRIP GENERATION:

1900 N. Beauregard Street Vehicular Peak Hour Trip Generation Analysis 1

	ITE			Al	M Peak Hour		PN	Weekday		
Land Use	Code	Size	Units	In	Out	Total	ln .	Out	Total	Daily
Existing										
Office	710	57,600	SF	92	12	104	18	87	105	718
Proposed										
Apartments	221	343	DU	32	107	139	75	59	134	1,590
		Net New V	ehicle Trips	(60)	95	35	57	(28)	29	872

1. Trip Generation obtained from ITE's Trip Generation Manual, 11th Edition. Setting Location: General Urban/Suburban



TREE CANOPY

38,000 S.F.± 20-YEAR TREE CANOPY PROVIDED THROUGH PROPOSED PLANTING. SEE SHEET L-01 LANDSCAPE & OPEN SPACE PLAN

CITY STANDARD NOTES

- 1. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- 2. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4400.
- 3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND SATURDAYS FROM 9AM TO 6PM
 - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS
 - PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS: MONDAY THROUGH FRIDAY FROM 9AM TO 6PM AND SATURDAYS FROM 10AM TO 4PM

RESOURCE PROTECTION AREA NOTES

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA (RPA) AND THERE ARE NO MAPPED RPA'S ON THIS PROPERTY.

FLOOD PLAIN NOTES

THE SITE DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN WATER SURFACE ELEVATION (WSE) PER THE DEMARCATION OF THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

GROUNDWATER CONTAMINATION NOTE

THERE IS NO KNOWN SOIL AND/OR GROUNDWATER CONTAMINATION WITHIN THE LIMITS OF THIS DEVELOPMENT.

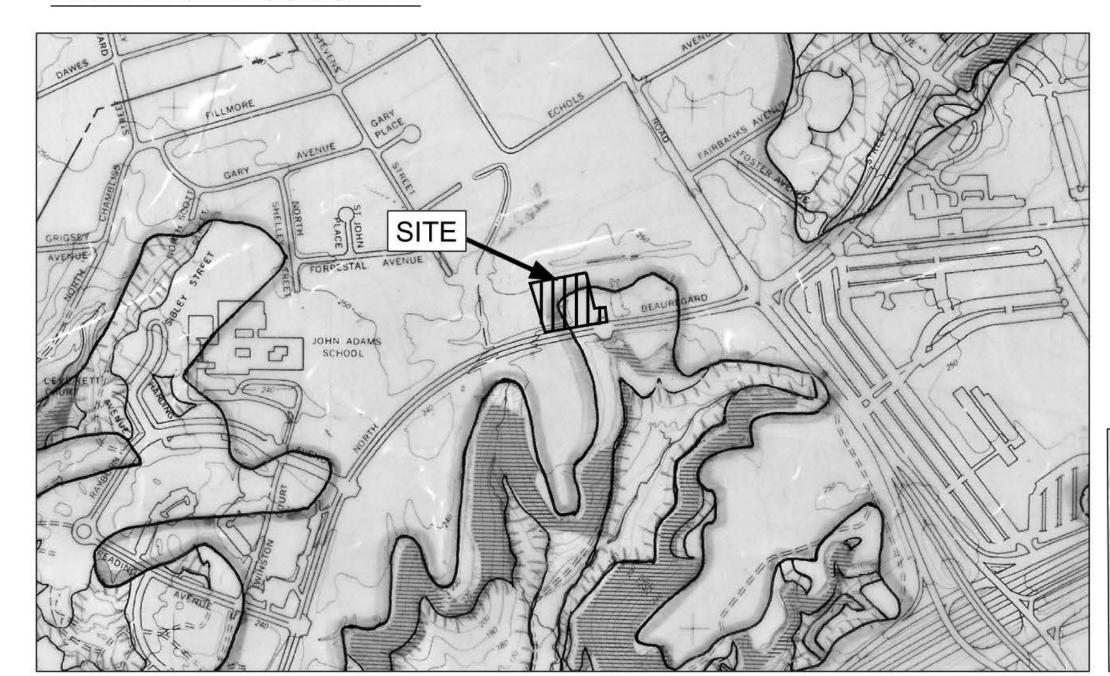
CEMETERY AND/OR BURIAL GROUNDS

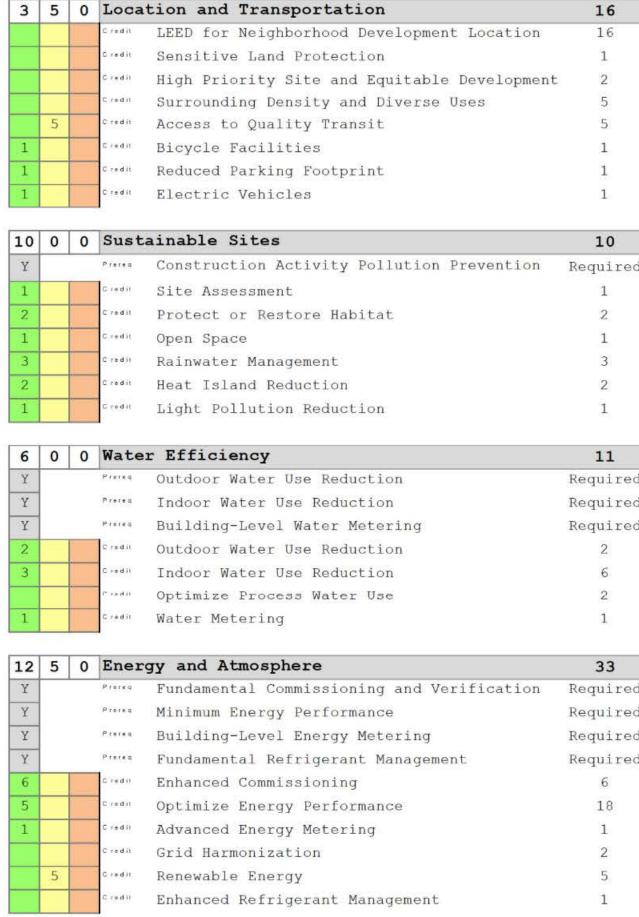
THERE IS NO OBSERVABLE, HISTORICAL OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

COMBINED SEWER NOTE

THIS SITE IS NOT WITHIN A COMBINED SEWER AREA.

MARINE CLAY SOILS MAP





LEED v4.1 BD+C

Project Checklist

"" Integrative Process

Project Name: 1900 N Beauregard St, Alexanderia
Date: 2/17/2023

8 0 0 Materials and Resources

	U	U	Materials and Resources	13
Y			Storage and Collection of Recyclables	≷equired
			Building Life-Cycle Impact Reduction	5
2			Environmental Product Declarations	2
2			Sourcing of Raw Materials	2
2			Crodin Material Ingredients	2
2			Construction and Demolition Waste Management	2
.1	4	0	Indoor Environmental Quality	16
Y	1 22		Proces Minimum Indoor Air Quality Performance	Required
Y			Environmental Tobacco Smoke Control	≀equired
2			Enhanced Indoor Air Quality Strategies	2
2			Low-Emitting Materials	3
1			Construction Indoor Air Quality Management Plan	1
	2		Indoor Air Quality Assessment	2
1			Crodin Thermal Comfort	1
	2		Interior Lighting	2
3			Daylight Daylight	3
1			Quality Views	1
1			Acoustic Performance	1
6	0	0	Innovation	6
5	7,45	2,000	Innovation	5
1			LEED Accredited Professional	1
0	0	0	Regional Priority	4
			Regional Priority: Specific Credit	1
			Regional Priority: Specific Credit	1
			Credit Regional Priority: Specific Credit	1
	7		Credit Regional Priority: Specific Credit	1

VIKA VIRGINIA, LLC 8180 Greensboro Dr., Suite 200 Tysons, VA 22102 703.442.7800 | vika.com

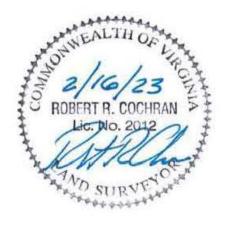
Our Site Set on the Future.

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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
AC	
	_
PC	
W.	

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

CITY OF ALEXANDRIA, VA

DEVELOPMENT PLAN CONCEPT II

DEPARTMENT OF PLANNING &	ZONING
DIRECTOR DEPARTMENT OF TRANSPORTATION & E	DATE ENVIRONMENTAL SER ¹
DIRECTOR	DATE

PAGE NO.

INSTRUMENT NO. DEED BOOK NO.

GENERAL NOTES & DETAILS

RAWN BY:	NDR	
ESIGNED BY: _	VIKA 07/21/22	
WG. CALE:	N/A	
TKA IO.	VV8392A	
HEET O.	C-02	

N.T.S.

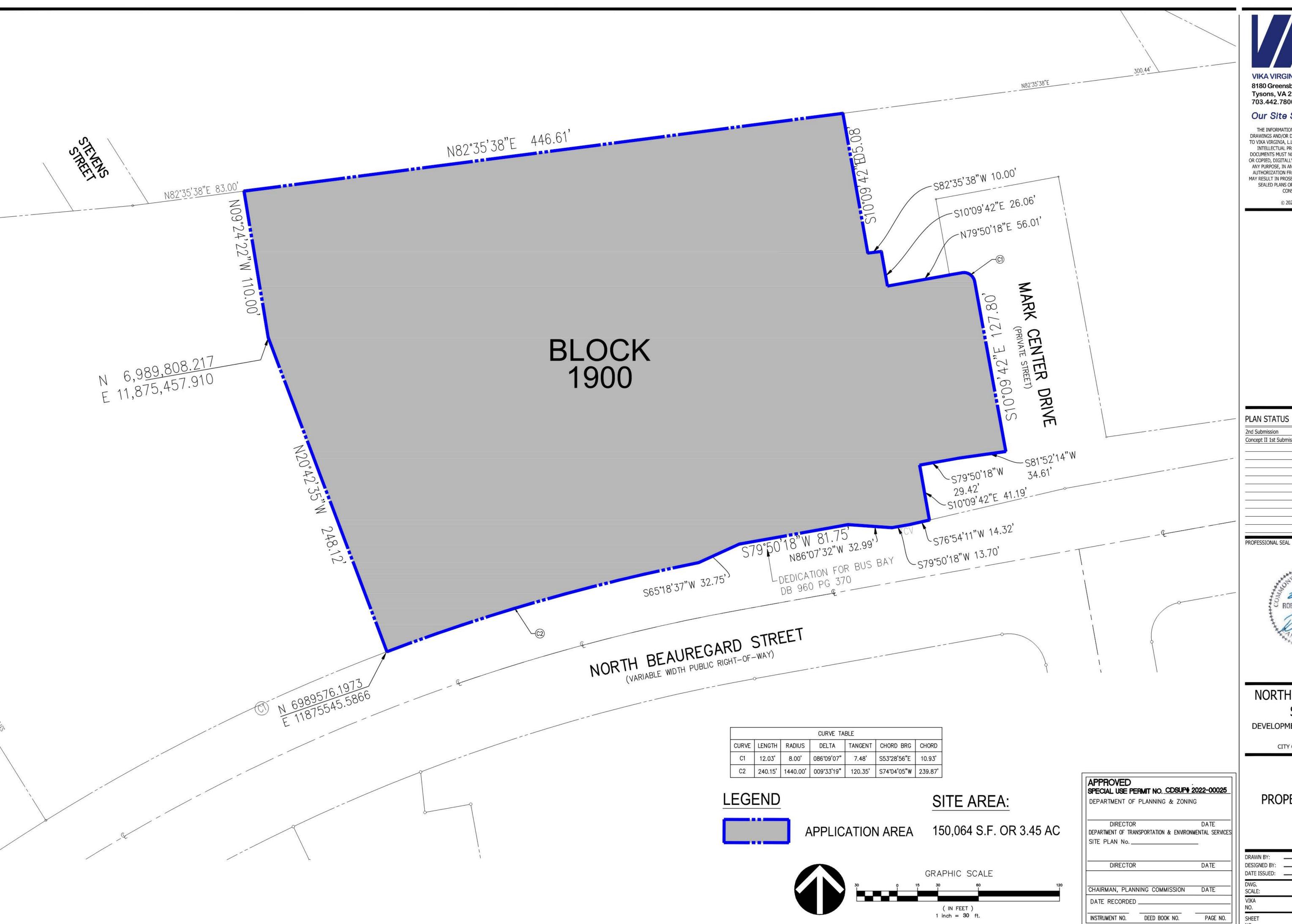
UNDER 10% SLOPE

10% - 25% SLOPE

OUTLINE OF
MARINE CLAY AREAS

OVER 25% SLOPE

KEY TO SYMBOLS



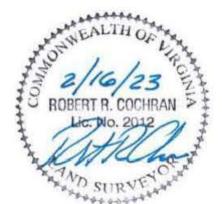


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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
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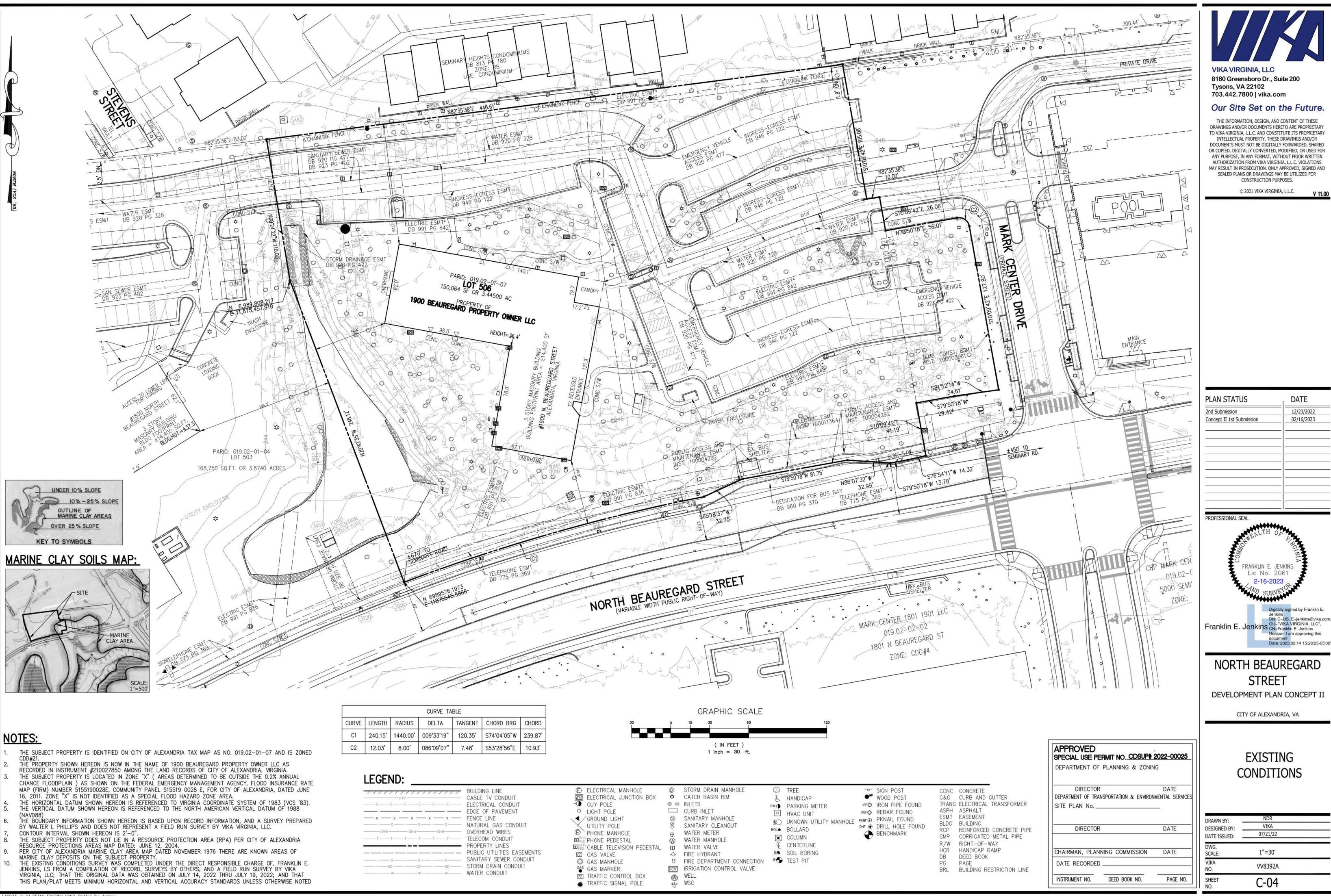
NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

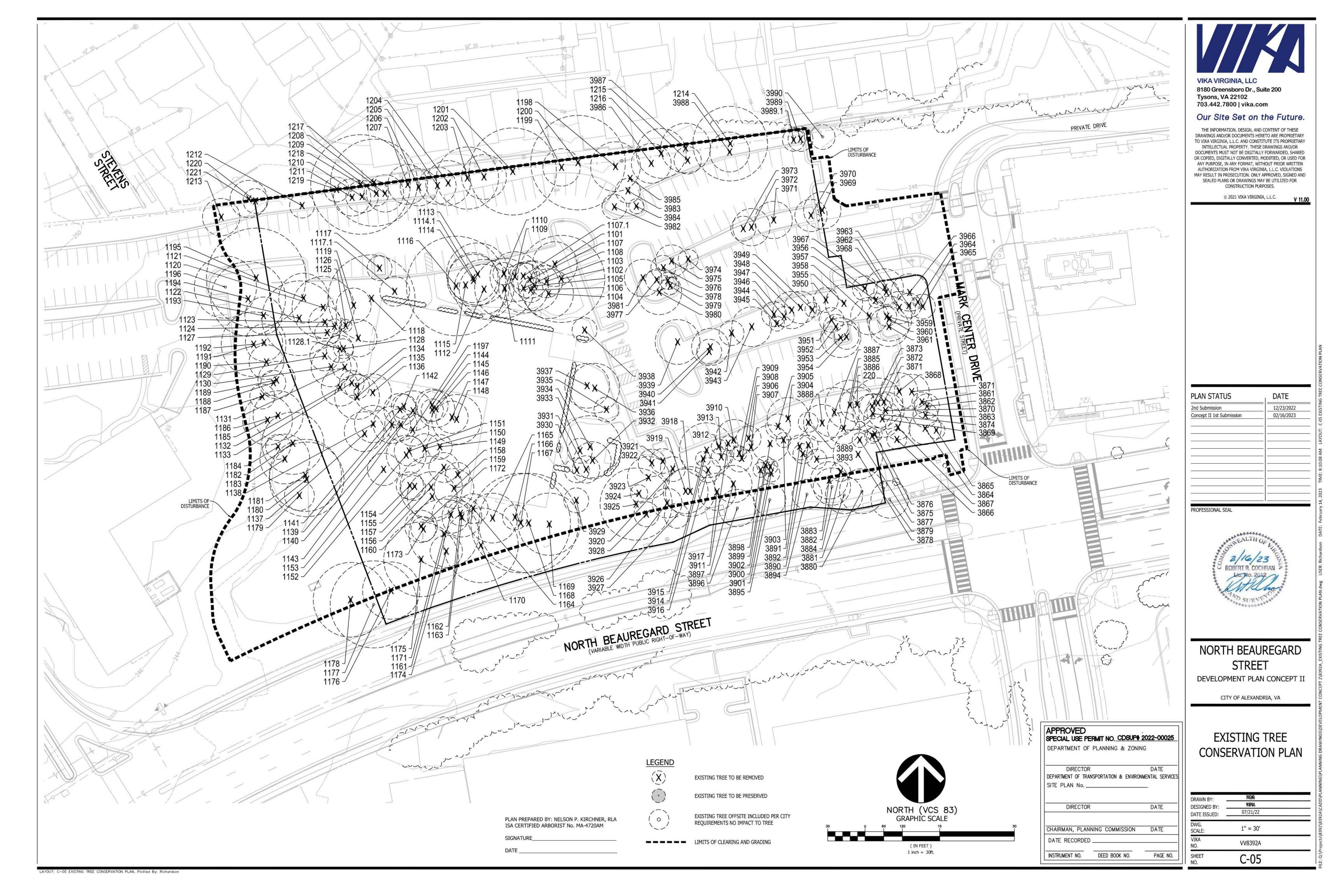
CITY OF ALEXANDRIA, VA

PROPERTY EXHIBIT

DRAWN BY:	NDR	
DESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1"=30'	
VIKA NO.	VV8392A	
SHEET NO.	C-03	



Q:\Projects\8392\8392A\CADD\SURVEYS\BASE DRAWINGS\8392A-SV.dwg, 2/14/2023 3:11:02 PM, AutoCAD PDF (High Quality Print).pc3



Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
220	Quercus stellata, Post Oak	6.3	8	0.60	Intermediate	0.75	14	REMOVE	•	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1101	Quercus rubra, Red Oak	12.9	13	0.00	Codominant	0.40	18 (E)	REMOVE		TREE-1101 IN DECLINE. TOPPED W/ HYPOXYLON. ASYMMETRIC CANOPY.
1102	Quercus rubra, Red Oak	15	15	0.58	Dominant	0.70	20 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR VIGOR & VITALITY. F/G ASYMMETRIC STRUCTURE. ~11° UPPER LEAN.
1103	Carya glabra, Pignut Hickory	6	8	0.65	Intermediate	0.80	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1104	Pinus virginiana, Virginia Pine	17	17	0.60	Dominant	0.30	22 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G ASYMMETRIC STRICTURE. OPEN CANKER AT MID/UPPER TRUNK STEM.
1105	Quercus alba, White Oak	9.5	10	0.65	Intermediate	0.60	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1106	Quercus prinus, Chestnut Oak	6	8	0.58	Intermediate	0.50	18 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G ASYMMETRIC STRUCTURE.
1107	Quercus rubra, Red Oak	13.7	14	0.10	Dominant	0.15	15	REMOVE		TREE-1107 W/ BIOTIC CANKER AT ROOT CROWN. F/P VIGOR & VITALITY. DEADWOOD IN UPPER CANOPY.
1107.1	Quercus alba, White Oak	5.3	8	0.65	Intermediate	0.80	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1108	Quercus prinus, Chestnut Oak	8.9	9	0.40	Intermediate	0.20	18 (S)	REMOVE		TREE UPPER ASYMMETRIC CANOPY/TRUNK STEM W/~34° LEAN TO BLDG. AT RISK TREE.
1109	Quercus alba, White Oak	12, 12.5	13	0.00	Dominant	-	20	REMOVE		TREE-1109 IS NECROTICAT-RISK TREE. SEVERE HYPOXYLON.
1110	Quercus alba, White Oak	10.2	11	0.60	Codominant	0.65	16 (SW)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1110	Carya glabra, Pignut Hickory	6.3	8	0.65	Intermediate	0.85	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1111	Quercus alba, White Oak	12.7	13	0.60	Codominant	0.75	28	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1112	Quercus alba, White Oak	12	12	0.58	Codominant	0.60	24 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G ASYMMETRIC CANOPY STRUCTURE.
1113	Quercus alba, White Oak	11	11	0.58	Codominant	0.45	24 (N)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G ASYMMETRIC CANOPY STRUCTURE.
1114	Quercus rubra, Red Oak	13.5	14	0.58	Dominant	0.30	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. LOW CANOPY RATIO.
1114.1	Quercus prinus, Chestnut Oak	11	11	0.60	Codominant	0.50	20 (N)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G ASYMMETRIC CANOPY STRUCTURE & LEAN.
1115	Quercus rubra, Red Oak	14.5	15	0.00	Dominant	I	10	REMOVE		NECROTIC W/ FUNGI & HYPOXYLON.
1116	Quercus alba, White Oak	27	27	0.64	Dominant	0.60	30	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD VIGOR, VITALITY & STRUCTURE. SLIGHT ASYMMETRIC SCAFFOLD BRANCHING.
1117	Cornus florida, Flowering Dogwood	7	8	0.58	Intermediate	0.50	12	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CANKER AT ROOT CROWN.
1117.1	Cornus kousa, Kousa Dogwood	6	8	0.64	Intermediate	0.30	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1118	Quercus rubra, Red Oak	26.5	27	0.65	Dominant	0.40	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1119	Quercus prinus, Chestnut Oak	17	17	0.60	Dominant	0.60	14	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING. 15° LEAN. SLIGHT DEADWOOD.
1120	Platanus occidentalis, American Sycamore	15.2	16	0.65	Dominant	0.60	25	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1121	Prunus serotina, Black Cherry	6.2	8	0.58	Intermediate	0.40	18 (N)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1122	Quercus rubra, Red Oak	18.5, 17	19	0.60	Dominant	0.55	30	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN - INCLUDED/EXCLUDED
1123	Quercus alba, White Oak	14.2	15	0.65	Dominant	0.60	20	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1124	Quercus prinus, Chestnut Oak	7.5	8	0.45	Intermediate	0.60	10	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/POOF (F/P) STRUCTURE & SCAFFOLD BRANCHING
1125	Quercus alba, White Oak	9.8	10	0.50	Codominant	0.45	7	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/POOF (F/P) STRUCTURE & SCAFFOLD BRANCHING. UPPER CANOPY DEADWOOD.
1126	Quercus alba, White Oak	14.3	15	0.60	Codominant	0.60	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
1128	Quercus prinus, Chestnut Oak	9.2	10	0.40	Intermediate	0.40	10	REMOVE		TREE-1128 WITY UPPER CANOPY STORM DAMAGE & DEADWOOD. F/G SCAFFOLD BRANCHING. GOOD COLOW, VIGOR & VITALITY.
1128.1	Quercus alba, White Oak	4	8	0.60	Intermediate	0.30	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1129	Quercus alba, White Oak	10.3	11	0.65	Dominant	0.70	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1130	Quercus prinus, Chestnut Oak	10.6	11	0.64	Dominant	0.50	18 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1131	Quercus alba, White Oak	7.6	8	0.65	Codominant	0.70	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1132	Quercus prinus, Chestnut Oak	9.4	10	0.62	Codominant	0.65	18 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1133	Quercus rubra, Red Oak	9.2, 10.6	11	0.64	Dominant	0.65	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN -
1134	Quercus prinus, Chestnut Oak	9.2, 7, 8.2	10	0.60	Codominant	0.50	12	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING. TRI-
1135	Quercus prinus, Chestnut Oak	13	13	0.60	Codominant	0.60	18 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1136	Quercus rubra, Red Oak	12.5	13	0.65	Dominant	0.70	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1137	Prunus serotina, Black Cherry	7.6	8	0.50	Intermediate	0.50	17 (S)	REMOVE		TREE-1137 SHOWS SLIGHT DECLINE & FUNG ON CANOPY STEMS.
1138	Quercus prinus, Chestnut Oak	11.2	12	0.63	Dominant	0.70	19 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1139	Quercus alba, White Oak	9.7	10	0.65	Dominant	0.80	18 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1140	Quercus rubra, Red Oak	13.3, 11	14	0.65	Dominant	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN -
1141	Quercus alba, White Oak	11.6	12	0.65	Dominant	0.65	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1142	Quercus alba, White Oak	10	10	0.60	Dominant	0.70	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
1143	Pinus virginiana, Virginia Pine	14.3	15	0.40	Dominant	0.10	14	REMOVE		TREE-1143 SHOWS DECLINE. DEADWOOD IN UPPER CANOPY.
1144	Quercus prinus, Chestnut Oak	9.3	10	0.63	Intermediate	0.70	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. ___ DIRECTOR

DIRECTOR

DATE CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED _

INSTRUMENT NO. DEED BOOK NO.

APPROVED SPECIAL USE PERMIT NO. CDSUP# 2022-00025

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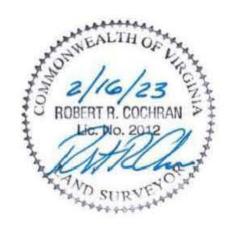
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CONSTRUCTION PURPOSES.

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PLAN STATUS	DATE			
2nd Submission	12/23/2022	= (
Concept II 1st Submission	02/16/2023			
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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

EXISTING TREE CONSERVATION **INVENTORY DATA**

DRAWN BY:	MOR	
DESIGNED BY:	WIRKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	
SHEET NO.	C-06	

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA ISA CERTIFIED ARBORIST No. MA-4720AM

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1145	Quercus prinus, Chestnut Oak	8	8	0.58	Intermediate	0.80	10	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. DEADWOOD IN UPPER
1146	Quercus prinus, Chestnut Oak	13.5	14	0.60	Codominant	0.40	20 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY &. STRUCTURE. ASYMMETRIC CANOPY.
1147	Quercus prinus, Chestnut Oak	13.7	14	0.60	Codominant	0.50	17 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY &. STRUCTURE. ASYMMETRIC CANOPY.
1148	Quercus rubra, Red Oak	18	18	0.60	Dominant	0.50	25 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY &. STRUCTURE. ASYMMETRIC CANOPY.
1149	Quercus alba, White Oak	10.5	11	0.65	Codominant	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1150	Quercus alba, White Oak	8.5	9	0.58	Codominant	0.60	16 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G). CODOM TRUNK STEM PREVIOUSLY REMOVED.
1151	Quercus alba, White Oak	11.7	12	0.00	Dominant	5 5	-	REMOVE		NECROTIC
1152	Quercus alba, White Oak	9.3	10	0.59	Codominant	0.55	18 (W)	REMOVE	,	NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY. TRUNK STEM LEAN.
1153	Prunus x yedoensis, Yoshino Cherry	6	8	0.60	Intermediate	0.70	15 (W)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1154	Prunus serotina, Black Cherry	7.5	8	0.65	Intermediate	0.40	14 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1155	Quercus alba, White Oak	7	8	0.63	Intermediate	0.55	13 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1156	Quercus alba, White Oak	18.5	19	0.64	Dominant	0.65	18 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1157	Quercus alba, White Oak	9	9	0.60	Codominant	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1158	Quercus alba, White Oak	8	8	0.63	Codominant	0.80	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
1159	Quercus alba, White Oak	15.5	16	0.65	Dominant	0.60	18	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO SEVERE BIOTIC ISSUES OBSERVED.
1160	Quercus prinus, Chestnut Oak	11	11	0.60	Codominant	0.50	18 (W)	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1162	Quercus alba, White Oak	13.5	14	0.00	Dominant	=	_	REMOVE		NECROTIC. HYPOXYLON.
1163	Quercus prinus, Chestnut Oak	12.5, 9	13	0.60	Dominant	0.45	17 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE CODOM AT ROOT CROWN. ASYMMETRIC CANOPY.
1164	Quercus alba, White Oak	12	12	0.58	Dominant	0.65	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE.
1165	Quercus rubra, Red Oak	14	14	0.59	Dominant	0.30	25 (S)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. FAIR/GOOD (F/G) STRUCTURE. DEADWOOD AT LOW CANOPY. LOW ASYMMETRIC CANOPY RATIO
1166	Quercus prinus, Chestnut Oak	11.5	12	0.60	Dominant	0.40	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1167	Quercus rubra, Red Oak	14.2, 10.7	15	0.60	Dominant	0.40	30 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1168	Quercus rubra, Red Oak	29	29	0.60	Dominant	0.40	30	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. PRUNED FOR BLDG CLEARANCE.
1169	Cedrus deodara, Deodar Cedar	22	22	0.65	Dominant	0.80	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1170	Tilia Cordata, Littleleaf Linden	15	15	0.60	Codominant	0.65	26 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1171	Acer platanoides, Norway Maple	14.5	15	0.65	Dominant	0.80	19	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1172	Cornus florida, Flowering Dogwood	6	8	0.60	Intermediate	0.50	14 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1173	Cornus florida, Flowering Dogwood	6	8	0.60	Intermediate	0.50	14 (W)	REMOVE	-	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1174	Cercis candensis, Eastern Redbud	6.6	7	0.64	Intermediate	0.50	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1175	Acer platanoides, Norway Maple	14.5	15	0.58	Dominant	0.80	18	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD & SLIME FLUX. CAVITY AT ROOT CROWN.
1176	Acer platanoides, Norway Maple	14	14	0.55	Dominant	0.70	15	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD & SLIME FLUX.
1177	Acer saccharinum, Silver Maple	26	26	0.65	Dominant	0.80	30	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1178	Malus spp., Crabapple	12, 9, 10.5	12	0.62	Codominant	0.70	16	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SAP WELL HOLES FROM BIRDS
1179	Carya glabra, Pignut Hickory	6	8	0.65	Codominant	0.60	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1180	Ulmus americana, American Elm	17.3	18	0.60	Dominant	0.40	35 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1181	Quercus alba, White Oak	16.5	17	0.00	_	-	-	REMOVE		NECROTIC W/ FUNGI & HYPOXYLON.
1182	Acer rubrum, Red Maple	9, 9, 10	10	0.65	Dominant	0.80	28	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TRI-DOM STREMS AT ROOT CROWN.
1183	Quercus rubra, Red Oak	17, 6	17	0 - 0.05	_	_	_	REMOVE		TREE NEAR NECROSIS. STORM DAMAGED TOPPED. 6" STEM W/ FUNGI.
1184	Quercus rubra, Red Oak	9.3	10	0.65	Codominant	0.65	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1185	Quercus alba, White Oak	18	18	0.62	Dominant	0.30	22	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1186	Quercus alba, White Oak	17.5	18	0.65	Dominant	0.60	24	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1187	Carya glabra, Pignut Hickory	6.2	8	0.60	Intermediate	0.50	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1188	Quercus rubra, Red Oak	6	8	0.60	Intermediate	0.35	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. LOW CANOPY RATIO.
1189	Carya glabra, Pignut Hickory	7	8	0.60	Intermediate	0.50	15 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1190	Quercus prinus, Chestnut Oak	15	15	0.65	Codominant	0.50	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1191	Carya glabra, Pignut Hickory	7.5	8	0.65	Intermediate	0.35	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1192	Quercus prinus, Chestnut Oak	11, 15	15	0.65	Codominant	0.70	20	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN.
1193	Quercus alba, White Oak	9.5, 12	12	0.65	Codominant	0.80	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN.
1194	Quercus rubra, Red Oak	21, 22	22	0.62	Dominant	0.40	25 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA ISA CERTIFIED ARBORIST No. MA-4720AM
SIGNATURE_____

DIRECTOR DEPARTMENT OF TRAN	NSPORTATION & ENVIRON	DATE IMENTAL SERVICES
SITE PLAN No		
DIRECTOR		DATE
CHAIRMAN, PLANI	NING COMMISSION	DATE
DATE RECORDED	<u> </u>	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

DRAWN BY:	MOR	
DESIGNED BY:	WIRKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	
SHEET NO.	C-07	

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1194.1	Quercus alba, White Oak	8	8	0.65	Codominant	0.70	12	REMOVE	•	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1195	Quercis phellos, Willow Oak	32	48	0.65	Dominant	0.45	28	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1196	Platanus occidentalis, American Sycamore	11	11	0.62	Dominant	0.50	20 (W)	PRESERVE	X	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
1197	Quercus alba, White Oak	12, 8.2	12	0.64	Dominant	0.75	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM AT ROOT CROWN - EXCLUDED.
1198	Pinus nigra, Austrian Pine	18	18	0.40	Dominant	0.50	18	REMOVE		TREE-1198 W/ SEVER EMBEDDED INVASIVE ENGLISH IVY FROM GRADE TO CANOPY. CANOPY FOLIAGE SHOWS GOOD COLOR,
1199	Pinus nigra, Austrian Pine	15.5	16	0.55	Dominant	0.60	17 (W)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING.
1200	Quercus alba, White Oak	27.5	28	0.68	Dominant	0.70	24	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1201	Quercus rubra, Red Oak	12	12	0.50	Dominant	0.40	20	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. WIDE 4-STEM UNION AT ROOT CROWN. ENGLISH IVY FROM GRADE TO CANOPY.
1202	Nyssa sylvatica, Blackgum	8, 6.5	8	0.52	Dominant	0.35	19	REMOVE		8" STEM SHOWS NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. 6.5" STEM W/ ENGLISH IVY FROM GRADE TO CANOPY.
1203	Quercus rubra, Red Oak	16.5	17	0.54	Dominant	0.70	19	REMOVE		TREE-1203 SHOWS DEADWOOD IN CANOPY SLIGHT STRESS. ENGLISH IVY FROM GRADE TO MID-TRUNK STEM.
1204	Acer rubrum, Red Maple	6	8	0.60	Codominant	0.50	17 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
1205	Pinus nigra, Austrian Pine	15	15	0.60	Dominant	0.70	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1206	Pinus nigra, Austrian Pine	16.5	17	0.60	Dominant	0.30	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
1207	Carya glabra, Pignut Hickory	7.8, 7.4	8	0.65	Dominant	0.80	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
1208	Pinus nigra, Austrian Pine	11	11	0.58	Dominant	0.40	14 (S)	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY. NO APPARENT BIOTIC ISSUES OBSERVED.
1209	Pinus nigra, Austrian Pine	9	9	0.58	Codominant	0.30	12 (S)	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY. NO SEVERE BIOTIC ISSUES OBSERVED.
1210	Pinus nigra, Austrian Pine	12	12	0.58	Codominant	0.50	13	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. & SCAFFOLD BRANCHING. NO APPARENT BIOTIC ISSUES OBSERVED.
1211	Pinus nigra, Austrian Pine	9.2	10	0.60	Codominant	0.50	12	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
1212	Juniperus virginiana, Redcedar Pinus nigra, Austrian	6	8	0.60	Intermediate	0.80	11	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO SEVERE BIOTIC ISSUES OBSERVED.
1213	Pine	9.5	10	0.57	Codominant	0.50	16	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/P STRUCTURE. NO SEVERE BIOTIC ISSUES OBSERVED.
1214	Morus alba, White Mulberry	15, 9.5, 12.5	13	0.52	Codominant	0.60	27	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/P STRUCTURE. CODOM AT ROOT CROWN W/ WIDE UNION AT ROOT CROWN. CL FENCE IS EMBEDDED INTO TRUNK STEM.
1215	Morus alba, White Mulberry	21	21	0.60	Codominant	0.65	15	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SHOWS RECENT CONSTRUCTION EXCAVATION AT GRADE.
1216	Quercus phellos, Willow Oak	22	22	0.64	Dominant	0.80	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. OFF-SITE.
1217	Quercus alba, White Oak	19	19	0.60	Dominant	0.45	30	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. OFF-SITE. NO APPARENT BIOTIC ISSUES OBSERVED.
1218	Quercus alba, White Oak	30	45	0.64	Dominant	0.60	40	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM STEMS ~7 VF ABOVE GRADE (12"& 18"0. TREE OFF-SITE.
1219	Prunus serotina, Black Cherry	7	8	0.60	Codominant	0.60	14	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TREE OFF-SITE.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
1220	Ailanthus altissima, Tree-of-Heaven	6	8	0.60	Codominant	0.40	16 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TREE W/ INVASIVE VEGETATION.
1221	Prunus serotina, Black Cherry	10	10	0.58	Codominant	0.50	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
2912	Pinus virginiana, Virginia Pine	8.5	9	0.60	Intermediate	0.20	9	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE. LOW CANOPY RATIO.
3860	Quercus alba, White Oak	10	10	0.52	Codominant	0.75	15 (N)	REMOVE		TREE-3860 SHOWS DECLINE. UPPER CANOPY DEADWOOD. INVASIVE ENGLISH IN FROM GRADE TO MID-TRUNK STEM.
3861	Quercus alba, White Oak	13	13	0.57	Dominant	0.80	10	REMOVE		TREE-3861 SHOWS SRESS /DECLINE. UPPE CANOPY DEADWOOD W/ F/P SCAFFOLD BRANCHING.
3862	Pinus virginiana, Virginia Pine	8.8	9	0.60	Codominant	0.20	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. LOW CANOPY RATIO.
3863	Pinus virginiana, Virginia Pine	12.3	13	0.60	Dominant	0.25	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. LOW CANOPY RATIO.
3864	Quercus alba, White Oak	14	14	0.62	Dominant	0.65	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT UPPER CANOPY DEADWOOD.
3865	Quercus alba, White Oak	14	14	0.58	Dominant	0.80	9	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/P STRUCTURE & SCAFFOLD BRANCHING. UPPER CANOPY DEADWOOD.
3866	Quercus alba, White Oak	9.3	10	0.62	Codominant	0.70	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING
3867	Quercus alba, White Oak	6	8	0.65	Intermediate	0.80	10	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT UPPER CANOPY DEADWOOD.
3868	Quercus alba, White Oak	10.2	11	0.58	Codominant	0.75	16 (N)	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
3869	Quercus alba, White Oak	10.6	11	0.60	Dominant	0.70	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE W/ AN UPPER 10° LEAN.
3870	Quercus alba, White Oak	13	13	0.60	Dominant	0.75	18	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SHOWS SLIGHT UPPER CANOPY DEADWOOD.
3871	Quercus alba, White Oak	6.4	8	0.63	Codominant	0.85	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3872	Quercus rubra, Red Oak	11.4	12	0.60	Codominant	0.50	18 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY.
3873	Quercus alba, White Oak	11.8	12	0.60	Codominant	0.70	10	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
3874	Pinus virginiana, Virginia Pine	14	14	0.65	Dominant	0.15	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3875	Quercus alba, White Oak	8	8	0.63	Codominant	0.65	12 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY
3876	Quercus alba, White Oak	6	8	0.65	Codominant	0.80	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3877	Nyssa sylvatica, Blackgum	6.4	8	0.57	Codominant	0.85	6	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE & SCAFFOLD BRANCHING.
3878	Quercus alba, White Oak	18.5	19	0.68	Dominant	0.70	18	PRESERVE	х	NO APPARENT BIOTIC ISSUES OBSERVED GOOD COLOR, VIGOR, VITALITY & STRUCTURE.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA

A CERTIFIED ARBORIST No. MA-4720AN	1
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DIRECTOR	₹	DATE
DEPARTMENT OF TRA	ANSPORTATION & ENVIRON	MENTAL SERVICES
SITE PLAN No		
DIRECTOR	२	DATE
CHAIRMAN, PLAN	NNING COMMISSION	DATE
DATE RECORDE	D	
INSTRUMENT NO	DEED BOOK NO.	PAGE NO.



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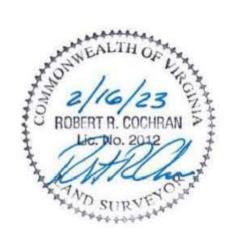
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PLAN STATUS DATE 2nd Submission 12/23/2022 Concept II 1st Submission 02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

DRAWN BY:	MOR	
DESIGNED BY:	WIRIA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	
SHEET NO.	C-08	

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3879	Quercus phellos, Willow Oak	13	13	0.68	Dominant	0.80	R	REMOVE	-	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3880	Cercis candensis, Eastern Redbud	8.2*	9	0.60	Intermediate	0.50	14	PRESERVE	х	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3881	Quercus phellos, Willow Oak	9	9	0.68	Intermediate	0.75	16	PRESERVE	x	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3882	Pinus virginiana, Virginia Pine	14.3	15	0.65	Dominant	0.30	16	PRESERVE	x	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TREE W/ UPPER TRUNK STEM
3883	Pinus virginiana, Virginia Pine	11.8	12	0.65	Dominant	0.20	15	PRESERVE	x	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TREE W/ UPPER TRUNK STEM
3884	Pinus virginiana, Virginia Pine	10.6	11	0.65	Dominant	0.20	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3885	Quercus alba, White Oak	11.9	12	0.60	Dominant	0.70	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. UPPER CANOPY DEADWOOD. NO APPARENT BIOTIC ISSUES OBSERVED.
3886	Quercus alba, White Oak	11.5	12	0.63	Dominant	0.75	26 (N)	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY. NO APPARENT BIOTIC ISSUES OBSERVED.
3887	Quercus alba, White Oak	13	13	0.60	Dominant	0.50	24 (N)	REMOVE		GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC UPPER CANOPY NO APPARENT BIOTIC ISSUES OBSERVED.
3888	Prunus serotina, Black Cherry	9.3	10	0.65	Dominant	0.70	17	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3889	Acer platanoides, Norway Maple	7.9	8	0.65	Dominant	0.70	15	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3890	Pinus virginiana, Virginia Pine	12.6	13	0.68	Dominant	0.15	12	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3891	Pinus virginiana, Virginia Pine	13.5	14	0.65	Dominant	0.30	12	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3892	Quercus alba, White Oak	6	8	0.68	Intermediate	0.75	14	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3893	Pinus virginiana, Virginia Pine	13.5	14	0.68	Dominant	0.15	14	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3894	Quercus phellos, Willow Oak	10	10	0.68	Codominant	0.80	16	PRESERVE	X	GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3895	Quercus phellos, Willow Oak	10	10	0.68	Codominant	0.80	15	PRESERVE	X	GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3896	Cercis candensis, Eastern Redbud	7	8	0.65	Intermediate	0.70	14	PRESERVE	Х	GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3897	Quercus rubra, Red Oak	16.7	17	0.65	Dominant	0.80	16	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3898	Quercus alba, White Oak	8.8	9	0.65	Intermediate	0.80	13	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3899	Quercus alba, White Oak	12	12	0.65	Codominant	0.90	15	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3900	Nyssa sylvatica, Blackgum	6	8	0.65	Intermediate	0.85	13	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3901	Nyssa sylvatica, Blackgum	6	8	0.62	Intermediate	0.80	13	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY. TREE-3902 SHOWS UPPER CANOPY
3902	Quercus alba, White Oak	19.2, 10.8	20	0.55	Dominant	0.70	18	REMOVE		DEADWOOD. F/G STRUCTURE. FOLIAGE SHOWS GOOD COLOR, VIGOR & VITALITY. NO APPARENT BIOTIC ISSUES OBSERVED.
3903	Pinus virginiana, Virginia Pine	8.2	9	0.62	Dominant	0.10	8	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3904	Ulmus americana, American Elm	11.8	12	0.65	Codominant	0.45	19	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3905	Acer platanoides, Norway Maple	7	8	0.65	Intermediate	0.75	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3906	Quercus alba, White Oak	12	12	0.45	Codominant	0.40	10	REMOVE		TREE-3906 SHOWS DECLINE. UPPER CANOPY DEADWOOD & POOR SCAFFOLD BBRANCHING.
3907	Quercus alba, White Oak	10.5	11	0.00	Codominant		11	REMOVE		NECROTIC W/ HYPOXLYLON.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3908	Carya glabra, Pignut Hickory	6.5	8	0.68	Intermediate	0.75	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3909	Quercus alba, White Oak	10.4	11	0.65	Codominant	0.75	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3910	Quercus phellos, Willow Oak	10.8	11	0.65	Codominant	0.75	18 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
3911	Pinus virginiana, Virginia Pine	9.3	10	0.60	Intermediate	0.15	8	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. LOW CANOPY RATIO.
3913	Quercus alba, White Oak	6	8	0.65	Intermediate	0.70	9	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3914	Quercus alba, White Oak	17.5, 17.5	18	0.65	Dominant	0.70	35	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM STEMS ~4-VF.
3915	Quercus alba, White Oak	8	8	0.65	Intermediate	0.80	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3916	Quercus alba, White Oak	8	8	0.63	Codominant	0.75	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
3917	Quercus alba, White Oak	8	8	0.60	Intermediate	0.75	15	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
3918	Quercus alba, White Oak	9, 9, 6.5	9	0.65	Codominant	0.70	25	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TRI-DOM STEMS AT ROOT CROWN.
3919	Quercus alba, White Oak	9.8, 15.5, 9	16	0.65	Dominant	0.80	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. TRI-DOM STEMS AT ROOT CROWN.
3920	Quercus alba, White Oak	8.6	9	0.63	Codominant	0.50	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. MOD-SCAFFOLD BRANCHING DENSITY/DISTRABUTION.
3921	Quercus alba, White Oak	12	12	0.60	Codominant	0.40	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. MOD-SCAFFOLD BRANCHING DENSITY/DISTRABUTION.
3922	Quercus alba, White Oak	8.8	9	0.65	Intermediate	0.65	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3923	Quercus alba, White Oak	17.2	18	0.65	Dominant	0.35	27	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. MOD-SCAFFOLD BRANCHING DENSITY/DISTRABUTION.
3924	Quercus alba, White Oak	6.5	8	0.60	Intermediate	0.50	11	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. & SCAFFOLD BRANCHING.
3925	Quercus alba, White Oak	12, 7.2, 14.5	15	0.65	Dominant	0.80	23	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3926	Quercus rubra, Red Oak	7	8	0.65	Intermediate	0.70	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
3927	Quercus phellos, Willow Oak	5, 4, 3.5	8	0.65	Intermediate	0.70	12	PRESERVE	x	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3928	Pyrus calleryana, Callery Pear	7.5	8	0.65	Intermediate	0.70	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3929	Acer rubrum, Red Maple	6.5	8	0.65	Intermediate	0.70	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3930	Pinus virginiana, Virginia Pine	11.8	12	0.60	Dominant	0.20	28 (W)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
ISA CERTIFIED ARBORIST No. MA-4720AM

SIGNATURE

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CHAIRMAN, PLAN	INING COMMISSION	DATE
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PLAN STATUS

2nd Submission

Concept II 1st Submission

02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

DRAWN BY:	PIOR	
DESIGNED BY: _	WIRKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	
SHEET NO.	C-09	

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3931	Quercus alba, White Oak	12.5	13	0.65	Codominant	0.70	15	REMOVE	F	NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3932	Acer platanoides, Norway Maple	10	10	0.65	Codominant	0.60	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. INVASIVE VEGETATION.
3933	Quercus alba, White Oak	12.8	13	0.65	Codominant	0.70	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3933.1	Quercus alba, White Oak	5	8	0.62	Intermediate	0.80	10	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3934	Quercus alba, White Oak	23.5	24	0.65	Dominant	0.60	25	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3935	Pinus virginiana, Virginia Pine	14.5	15	0.58	Dominant	0.20	12	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. LOW CANOPY RATIO.
3936	Quercus alba, White Oak	11.3, 12	12	0.65	Dominant	0.70	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM STEMS AT ~2VF - EXCLUDED.
3937	Quercus alba, White Oak	22	22	0.65	Dominant	0.70	20	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3938	Acer palmatum, Japanese Maple	Multi-9 stem:3"- 9"	9	0.65	Intermediate	0.50	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3939	Quercus rubra, Red Oak	10.5	11	0.60	Codominant	0.70	16 (E)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE W/ AN UPPER CANOPY LEAN.
3940	Quercus stellata, Post Oak	10.5	11	0.60	Codominant	0.85	20 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE W/ AN UPPER CANOPY LEAN.
3941	Quercus alba, White Oak	11.5	12	0.60	Codominant	0.80	16 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. ASYMMETRIC CANOPY
3942	Quercus alba, White Oak	10.5	11	0.60	Codominant	0.50	14 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3943	Quercus alba, White Oak	12	12	0.60	Codominant	0.80	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3944	Quercus alba, White Oak	11, 10	11	0.60	Codominant	0.85	18 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3945	Carya glabra, Pignut Hickory	6.5	8	0.65	Codominant	0.90	14	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3946	Carya glabra, Pignut Hickory	8	8	0.65	Codominant	0.85	14	REMOVE	,	GOOD COLOR, VIGOR, VITALITY & STRUCTURE. NO APPARENT BIOTIC ISSUES OBSERVED.
3947	Quercus alba, White Oak	8.5, 7.5	9	0.65	Codominant	0.75	17	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM STEMS AT ~ 2VF - EXCLUDED.
3948	Quercus stellata, Post Oak	10.5	11	0.60	Codominant	0.80	16	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3949	Nyssa sylvatica, Blackgum	8	8	0.25	Codominant	0.80	2	REMOVE		TREE3949 SHOWS SIGNIFICANT DECLINE. V-POOR SCAFFOLD BRANCHING & DEADWOOD
3950	Quercus alba, White Oak	7.5	8	0.63	Codominant	0.80	15 (N)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE W/ AN UPPER CANOPY LEAN.
3951	Quercus alba, White Oak	11.2	12	0.25	Codominant	0.70	10	REMOVE		TREE-3951 IS IN DECLINE. POOR CANOPY STRUCTURE. CANOPY DEADWOOD.
3952	Quercus alba, White Oak	7.3	8	0.63	Codominant	0.80	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3953	Quercus alba, White Oak	13.2	14	0.54	Codominant	0.70	16	REMOVE		TREE-3953 SHOWS DECLINE & UPPER CANOPY DEADWOOD W/ FUNGI.
3954	Quercus alba, White Oak	13	13	0.30	Codominant	0.70	15	REMOVE		TREE-3954 SHOWS DECLINE & UPPER CANOPY DEADWOOD W/ FUNGI.
3955	Quercus rubra, Red Oak	10.5	11	0.60	Codominant	0.80	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3956	Quercus alba, White Oak	10.3	11	0.60	Codominant	0.80	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD.
3957	Quercus alba, White Oak	6	8	0.65	Codominant	0.80	11	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3958	Quercus alba, White Oak	10.5	11	0.60	Codominant	0.50	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD
3959	Pinus virginiana, Virginia Pine	9	9	0.60	Codominant	0.20	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. LOW CANOPY RATIO.
3960	Quercus alba, White Oak	12.5	13	0.63	Codominant	0.85	13	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD NO APPARENT BIOTIC ISSUES OBSERVED.
3961	Pinus virginiana, Virginia Pine	13.2, 10	14	0.64	Codominant	0.30	17	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CODOM STEMS AT ROOT NO APPARENT BIOTIC ISSUES OBSERVED.
3962	Pinus virginiana, Virginia Pine	18.5	19	0.65	Dominant	0.30	18	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3963	Quercus prinus, Chestnut Oak	13	13	0.00	Codominant	_	12	REMOVE		TREE-3963 IS NECROTIC.
3964	Quercus alba, White Oak	8.5	9	0.60	Codominant	0.65	11	REMOVE		OOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD
3965	Quercus alba, White Oak Quercus alba, White	11	11	0.52	Codominant	0.70	16 (S)	REMOVE		TREE-3965 SHOWS DECLINE & STRESS. TREE W/ CANOPY DEADWOOD.
3966	Oak	9	9	0.00	Codominant	2	12	REMOVE		TREE-3966 IS NECROTIC. NO APPARENT BIOTIC ISSUES OBSERVED.
3967	Quercus alba, White Oak	6.8	8	0.60	Codominant	0.70	16	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. SLIGHT CANOPY DEADWOOD NO APPARENT BIOTIC ISSUES OBSERVED.
3968	Quercus alba, White Oak	11	11	0.60	Codominant	0.85	16	REMOVE		GOOD COLOR, VIGOR, VITALITY & STRUCTURE. CALUS BURL AT ROOT CROWN
3969	Quercus alba, White Oak	10.2	11	0 - 0.05	Codominant	0.70	15	REMOVE		TREE-3969 IS NEAR NECROSIS.
3970	Quercus alba, White Oak	7.3	8	0.60	Codominant	0.65	15	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.
3971	Quercus alba, White Oak	11, 11, 11	11	0.48	Codominant	0.65	17	REMOVE		TREE-3971 SHOWS SLIGHT STRESS & DECLINE. TREE W/ UPPER CANOPY DEADWOOD.
3972	Gleditsia tricanthos, Honeylocust	10.5	11	0.65	Codominant	0.45	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3973	Quercus alba, White Oak	9	9	0.60	Codominant	0.80	16	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. DEADWOOD IN CANOPY.
3974	Quercus alba, White Oak	7.8	8	0.58	Codominant	0.80	13	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE. UPPER CANOPY DEADWOOD.
3975	Quercus alba, White Oak	7.5, 8.5	9	0.54	Codominant	0.80	15	REMOVE		TREE-3975 SHOWS STRESS & STEM DIEBACK W/ STEM DEADWOOD. CANOPY FOLIAGE SHOWS GOOD COLOR, VIGOR & VITALITY.
3976	Quercus rubra, Red Oak	10.2	11	0.52	Codominant	0.45	16 (S)	REMOVE		TREE-3976 SHOWS SLIGHT STRESSOPEN CAVITY AT ROOT CROWN. CANOPY W/DEADWOOD & F/P SCAFFOLD BRANCHING.
3977	Quercus alba, White Oak	11.3	12	0.57	Codominant	0.70	14	REMOVE		TREE-3977 SHOWS SLIGHT STRESS W/ F/P SCAFFOLD BRANCHING & DEADWOOD.
3978	Quercus alba, White Oak	7.7	8	0.57	Codominant	0.80	8	REMOVE		TREE-3978 SHOWS STRESS/ DEADWOOD & POOR SCAFFOLD BRANCHING. FOLIAGE SHOWS GOOD COLOR, VIGOR & VITALITY.
3979	Nyssa sylvatica, Blackgum	6.5	8	0.62	Codominant	0.60	16 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY.
3980	Quercus rubra, Red Oak	11.5	12	0.59	Dominant	0.05	19 (S)	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. ASYMMETRIC CANOPY. SLIGH DEADWOOD.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA ISA CERTIFIED ARBORIST No. MA-4720AM
SIGNATURE_____

APPROVED SPECIAL USE PE	ERMIT NO. CDSUP#	2022-00025
DEPARTMENT OF	PLANNING & ZONII	NG
DIRECTOR	₹	DATE
DEPARTMENT OF TRA	INSPORTATION & ENVIRO	NMENTAL SERVICES
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PLAN STATUS
2nd Submission
Concept II 1st Submission

02/16/2023

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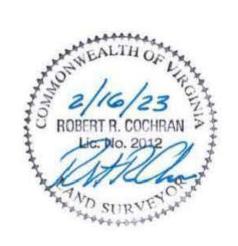
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12/23/2022

02/16/2023

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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

DRAWN BY: _	ADA	
DESIGNED BY:	WIRIA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	*
SHEET NO.	C-10	•

Tree No.	Species	Size	CRZ	Field Condition	Canopy Position	Crown Density	Average Crown Radius	Status	Activites	Existing Tree Condition Observations
		*DBH (in)	R (ft)	%		%	Ft		Tree Protection	
3981	Gleditsia tricanthos, Honeylocust	10.8	11	0.60	Codominant	0.50	17	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3982	Cornus florida, Flowering Dogwood	5.5	8	0.64	Intermediate	0.55	10	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3983	Prunus x yedoensis, Yoshino Cherry	10.2	11	0.64	Intermediate	0.50	12	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3984	Cornus florida, Flowering Dogwood	5	8	0.64	Intermediate	0.50	8	REMOVE		NO APPARENT BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE.
3985	Snag	8	1-0	0.00	- ->	. 	a - -	REMOVE		NECROTIC. SEVERE ENGLISH IVY.
3986	Pinus nigra, Austrian Pine	16	16	0.54	Dominant	0.50	18	REMOVE		TREE-3986 WITH EMBEDDED ENGLISH IVY FROM GRADE TO MID-TRUNK STEM.CANOP FOLIAGE SHOWS GOOD COLOR, VIGOR & VITALITY.
3987	Pinus nigra, Austrian Pine	11.5	12	0.54	Codominant	0.20	14	REMOVE		TREE-3987 W/ SEVER ENGLISH IVY FRM GRADE TO CANOPY. F/P SCAFFOLD BRANCHING & ASYMMETRIC CANOPY.
3988	Pinus nigra, Austrian Pine	16	16	0.60	Dominant	0.30	16	REMOVE		NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR, VITALITY & STRUCTURE. INVASIVE ENGLISH IVY AT LOV TRUNK STEM.
3989	Juniperus virginiana, Redcedar	7	8	0.00	Intermediate		8	REMOVE		TREE-3989 IS NECROTIC. SEVERE INVASIVE FROM GRADE TO UPPER CANOPY.
3989.1	Juniperus virginiana, Redcedar	8	8	0.00	Intermediate	_	9	REMOVE		TREE-3989.1 IS NECROTIC W/ SEVERE INVASIVES FROM GRADE TO UPPER CANOPY.
3990	Pinus nigra, Austrian Pine	8	8	0.58	Intermediate	0.50	8	PRESERVE	х	NO SEVERE BIOTIC ISSUES OBSERVED. GOOD COLOR, VIGOR & VITALITY. F/G STRUCTURE.

DBH = Diameter at Breast Height (measured 4.5 feet above existing grade or as noted).

= Diameter measurement as recorded at the root crown where tree has a codominant, or mulit-stem trunk which precludes a measurement at 4.5 ft above existing grade.

CRZ = Critical Root Zone (1 foot of radius per inch of tree diameter) CRZ for trees with multiple stems were calculated based on the diameter of a tree with the basal area equal to the sum of the basal areas for all stems measured.

Conditions Ratings provided as percentages as based on methods outlined in the 9th edition of the "Guide for Plant Appraisal", published by the International Society of Arboriculture.

For Avg Canopy Radius postings of 17(S) reference, the (S) indicates the cardinal direction of the asymmetric canopy of the subject tree (North, South, East, West)

\\VA-PROJECTS2.vika.com\projects\Projects\8392\8392A\DATA\Landscape & Trees\2022.10.26\[Ex Tree Invtory (2022.10.26).xls]Sheet1

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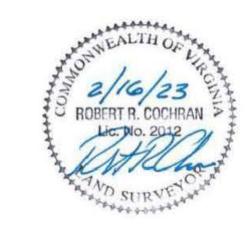
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
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PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

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DIRECTOR	DATE:
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SITE PLAN No.	

DATE RECORDED _ INSTRUMENT NO. DEED BOOK NO. PAGE NO.

EXISTING TREE CONSERVATION **INVENTORY DATA**

DRAWN BY:	MOR	
DESIGNED BY:	WIRKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1" = 30'	
VIKA NO.	VV8392A	
SHEET NO.	C-11	

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA ISA CERTIFIED ARBORIST No. MA-4720AM

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CITY OF ALEXANDRIA, VIRGINIA

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CITY OF ALEXANDRIA

STANDARD TREE PRESERVATION NOTES

INSTALLATION OF MULCH/TOPDRESSING.

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS WITH PRESERVATION AREAS

- 1) VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL CONTINUOUSLY RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- A. MAINTENANCE SHALL BE PRO- ACTIVE.
- B. MAINTENANCE OPERATIONS SHALL AGGRESSIVELY MON ITOR THE HEALTH, GROWTH AND VIGOR OF VEGETATION AND PRESCRIBE SELECTIVE PRUNING, REMOVAL OF VOLUNTEER AND/ OR INVASIVE SPECIES, WATERING, FERTILIATION AND
- C. WHEN PRESERVED VEGETATION IS LOCATED ON CITY PROPERTY, MAINTENANCE SHALL BE PERFORMED TO THE SATISFACTION OF THE CITY.
- 2) ARE AS DESIGNATED FOR PROTECTION AND/ OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:
- A. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR
- STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES. B. FELLING AND STORING VEGETATION. III. INCINERATING MATERIALS WITH IN OR IN CLOSE PROXIMITY.
- C. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHIC LE/ EQUIPMENT PARKING OR STORAGE.
- D. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.
- E. DISPOSAL OF DEBRIS OR CHEMICALS. VII. TEMPORARY FAC ILITIES OR OCCUPATION

APPROVED

SITE PLAN No. _

DATE RECORDED.

DIRECTOR

DIRECTOR

INSTRUMENT NO. DEED BOOK NO.

CHAIRMAN, PLANNING COMMISSION DATE

F. STORAGE OF CONSTRUCTION MATER IALS OR WASTE.

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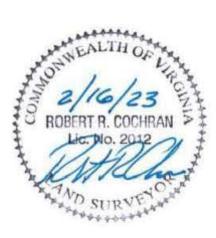
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2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
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PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

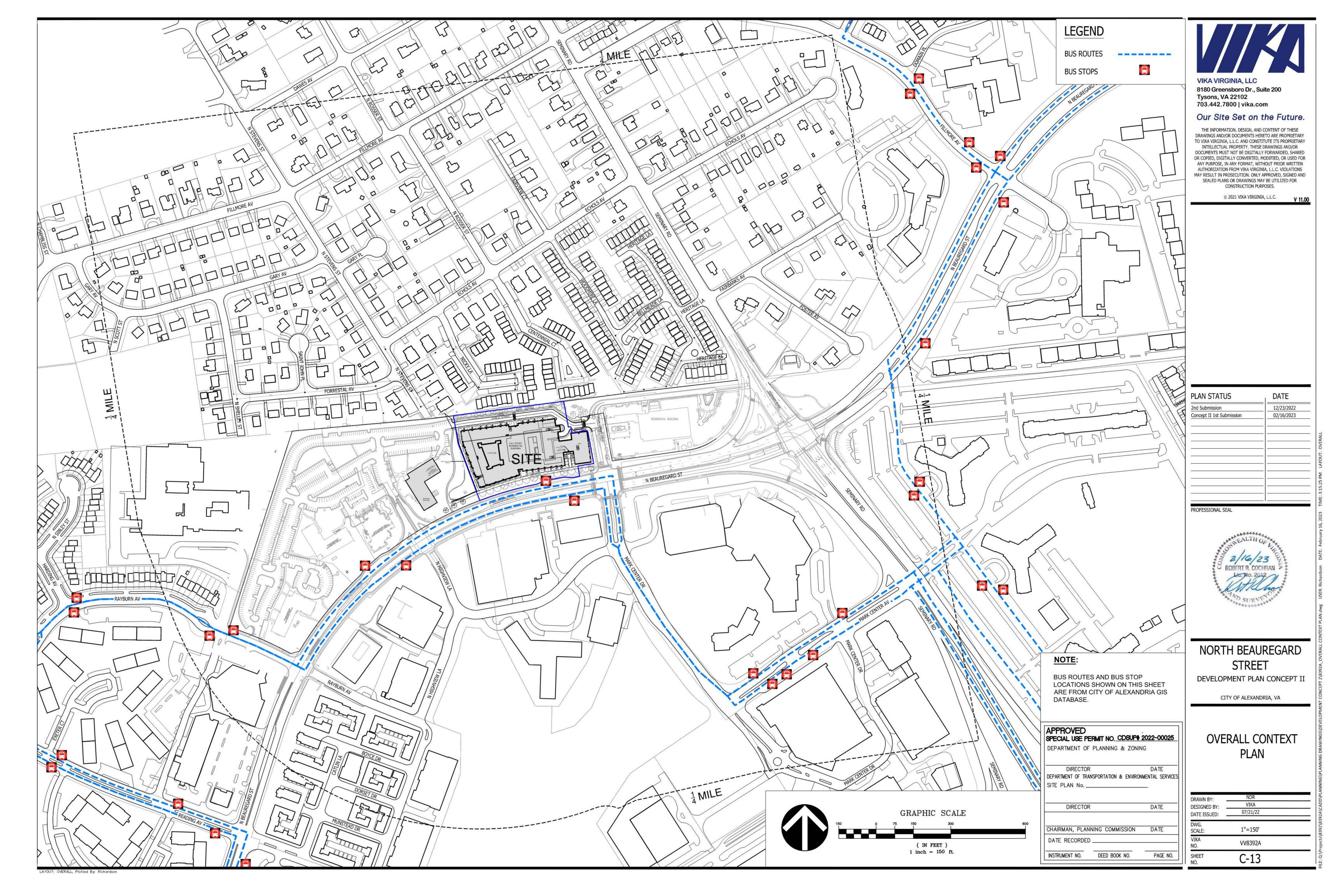
EXISTING TREE SPECIAL USE PERMIT NO. CDSUP# 2022-00025 CONSERVATION NOTES DEPARTMENT OF PLANNING & ZONING AND DETAILS DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

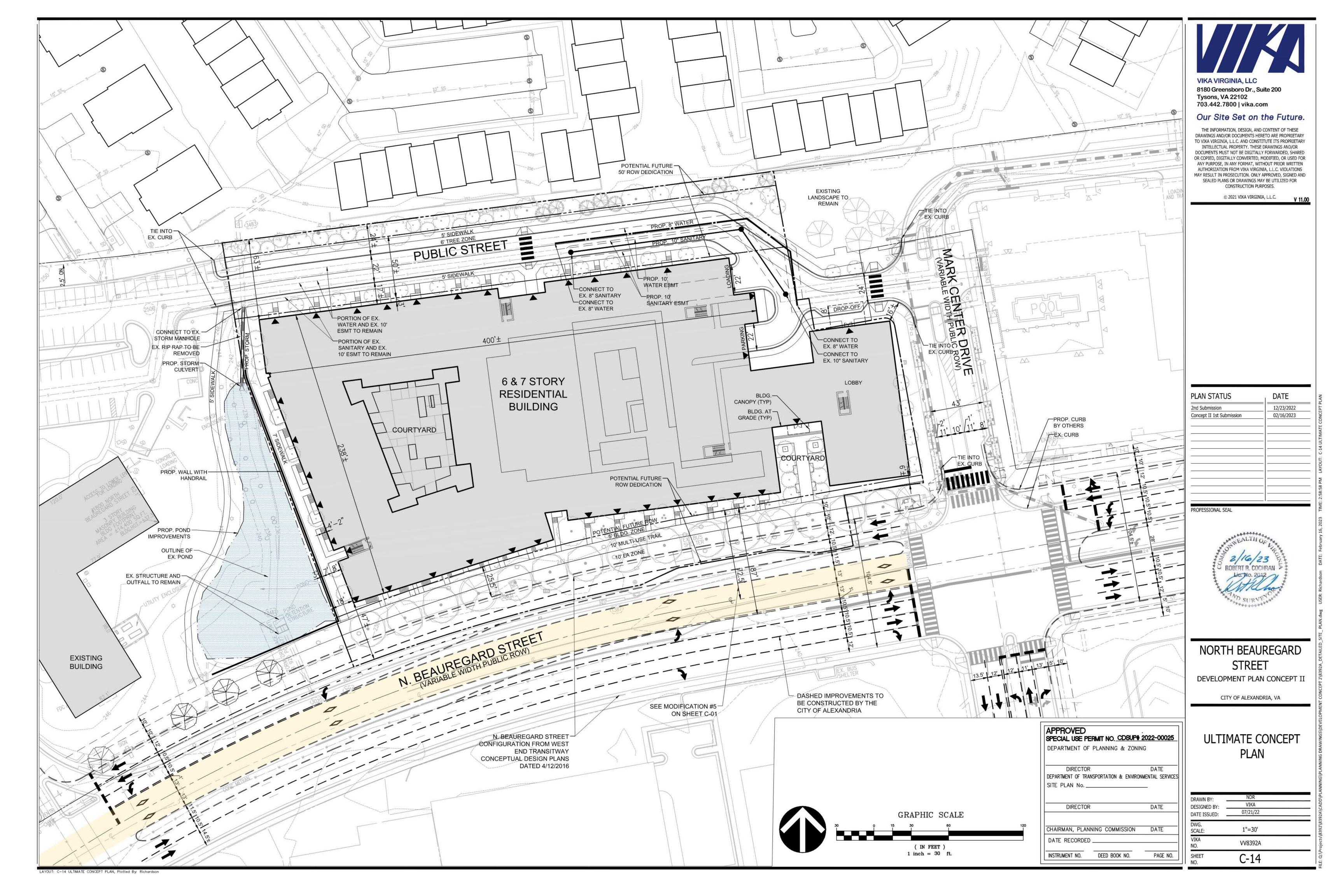
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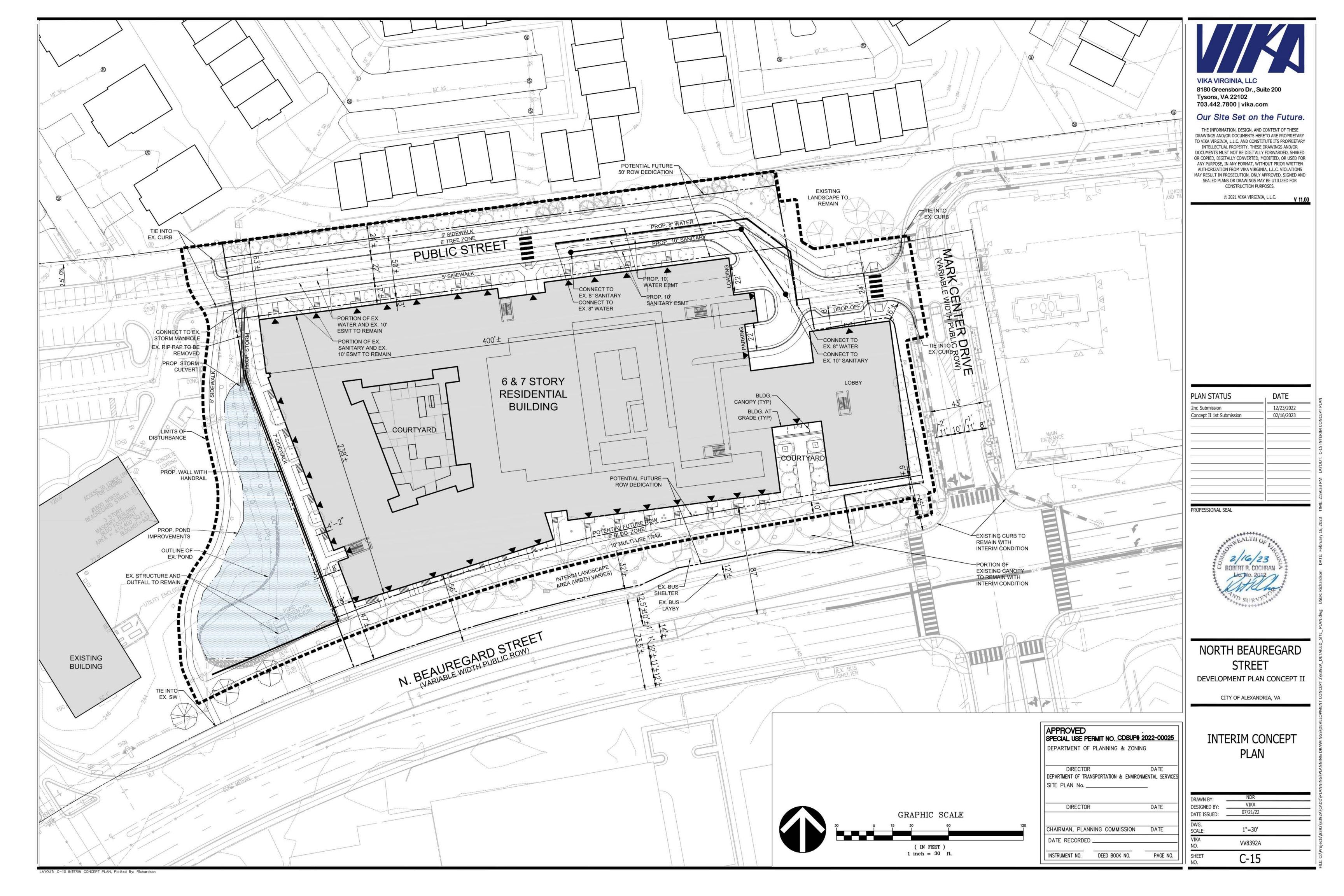
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AGE NO.	SHEET NO.	C-12

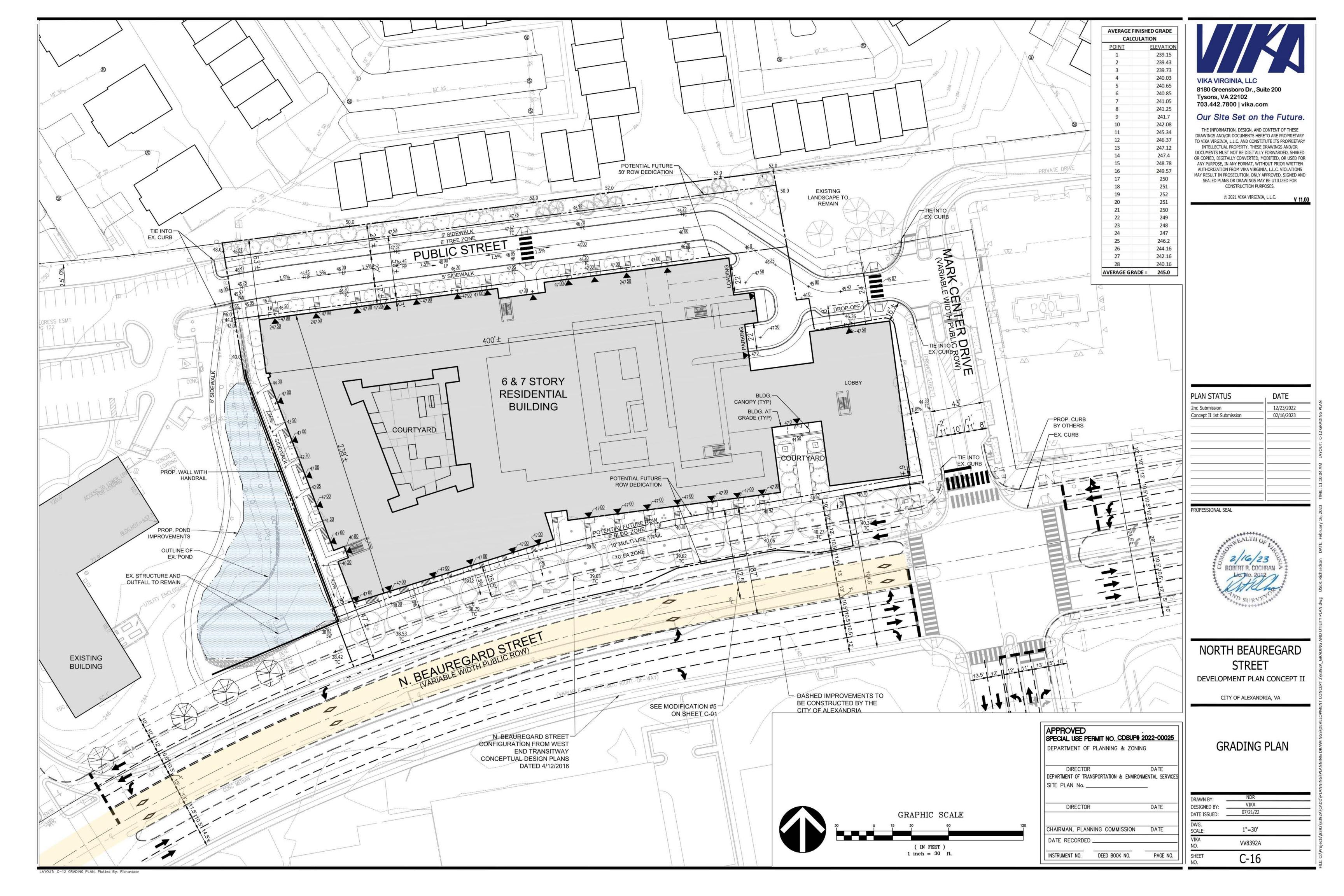
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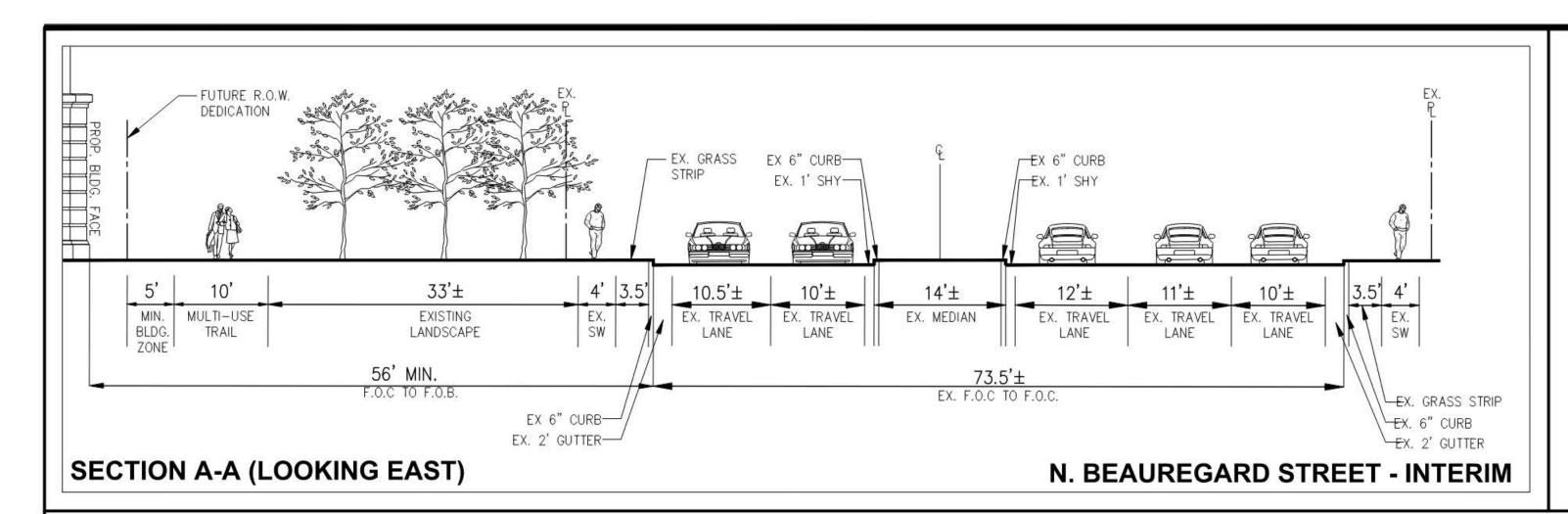
LAYOUT: C-12 EXISTING TREE CONSERVATION NOTES AND DETAILS, Plotted By: Richardson

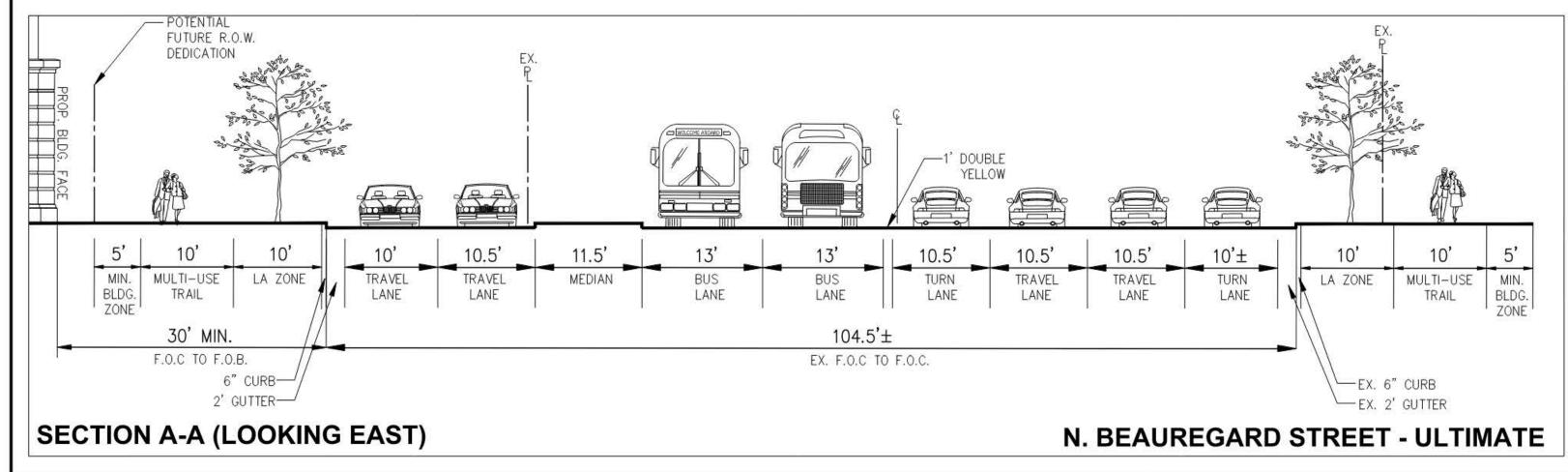


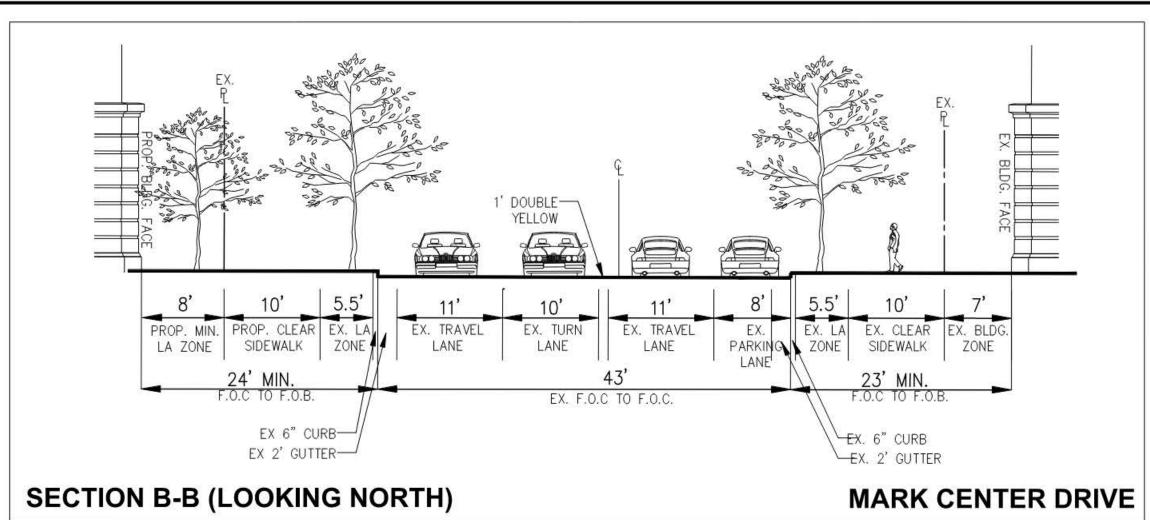


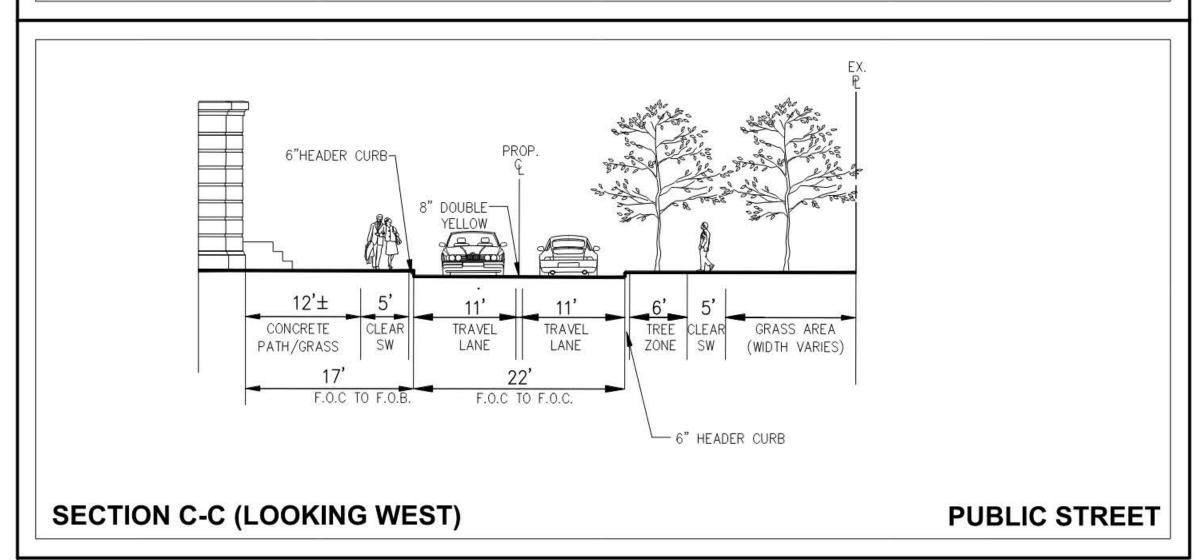


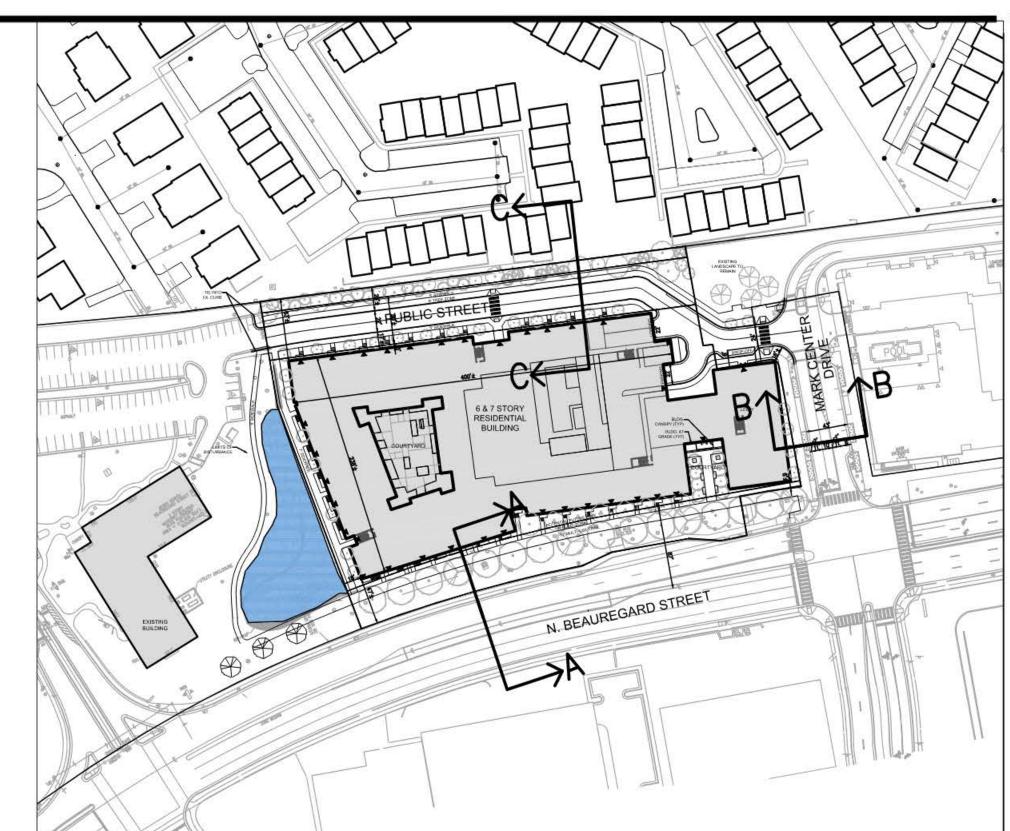












KEY MAP SCALE: 1" = 100'

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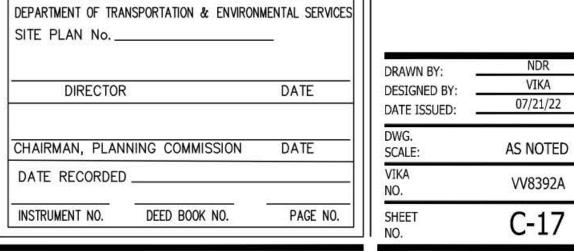


NORTH BEAUREGARD STREET DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

STREET SECTIONS

VIKA



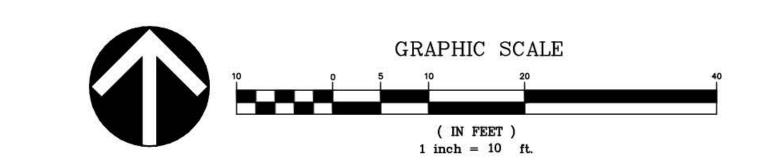
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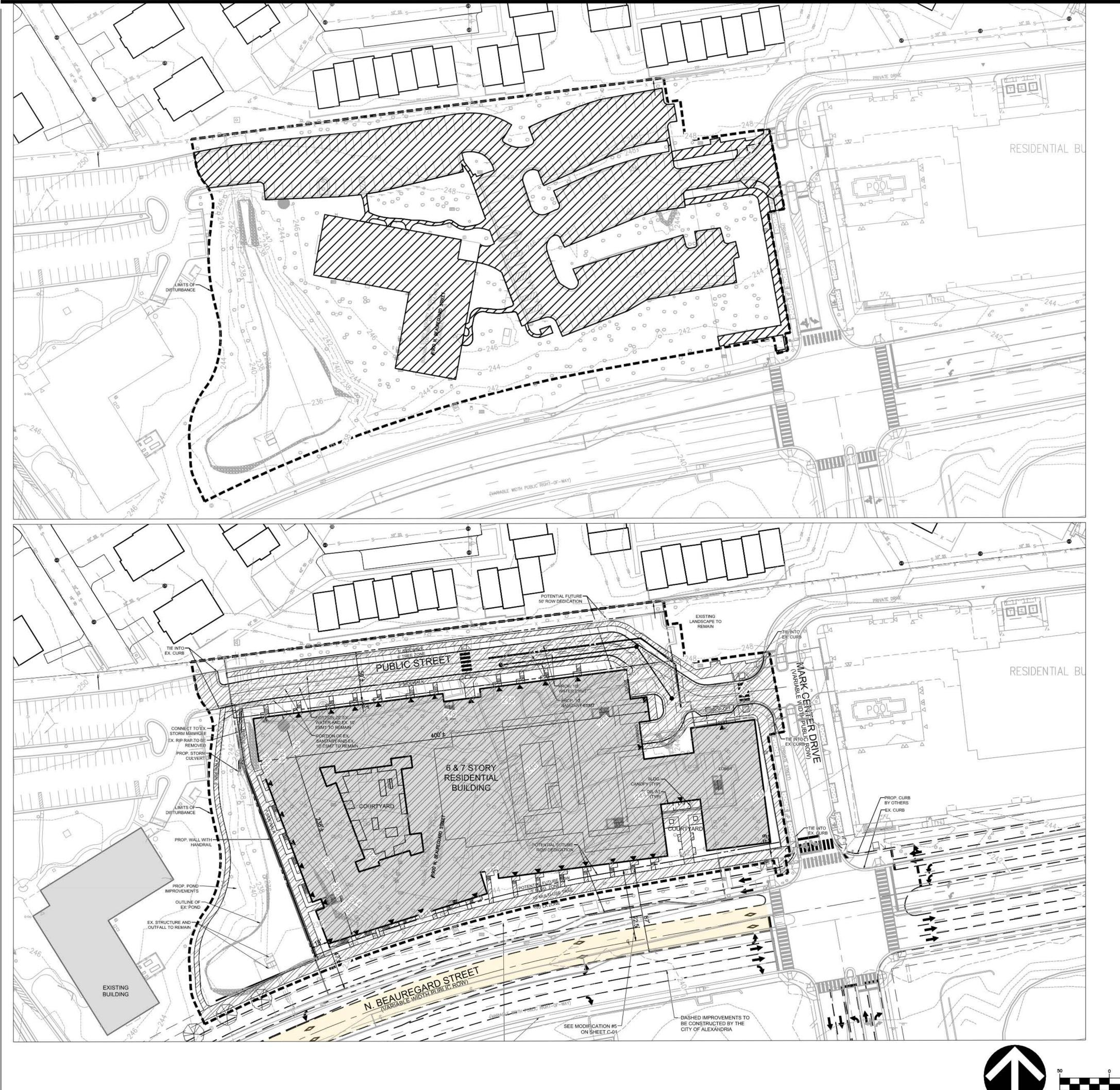
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DIRECTOR

DIRECTOR

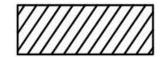
SITE PLAN No.





PRE-DEVELOPMENT

LEGEND - EXISTING CONDITION



IMPERVIOUS AREA: 73,732 SF / 1.69 AC

PERVIOUS AREA: 96,823.20 SF /2.23 AC

TOTAL SITE AREA: 170,755.20 SF / 3.92 AC

POST-DEVELOPMENT

APPROVED .
SPECIAL USE PERMIT NO. CDSUP# 2022-00025

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

LEGEND - PROPOSED CONDITION



IMPERVIOUS AREA: 127,195 SF / 2.92 AC

PERVIOUS AREA: 43560.20 SF / 1.00 AC

TOTAL SITE AREA: 170,755.2 SF / 3.92 AC

PLAN STATUS DATE 2nd Submission 12/23/2022 Concept II 1st Submission 02/16/2023

PROFESSIONAL SEAL

VIKA VIRGINIA, LLC

703.442.7800 | vika.com

Tysons, VA 22102

8180 Greensboro Dr., Suite 200

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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

STORMWATER MANAGEMENT PLAN

SITE PLAN No	- 9	DRAWN BY	NDR
DIRECTOR	DATE	DRAWN BY: DESIGNED BY:	VIKA
DIRECTOR	DAIL	DATE ISSUED:	07/21/22
CHAIRMAN, PLANNING COMMISSION	DATE	DWG. SCALE:	1"=50'
DATE RECORDED		VIKA NO.	VV8392A
INSTRUMENT NO. DEED BOOK NO.	PAGE NO.	SHEET NO.	C-18

个	50	Ŷ	25	GRAPH:	IC SCALE	200
					FEET) = 50 ft.	and the second s

		(GRAPH	IC SCALE	
50	P	25	50	100	200



SWM LEGEND

CONTRIBUTING DRAINAGE TO PROPRIETARY BMP DEVICE (40)

CONTRIBUTING DRAINAGE (190)
SWM VAULT 1

CONTRIBUTING DRAINAGE (92)

URBAN BIORETENTION (ROOFTOP DISCONNECT TO SWM PLANTER)

OFF-SITE CONTRIBUTING DRAINAGE (70)
ON-SITE CONTRIBUTING DRAINAGE (70)
URBAN BIORETENTION (BIO-TREE PIT)

PROPERTY LINE

VIKA VIRGINIA, LLC 8180 Greensboro Dr., Suite 200 Tysons, VA 22102 703.442.7800 | vika.com

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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
	= = = = = = = = = = = = = = = = = = = =

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING	& ZONING
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION	& ENVIRONMENTAL SERVICES
SITE PLAN No.	8
DIRECTOR	DATE

CHAIRMAN, PLANNING COMMISSION DATE

PAGE NO.

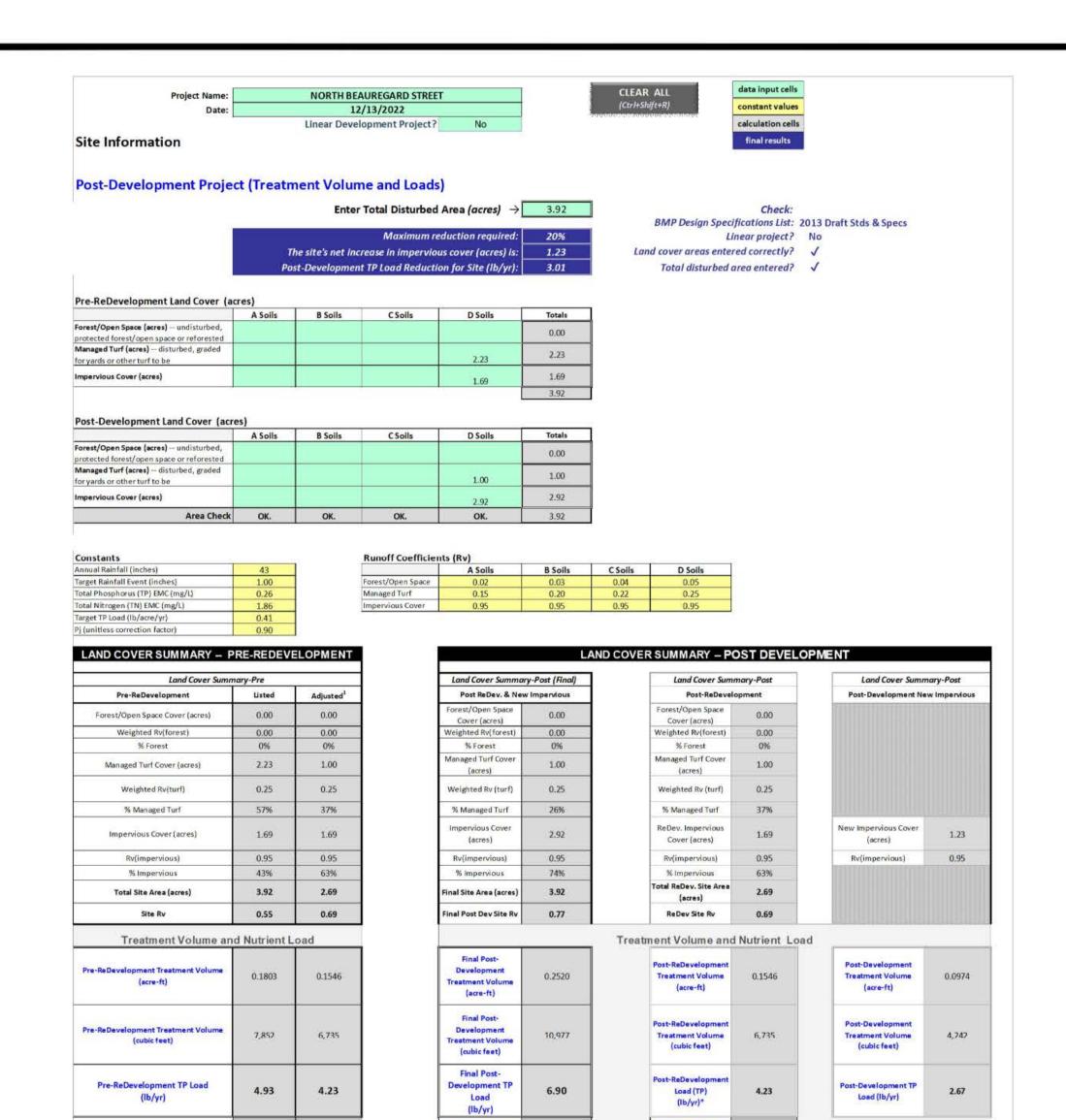
INSTRUMENT NO. DEED BOOK NO.

DATE RECORDED

(IN FEET) 1 inch = 30 ft.

STORMWATER
MANAGEMENT PLAN

SHEET NO.	C-18A	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=30'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	



		(lb/yr)		(lb/yr)	
Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious caver).		ļ			
Column I shows load reduction requriement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).					
	Post-Development Requirement fo	or Site Area			
	TP Load Reduction Required (lb/yr)	3.01			
	Nitrogen Loads (Informational P	urposes Only)			
Pre-ReDevelopment TN Load (lb/yr)	35.29	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (Ib/yr)	49.34		

TP Load per acre

toad per acre (lb/acre/yr)

(Below Pre-ReDevelopment Load)

Required for

P Load Reduction

Required for New

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv							-
Forest/Open Space (acres)					0.00	0.00							
Managed Turf (acres)				1.00	1.00	0.25							
impervious Cover (acres)				2.92	2.92	0.95		Tota	l Phosphorus Ava	ailable for Remova	l in D.A. A (lb/yr)	6.90	
				Total	3.92				Post Developme	nt Treatment Volu	me in D.A. A (ft ³)	10,977	
STATE OF THE STATE		/00 D											The second secon
Stormwater Best Managem	ent Practic	es (RR = Ri	inoff Redu	ction)			1		Dhasahawa	Untracted			Select from dropdown I
	Runoff	Managed	Impervious	Volume from	Runoff	Remaining	Total BMP	Phosphorus	Phosphorus	Untreated	Phosphorus	Remaining	Downstream Practice to
Donatte.	O . decester	Transfer of the	Carren Can dia	Linetures	Dadwetter.	D 66	Tonadanana		Load from	Phosphorus	Dameston & Dec	Mr	Downstream Practice to
Practice	Reduction Credit (%)	Turf Credit Area (acres)	Cover Credit Area (acres)	Upstream Practice (ft ³)	Reduction (ft ³)	Runoff Volume (ft ³)	Treatment Volume (ft ³)	Removal Efficiency (%)	Upstream	Load to Practice	Removed By Practice (lb)	Phosphorus Load (lb)	Employed
6.a. Bioretention #1 or Micro-Bioretentio	Credit (%)	Area (acres)	Area (acres)	Upstream Practice (ft ³)	Reduction (ft ³)	Runoff Volume (ft ³)	Treatment Volume (ft ³)					Load (lb)	- The state of the
6.a. Bioretention #1 or Micro-Bioretentio or Urban Bioretention (Spec #9)	Credit (%)	Area (acres)	Area (acres)	Practice (ft ³) 0.53	(ft ³)	Volume (ft ³)	Volume (ft ³)	1,828	Upstream Practices (lb) 25	Load to Practice (lb)	Practice (lb)	Load (lb)	Employed
6.a. Bioretention #1 or Micro-Bioretentio or Urban Bioretention (Spec #9) TO	Credit (%) 1 40 OTAL IMI	PERVIOU AGED TU	S COVER	Practice (ft ³)	(ft³) 0 ED (ac) ED (ac)	Volume (ft ³)	1,097	Efficiency (%)	Upstream Practices (lb) 25 CK: OK.	Load to Practice (lb)	Practice (lb)	Load (lb)	Employed
6.a. Bioretention #1 or Micro-Bioretentio or Urban Bioretention (Spec #9) TO	Credit (%) 1 40 OTAL IMI	PERVIOU AGED TU	S COVER	R TREATE A TREATE I IN D.A.	(ft³) ED (ac) ED (ac) A (ft³)	2.53 0.00 3,490	1,097	1,828 AREA CHE	Upstream Practices (lb) 25 CK: OK. CK: OK.	Load to Practice (lb)	Practice (lb)	Load (lb)	Employed
6.a. Bioretention #1 or Micro-Bioretention or Urban Bioretention (Spec #9) TOTA	OTAL IMI	PERVIOU AGED TU	S COVER RF AREA OUCTION	R TREATE A TREATE I IN D.A. L PHOSP	(ft ³) ED (ac) ED (ac) A (ft ³) HORUS	2.53 0.00 3,490	1,097 A A BLE FOR	1,828 AREA CHEAREA CHE	Upstream Practices (lb) 25 CK: OK. CK: OK.	Load to Practice (lb)	Practice (Ib)	Load (lb) 0.	Employed

Runoff Volume and Curve Number Calculations

Enter design storm rainfall depths (in):

1-year storm	2-year storm	10-year stor
2.70	3.20	5.20
Use NOAA Atlas 1	4 (http://hdsc.nws.r	noaa.gov/hdsc/pfc

*Notes (see below):

[1] The curve numbers and runoff volumes computed in this spreadsheet for each drainage area are limited in their applicability for determining and demonstrating compliance with water quantity requirements. See VRRM User's Guide and Documentation for additional information.

[2] Runoff Volume (RV) for pre- and post-development drainage areas must be in volumetric units (e.g., acre-feet or cubic feet) when using the Energy Balance Equation. Runoff measured in watershed-inches and shown in the spreadsheet as RV(watershed-inch) can only be used in the Energy Balance Equation when the pre- and post-development drainage areas are equal. Otherwise RV(watershed-inch) must be multiplied by the drainage area.

[3] Adjusted CNs are based on runoff reduction volumes as calculated in D.A. tabs. An alternative CN adjustment calculation for Vegetated Roofs is included in BMP specification No. 5.

Drainage Area Curve Numbers and Runoff Depths*

Curve numbers (CN, CNadj) and runoff depths (RV Developed) are computed with and without reduction practices.

Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 3.92
Forest/Open Space undisturbed, protected	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction
forest/open space or reforested land	CN	30	55	70	77	Volume (ft ³): 3,490
Managed Turf disturbed, graded for yards or other	Area (acres)	0.00	0.00	0.00	1.00	2
turf to be mowed/managed	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	2.92	
impervious cover	CN	98	98	98	98	
					93	
		1-year storm	2-year storm	10-year storm		
RV _{Developed} (watershed-inch) with no Run	off Reduction*	1.97	2.45	4.39		
RV _{Developed} (watershed-inch) with Run	off Reduction*	1.72	2.20	4.15		
	Adjusted CN*	90	90	91		
*5	ee Notes above					

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv						*
Forest/Open Space (acres)					0.00	0.00						
Managed Turf (acres)				1.00	1.00	0.25						
Impervious Cover (acres)				2.92	2.92	0.95	Tota	l Phosphorus Ava	ilable for Remova	l in D.A. A (lb/yr)	6.90	
				Total	3.92			Post Davelonme	nt Treatment Volu	me in D A A (ft ³)	10,977	1
								Lost pereiopine	it meatiment void	me m b.A. A fir 1		10
mwater Best Manag	omant Practic	os (DD - D	upoff Podu	ction		3		rost bevelopmen	it Treatment Void	ine in b.A. A (it)		No. of State Control of State Control
mwater Best Manag	ement Practic	ces (RR = R	unoff Redu	ction)			3	r ost Developmen	it freatment void	me m b.a. a (it)		Select from dropdown

CLEAR BMP AREAS

0.00 4.33

TOTAL IMPERVIOUS COVER TREATED (ac)	2.53	AREA CHECK: OK.	
TOTAL MANAGED TURF AREA TREATED (ac)	0.00	AREA CHECK: OK.	
TOTAL RUNOFF REDUCTION IN D.A. A (ft ³)	3,490		

2.00 0 2,759 4,138 6,897

TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (Ib/yr)	6.90
TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)	3.01
TOTAL PHOSPHORUS REMAINING AFTER APPLYING RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr)	3.89

SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	2.92	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	2.53	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	1.00	0.00	0.00	0.00	0.00	OK.
IANAGED TURF AREA TREATED (ac)	0.00	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) 10,977

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	3,490	0	0	0	0	3,490
TP LOAD AVAILABLE FOR REMOVAL (Ib/yr)	6.90	0.00	0.00	0.00	0.00	6.90
TP LOAD REDUCTION ACHIEVED (lb/yr)	3.01	0.00	0.00	0.00	0.00	3.01
TP LOAD REMAINING (lb/yr)	3.89	0.00	0.00	0.00	0.00	3.89

Total Phosphorus

Total Phosphorus		
AL POST-DEVELOPMENT TP LOAD (lb/yr)	6.90	
TP LOAD REDUCTION REQUIRED (lb/yr)	3.01	_
TP LOAD REDUCTION ACHIEVED (lb/yr)	3.01	
TP LOAD REMAINING (lb/yr):	3.89	
TP LOAD REDUCTION REQUIRED (lb/vr):	0.00	**

REMAINING TP LOAD REDUCTION REQUIRED (lb/yr): U.UU **No further TP load reduction required

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	49.34
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	25.07
MAINING POST-DEVELOPMENT NITROGEN LOAD (Ib/yr)	24.27

<u>DESIGN NOTES:</u>
COMPUTATIONS HEREON ARE BASED ON APPROXIMATIONS OF PROPOSED PERVIOUS/IMPERVIOUS AREA. AT THE TIME OF FINAL CONSTRUCTION PLANS, BASED ON FINAL PERVIOUS/IMPERVIOUS AREAS, THE FINAL SWM/BMP VOLUME REQUIREMENTS WILL BE DETERMINED. THE METHODOLOGY USED SHALL BE CONSISTENT WITH THAT SHOWN HEREON

ALL GRADING SHOWN IS CONCEPTUAL AND SUBJECT TO CHANGE WITH THE FINAL SITE PLAN

ALL STORMWATER MANAGEMENT FACILITIES MUST BE PRIVATELY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.

THIS PROJECT IS CLASSIFIED AS A RE-DEVELOPMENT UNDER CITY CODE 13-109-(E)(5)(A) AND IT IS ANTICIPATED THAT THERE WILL BE A NET INCREASE IN IMPERVIOUS COVER, HOWEVER THE FINAL DETERMINATION SHALL BE PROVIDED AT SITE PLAN. MANUFACTURED TREATMENT DEVICE MAY BE USED TO ACHIEVE THE REQUIRED PHOSPHOROUS REDUCTION - SEE BMP NOTE BELOW. NO NUTRIENT CREDITS ARE REQUIRED. AS DEMONSTRATED, THE REQUIRED PHOSPHOROUS REMOVAL REQUIREMENT HAS BEEN MET. SEE COMPUTATIONS THIS SHEET.

THE DEVELOPMENT PROPOSED ON THE SUBJECT SITE WILL PROVIDE A PHOSPHOROUS REMOVAL RATE AS REQUIRED BY ARTICLE 13 OF CHAPTER 109 OF THE CITY CODE, AT A MINIMUM. THE DEVELOPER RESERVES THE RIGHT TO UTILIZE LID TECHNIQUES (PER THE DESIGN SPECIFICATION OF THE VIRGINIA STORMWATER BMP CLEARINGHOUSE AND AS AMENDED/MODIFIED BY THE PFM OR THE USE OF MANUFACTURED BMPS IN ACCORDANCE WITH THE BMP CLEARINGHOUSE, OR A COMBINATION THEREOF. FINAL DESIGN, LOCATION AND TYPES OF BMP SYSTEM(S) SHALL BE ESTABLISHED WITH FINAL CONSTRUCTION PLANS AND MAY BE REVISED TO ALTERNATES ALLOWED BY THE PFM.

SWM NARRATIVE

THE 3.92 ACRE SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS. IN ORDER TO MEET THE PHOSPHORUS REMOVAL REQUIREMENTS, BIORETENTION FACILITIES WILL BE ADDED TO TREAT THE ROOF RUNOFF.

THE BIORETENTION FACILITIES WILL MEET THE REQUIREMENTS OF MEMORANDUM TO INDUSTRY NO. 01-2018 - USE OF MANUFACTURED/PROPRIETARY STORMWATER BMPS, IN WHICH A MINIMUM OF 65% OF THE TOTAL PHOSPHORUS (TP) REMOVAL REQUIRED BY THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) MUST BE ACHIEVED USING NONPROPRIETARY SURFACE BMPS APPROVED BY THE VIRGINIA SOTRMWATER BMP CLEARINGHOUSE.

STORMWATER VAULTS WILL BE CONSTRUCTED TO REDUCE THE POST-DEVELOPMENT FLOW BELOW THE ENERGY BALANCE ALLOWABLE RELEASE.

DEVELOPMENT PROPOSED ON THE SUBJECT SITE WILL PROVIDE A PHOSPHOROUS REMOVAL RATE AS REQUIRED BY ARTICLE 13 OF CHAPTER 109 OF THE CITY CODE, AT A MINIMUM. THE DEVELOPER RESERVES THE RIGHT TO UTILIZE LID TECHNIQUES (PER THE DESIGN SPECIFICATION OF THE VIRGINIA STORMWATER BMP CLEARINGHOUSE AND AS AMENDED/MODIFIED BY THE PFM OR THE USE OF MANUFACTURED BMPS IN ACCORDANCE WITH THE BMP CLEARINGHOUSE, OR A COMBINATION THEREOF. FINAL DESIGN, LOCATION AND TYPES OF BMP SYSTEM(S) SHALL BE ESTABLISHED WITH FINAL CONSTRUCTION PLANS AND MAY BE REVISED TO ALTERNATES ALLOWED BY THE PFM.

> ORMWATER BEST MANAGEMENT PRACTICES (BMP) NOTES HE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPS ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPS ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPS AND SUPPORTING

DRMWATER BMP AND DETENTION FACILITIES MAINTENANCE AGREEMENT

THE APPLICANT SHALL SUBMIT TO THE CITY OF ALEXANDRIA A STORMWATER BMP FACILITIES MAINTENANCE AGREEMENT WITH THE FINAL SUBMISSION. THE MAINTENANCE AGREEMENT SHALL BE REGISTERED WITH ALEXANDRIA LAND RECORDS.

ALL BMP AND SWM FACILITIES SHALL BE PRIVATELY MAINTAINED.

CONSTRUCTION INSPECTION CHECKLISTS AND ASSOCIATED PHOTOGRAPHIC DOCUMENTATION MUST BE COMPLETED FOR EACH BMP DURING CONSTRUCTION. PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT MUST SUBMIT ALL DOCUMENTS REQUIRED BY THE CITY OF ALEXANDRIA AS-BUILT STORMWATER REQUIREMENTS TO INCLUDE AS BUILT PLANS, CAD DATA, BMP CERTIFICATIONS AND COMPLETED CONSTRUCTION INSPECTION CHECKLISTS.

BPECIAL USE PERMIT NO. CDSUP& DEPARTMENT OF PLANNING & ZONIN	
DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRON SITE PLAN No	
DIRECTOR	DATE
DIRECTOR CHAIRMAN, PLANNING COMMISSION	

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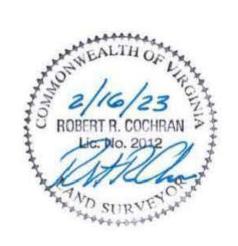
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CONSTRUCTION PURPOSES.

PLAN STATUS DATE 2nd Submission 12/23/2022 Concept II 1st Submission 02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

STORMWATER MANAGEMENT **COMPUTATIONS**

DRAWN BY:	NDR	
ESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
OWG. SCALE:	NOT TO SCALE	
/IKA IO.	VV8392A	
SHEET IO	C-19	

LAYOUT: C-19, Plotted By: Koomson

Pre-ReDevelopment TP Load per acre

¹Adjusted Land Cover Summary:

Baseline TP Load (lb/yr)

(0.41 lbs/acre/yr applied to pre-redevelopment area excluding

pervious land proposed for new impervious cover)

managed turf) acreage proposed for new impervious cover.

Pre ReDevelopment land cover minus pervious land cover (forest/open space or

1.10

SWM FA	CILITIES (PRO	POSED ON	ILY)				ĺ				
FACILITY ID NO.	FACILITY TYPE	PURPOSE (QUALITY/ QUANTITY)	IMPERVIOUS AREA TREATED (ACRES)	PERVIOUS AREA TREATED (ACRES)	TOTAL AREA TREATED (ACRES)	PHOSPHOROUS REMOVAL EFFICIENCY (PERCENTAGE)	PHOSPHOROU	LATITUDE (DECIMAL DEGREE)		DESCRIPTION OF DISCHARGE POINT	MAINTENANCE AGREEMENT Y/N
BIO-TREE	BIORETENTION TREE PIT	QUALITY	0.320	0.21	0.530	60%	0.63	38.79979	77.061762	PROPOSED OUTFALL DISCHARGES DIRECTLY INTO EX RCP	YES, PRIVATE
BIO	BIORETENTION STORMWATER PLANTER	QUALITY	2.130	0.00	2.130	55%	2.38	38.8348	77.1235	PROPOSED OUTFALL PIPE DISCHARGES	YES, PRIVATE
SWM100	DETENTION VAULT	QUANTITY	2.130	0.00	2.130	0%	0	38.8348	77.1235	PROPOSED OUTFALL DISCHARGES DIRECTLY INTO PROPOSED RCP	YES, PRIVATE

ALEXANDRIA WATER QUALITY VOLUME DEFAULT (WQVD) COMPUTATION:

IMPERVIOUS AREA WITHIN WQVD SITE BOUNDARY (NEW PARCEL FOR BUILDING) = 104,201 SFT.

WQVD: 150,064 SF. X 0.50 INCH X 1 FT/12 INCH = 4,341 CFT.

WQVD PROVIDED = 8,724.71 CFT (SEE TOTAL SITE TREATMENT VOLUME BELOW)

PRELIMINARY SWM SIZING TR-55 SHORTCUT METHOD

	1-year		1-year 2-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	3.2	3.2	5.2	5.2
CN	88	90	88	90	88	91
S=1000/CN-10	1.36	1.11	1.36	1.11	1.36	0.99
0.2S	0.27	0.22	0.27	0.22	0.27	0.20
RV=(P-0.2S) ² /(P-0.2S)+S	1.55	1.71	2.00	2.17	3.86	4.18
	POST	(adjusted) from CN reduction of	computations; PRE C	N can be computed using same	computations on the	is tab

		PER THE ALLOWABLE RATES COMPUTATION SEE THIS SHEET			
1-YR TR-55 SHORT PREL	IM. SIZING	2-YR TR-55 SHORT PRELI	M. SIZING	10-YR TR-55 SHORT PREI	IM. SIZING
Qpre-development	8.14	Qpre-development	10.36	Qpre-development	19.35
QPost Development	9.21	QPost Development	11.48	QPost Development	20.44
RVPost Development (with runoff reduction)	1.72	RVPost Development (with runoff reduction)	2.20	RVPost Development (with runoff reduction)	4.15
Oallowable	5.88	Oallowable	10.36	Oallowable	19 35

Qallowable/QPost Development	0.64	Qallowable/QPost Development	0.90	Qallowable/QPost Development	0.95
Vs/Vr	0.23	Vs/Vr	0.14	Vs/Vr	0,12
Vs	0.39	Vs	0.30	Vs	0.48
Storage required (cf)	5,584	Storage required (cf)	4,265	Storage required (cf)	6,844

V sfV, = 0.6	$82-1.43 (q_0/q_0) + 1.64 (q_0/q_0)^2 - 0.804 (q_0/q_0)^3$	(2.1.16)
Where:	Vs = required storage volume (acre-feet)	
4. 0 - MH/E-287011	V = runoff volume (acre-fe et)	
	qo = peakoutflow discharge (cfs)	
	$q_1 = peak inflow discharge (cfs)$	
The required storage volum	e can then be calculated by:	
V _s = (V	$(AY_*Q)(,Y_*$	(2.1.17)

A = total drainage area (acres)

Where: Vs and V, are defined above

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

BMP Design Specifications List: 2013 Draft Site Summary

ft Stds & Specs		Update Sumi	mary Sheet
		Print Preview	Print
otal Rainfall (in):	43		14 10 10 10
Disturbed Acreage:	3.92		

||VA-PROJECTS2.vika.com|projects|Projects|8392|8392A|DATA|SWM[8392A|SWM Facilities Table.xkx]SWM FACILITY

Site Land Cover Summary

	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	2.23	2.23	57
Impervious Cover (acres)	0.00	0.00	0.00	1.69	1.69	43
					3.92	100

	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	1.00	1.00	26
Impervious Cover (acres)	0.00	0.00	0.00	2.92	2.92	74
	- 12			7	3.92	100

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	
--	--

Total Runoff Volume Reduction (ft ³)	3,490
Total TP Load Reduction Achieved (lb/yr)	3.01
Total TN Load Reduction Achieved (lb/yr)	25.07
Remaining Post Development TP Load (lb/yr)	3.89
Remaining TP Load Reduction (lb/yr) Required	0.00

*No further TP load reduction required

Site Tv and Land Cover Nutrient Loads

	Final Post-Development (Post-ReDevelopment & New Impervious)	Post- ReDevelopment	Post- Development (New Impervious)	Adjusted Pre- ReDevelopment
Site Rv	0.77	0.69	0.95	0.69
Treatment Volume (ft ³)	10,977	6,735	4,242	6,735
TP Load (lb/yr)	6.90	4.23	2.67	4.23

Total TP Load Reduction Required (lb/yr)	3.01	0.85	2.16
---	------	------	------

	Final Post-Development Load (Post-ReDevelopment & New Impervious)	Pre- ReDevelopment	
TN Load (lb/yr)	49.34	35.29	

Pre- ReDevelopment TP Load per acre (lb/acre/yr)	Final Post- Development TP Load per acre (lb/acre/yr)	Post-ReDevelopment TP Load per acre (lb/acre/yr)
1.57	1.76	1.57

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	1.00	0.00	0.00	0.00	0.00	1.00
Impervious Cover (acres)	2.92	0.00	0.00	0.00	0.00	2.92
Total Area (acres)	3.92	0.00	0.00	0.00	0.00	3.92

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	3.01	0.00	0.00	0.00	0.00	3.01
TN Load Reduced (lb/yr)	25.07	0.00	0.00	0.00	0.00	25.07

Drainage Area A Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	1.00	1.00	26
Impervious Cover (acres)	0.00	0.00	0.00	2.92	2.92	74
	in the state of th		- Paul		3.92	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
2.i. To Stormwater Planter, Urban Bioretention (Spec #9, Appendix A)		2	6,897.00	0.00	4.33	2.38	1.95	
6.a. Bioretention #1 or Micro- Bioretention #1 or Urban Bioretention (Spec #9)		0.53	1,827.71	0.00	1.15	0.63	0.52	

Total Impervious Cover Treated (acres)	2.53
Total Turf Area Treated (acres)	0.00
Total TP Load Reduction Achieved in D.A. (lb/yr)	3.01
Total TN Load Reduction Achieved in D.A. (lb/yr)	25.07

WQVD PROVIDED = 8,724.71, SEE SHEET C-20 FOR COMPLIANCE TAB

WinTR-55 Current Data Description

--- Identification Data ---

Date: 2/10/2023 Project: NORTH BEAUREGARD STREET Units: SubTitle: PRE Areal Units: Acres State: Virginia County: Fairfax NOAA_C

Filename: Q:\Projects\8392\8392A\DATA\SWM\archive\PRE.w55

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)) R(CN Tc	Name	Description
EXISTING	PRE	Outlet	3.92	88	0.100	PROPOSED	PRO
Total area:	3.92 (ac)					Total area	· 3 92 (ac)

--- Storm Data --

2-Yr (in)

3.2

OUTLET

Rainfall Depth by Rainfall Return Period

-Yr	10-Yr		-Yr	-Yr		2-Yr	5-Yr	10-Yr	2
(in)	(in)	(IN)	(in)	(in)	(in) 	(in)	(in)	(in)	(in)
.0	5.2	.0	.0	.0	2.7	3.2	.0	5.2	.0

User-provided custom storm data Storm Data Source: Rainfall Distribution Type: NOAA_C Dimensionless Unit Hydrograph: <standard>

NORTH BEAUREGARD STREET Fairfax NOAA_C County, Virginia

Peak Flow by Rainfall Return Period

	5.2				
or Reach	2-Yr	10-Yr			
Identifier	(cfs)	(cfs)	(cfs)		
SUBAREAS					
FXISTING	10.3	6 19 3	5 8 14		

Watershed Peak Table

EXISTING 10.30 19.33 0.14 EXISTING CONDITION PEAK FLOW RATES REACHES

NORTH BEAUREGARD STREET

10.36 19.35 8.14

Fairfax NOAA_C County, Virginia Sub-Area Land Use and Curve Number Details

Sub-Area		Hydro	logic	Sub	-Area	Curve
Identifier	Land Use	Sc	lic	Are	a N	Number
		Group	(a	c)		
EXISTING (Open space; grass cover	 > 75%	(go	od)	D	 2

Paved parking lots, roofs, driveways Total Area / Weighted Curve Number ===== ==

EXISTING CONDITIONS COMPUTATION NOTE:

ALL EXISTING CONDITIONS WERE MODELED USING WIN TR-55 SOFTWARE. EXISTING LAND COVER WAS TAKEN FROM FIELD SURVEY DATA AND THEN INPUTTED INTO TR-55 TO COMPUTE THE CURVE NUMBER AND PEAK FLOW

RATES FOR THE 1-YEAR, 2-YEAR, AND 10-YEAR 24 HOUR STORM.

STORM WATER DETENTION MANAGEMENT FOR THIS SITE WILL BE PROVIDED VIA A PROPOSED SWM VAULT, WHICH WILL BE USED TO DETAIN THE 2-YEAR CHANNEL PROTECTION & 10-YEAR 24 HOUR STORM EVENTS FOR FLOOD CONTROL. CURVE NUMBER AND PEAK RUNOFF FLOW WERE COMPUTED FOR BOTH EXISTING CONDITION AND PROPOSED CONDITION USING WIN TR-55. COMPUTED CURVE NUMBERS AND FLOW RATES WERE THEN INPUTTED INTO A SWM WATER QUANTITY WORKSHEET UTILIZING THE TR-55 SHORTCUT METHOD TO DETERMINE THE ALLOWABLE RELEASE RATES AND STORAGE REQUIRED FOR CHANNEL & FLOOD CONTROL. AN APPROXIMATELY 7,000 CFT VAULT IS PROPOSED TO DETAIN THE 1-YEAR ,2-YEAR & 10-YEAR 24 HOUR STORM EVENTS. THE 1-YEAR ,2-YEAR & 10-YEAR STORM EVENTS ALLOWABLE RELEASE RATE HAS BEEN COMPUTED TO BE 5.88 CFS, 10.36 CFS, & 19.35 CFS RESPECTIVELY AND WILL BE CONTROLLED VIA AN ORIFICE/WEIR LOCATED AT THE BOTTOM OF A WEIR WALL. DETAINED STORMWATER WILL BE RELEASED FROM THE PROPOSED STORM VAULT AND WILL OUTFALL INTO EXISTING STORM DRAIN SYSTEM. SEE SHEET C-21 FOR ADEQUATE OUTFALL.

NOTE:
PER COORDINATION WITH STAFF THE 100-YEAR STORM HAS BEEN DETAINED ON SITE.

DEPARTMENT OF PLANNING & ZONING DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. _ DIRECTOR DATE DESIG DATE CHAIRMAN, PLANNING COMMISSION DATE SCALE VIKA DATE RECORDED_ INSTRUMENT NO. DEED BOOK NO. PAGE NO. SHEET

SPECIAL USE PERMIT NO. CDSUP# 2022-00025

WinTR-55 Current Data Description

--- Identification Data ---

User: DK Date: 2/10/2023 Project: NORTH BEAUREGARD STREET Units: English SubTitle: PRE Areal Units: Acres State: Virginia County: Fairfax NOAA_C Filename: Q:\Projects\8392\8392A\DATA\SWM\POST.w55

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)	RCN	Tc
PROPOSED	PRO	Outlet	3.92	91	0.100
Total area:	3.92 (ac)				

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr	5-Yr	10-Yr	25-Yr	50	-Yr	100-Yr	1-
(in)	(in)	(in)	(in)	(in)	(in)	(in)	
3.2	.0	5.2	.0	.0	.0	2.7	

Storm Data Source: User-provided custom storm data Rainfall Distribution Type: NOAA_C Dimensionless Unit Hydrograph: <standard>

NORTH BEAUREGARD STREET

Fairfax NOAA_C County, Virginia

Watershed Peak Table

Peak Flow by Rainfall Return Period or Reach 2-Yr 10-Yr 1-Yr Identifier (cfs) (cfs) (cfs)

SUBAREAS **PROPOSED** 11.48 20.44 9.21 PROP CONDITION PEAK FLOW RATES

REACHES OUTLET 11.48 20.44 9.21

NORTH BEAUREGARD STREET Fairfax NOAA_C County, Virginia

Sub-Area Land Use and Curve Number Details Sub-Area Hydrologic Sub-Area Curve

Identifier Land Use Soil Area Number Group (ac) PROPOSED CN directly entered by user 3.92 91

Total Area / Weighted Curve Number 3.92 91 ==== ==

PROPOSED CONDITIONS COMPUTATION NOTE:

APPROVED

ALL PROPOSED CONDITIONS WERE MODELED USING WIN TR-55 SOFTWARE. TR-55 WAS USED TO DETERMINE THE PROPOSED CONDITION PEAK RUNOFF FLOW RATES FOR THE 1-YEAR, 2-YEAR, AND 10-YEAR 24 HOUR STORM.

NORTH BEAUREGARD STREET

VIKA VIRGINIA, LLC

703.442.7800 | vika.com

Tysons, VA 22102

PLAN STATUS

Concept II 1st Submission

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2nd Submission

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DATE

12/23/2022

02/16/2023

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

STORMWATER MANAGEMENT **COMPUTATIONS**

VN BY:	NDR	
GNED BY:	VIKA	
ISSUED:	07/21/22	
E:	NOT TO SCALE	
	VV8392A	
T	C-20	

BIORETENTION

SECTION 9-A-3: DESIGN TABLE

Table 9-A.2. Urban Bioretention Design Criteria

	Level 1 Design Only (RR: 40; TP: 25)
	Sizing (Refer to Section 9-A-6.1):
Surface Area (sq. ft.) =	$T_v/2 = \{[(1.0 \text{ inch})(R_v)(A)/12)] - \text{the volume reduced by an upstream BMP}/2$
	Underdrain = Schedule 40 PVC with clean-outs
(Refer	to the Main Bioretention Design Specification, Section 9.8)
*	Maximum Drainage Area = 2,500 sq. ft.
	Maximum Ponding Depth = 6 to 12 inches 1
Filter media	depth minimum = 30 inches; recommended maximum = 48 inches
Media and Surface	Cover (Refer to the Main Bioretention Design Specification, Section 9.8)
Sub-soil testin	g (Refer to the Main Bioretention Design Specification, Section 9.8)
Inflow = sheetflow	v, curb cuts, trench drains, roof drains, concentrated flow, or equivalent
	Building setbacks (Refer to Section A-4 9-A-5)
Deeded maintenance	O&M plan (Refer to the Main Bioretention Design Specification, Section 9.1)
	e 6 inches will require a specific planting plan to ensure appropriate plants pretention Design Specification, Section 6.8).

SECTION 9-A-4: TYPICAL DETAILS

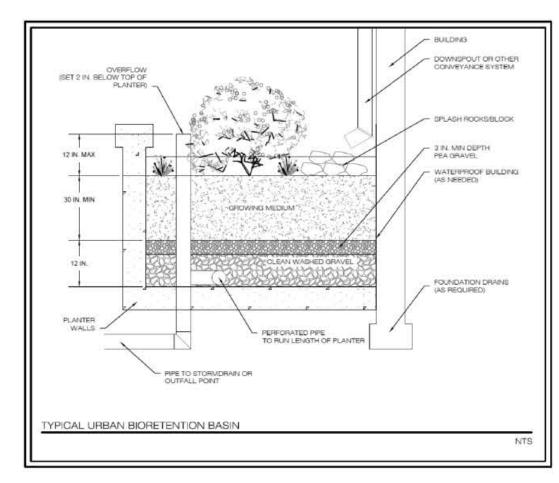
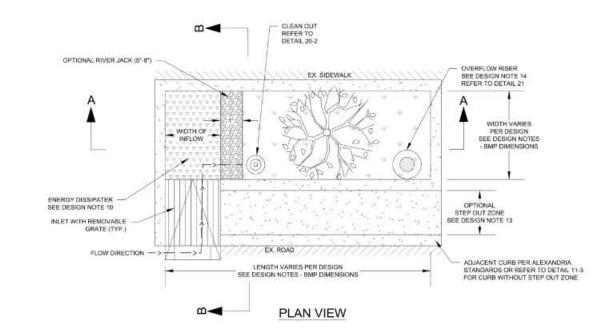
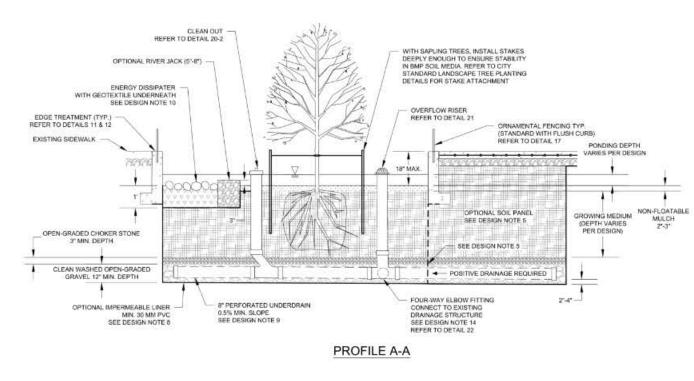


Figure 9-A.4. Stormwater Planter Cross-Section

Version 1.9, March 1, 2011 Page 43 of 54







	DETAIL 1								
50.				INDIVIDI	JAL TR	EE WELL			
G	REEN	STREETS	AND	SIDEWALKS	45	STORMWATER DESIGN GUIDELINES, ALEXANDRIA, V.			



Project Description

Development or Redevelopment

Drainage Area	Impervious	Pervious	Total
Site Area	2.92 AC	1.0 AC	3.92 AC
On-Site Treated	2.10 AC	0.20 AC	2.30 AC
Off-Site Treated	0.23 AC	0.00 AC	0.23 AC
Total Treated	2.33 AC	0.20 AC	2.53 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)			
Total On-Site Treated or Disconnected			

Water Treatment on site

ВМР Туре	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%
BIO TREE PITS	0.30	0.30	55
SWM PLANTER	2.00	2.00	55

liscellaneous		
Total WQV treated: Detention on site:	yes	n

Project is within which watershed? HOLMES RUN

Project discharges to which body of water? EXISTING POND

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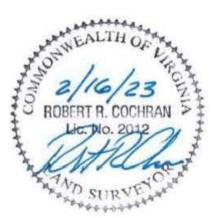
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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

APPROVED . SPECIAL USE PERMIT NO. CDSUP# 2022-00025 DEPARTMENT OF PLANNING & ZONING		SWM NOTES AND DETAILS	Ì
DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENT SITE PLAN No	DATE ITAL SERVICES	DRAWN RY: NDR	

DATE

PAGE NO.

CHAIRMAN, PLANNING COMMISSION DATE

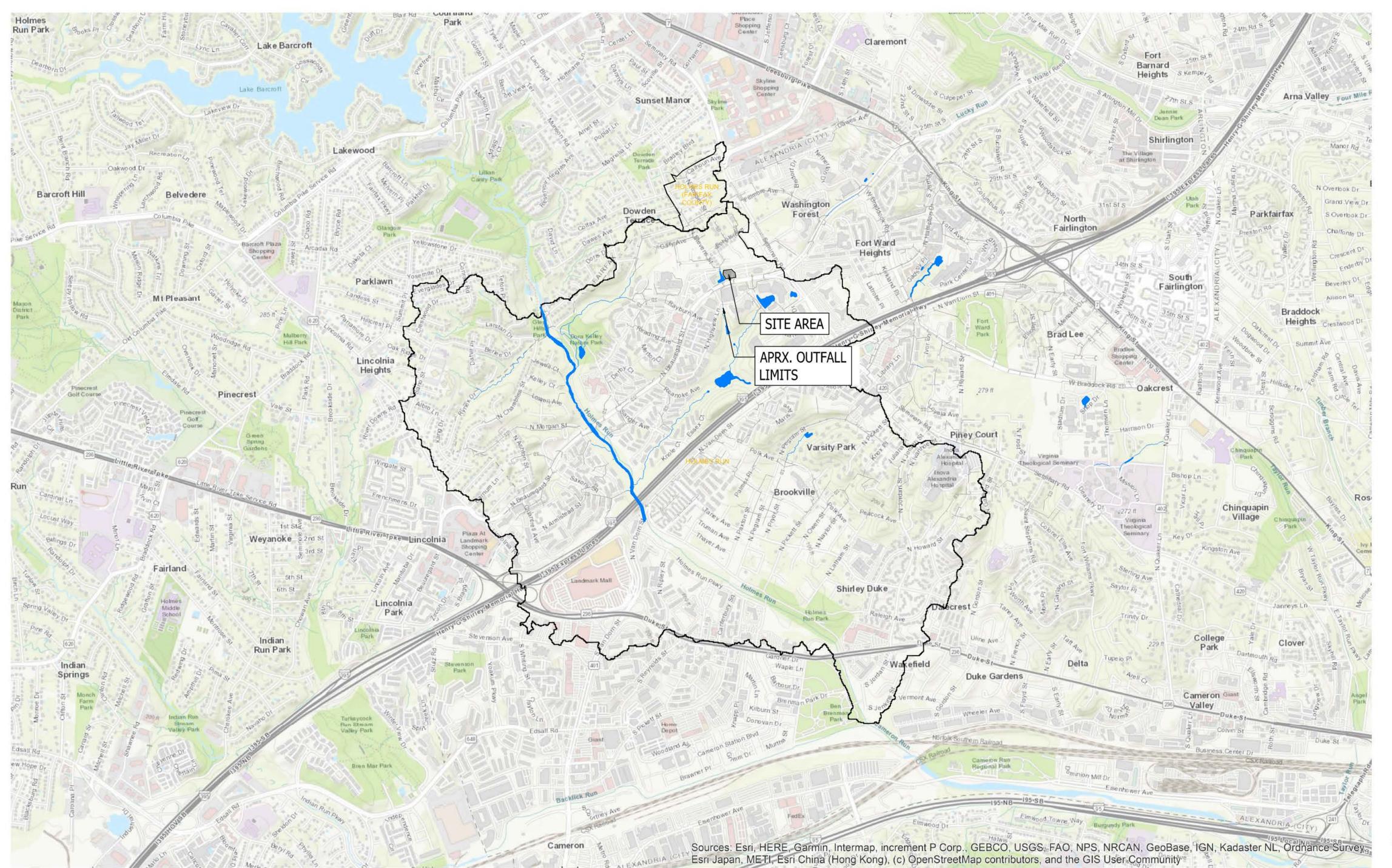
DIRECTOR

INSTRUMENT NO. DEED BOOK NO.

DATE RECORDED_

DRAWN BY:	NDR	
DESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	NOT TO SCALE	
VIKA NO.	VV8392A	
SHEET NO.	C-20A	

LAYOUT: C-20A, Plotted By: Richardson



OUTFALL NOTE:

NORTH (VCS 83)

THE SUBJECT PROPERTY IS BOUNDED BY RESIDENTIAL TOWNHOMES TO THE NORTH, MARK CENTER FRIVE TO THE EAST, N. BEAUREGARD STREET TO THE SOUTH, AND PARCELS OFFICE SPACE TO THE WEST. CURRENTLY THERE IS ONE OUTFALL ASSOCIATED WITH THIS SITE WHICH IS DRAINS TO THE SOUTH WESTERN DIRECTION. THIS SINGLE OUTFALL POINT IS AN EXISTING POND, LOCATED TO THE WEST OF THE SUBJECT

PROPERTY.

THE STUDY OF THE SUBJECT SITE WILL FOCUS ON THE EXISTING POND WEST OF THE PROPERTY AND CONTINUE SOUTH TOWARDS THE PARK IN THE SOUTH EAST DIRECTION OF N. HIGHVIEW LANE. ULTIMATE OUTFALL LIMITS TO BE FINALIZED AT SITE PLAN.



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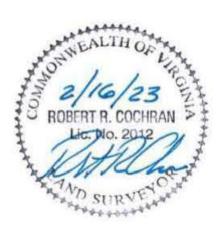
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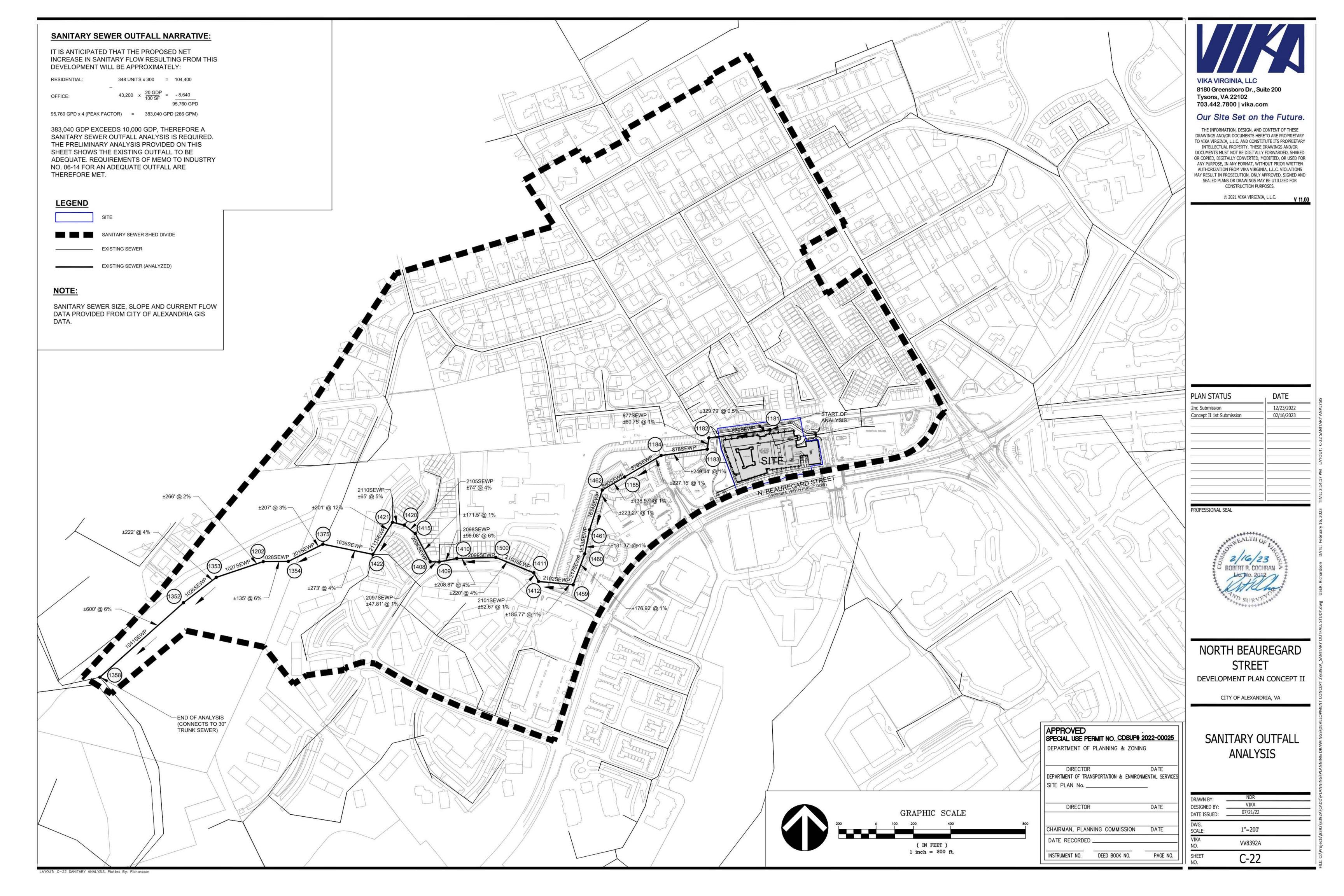
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DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRON	MENTAL SER
SITE PLAN No	 8
DIRECTOR	DATE
DIRECTOR	DATE

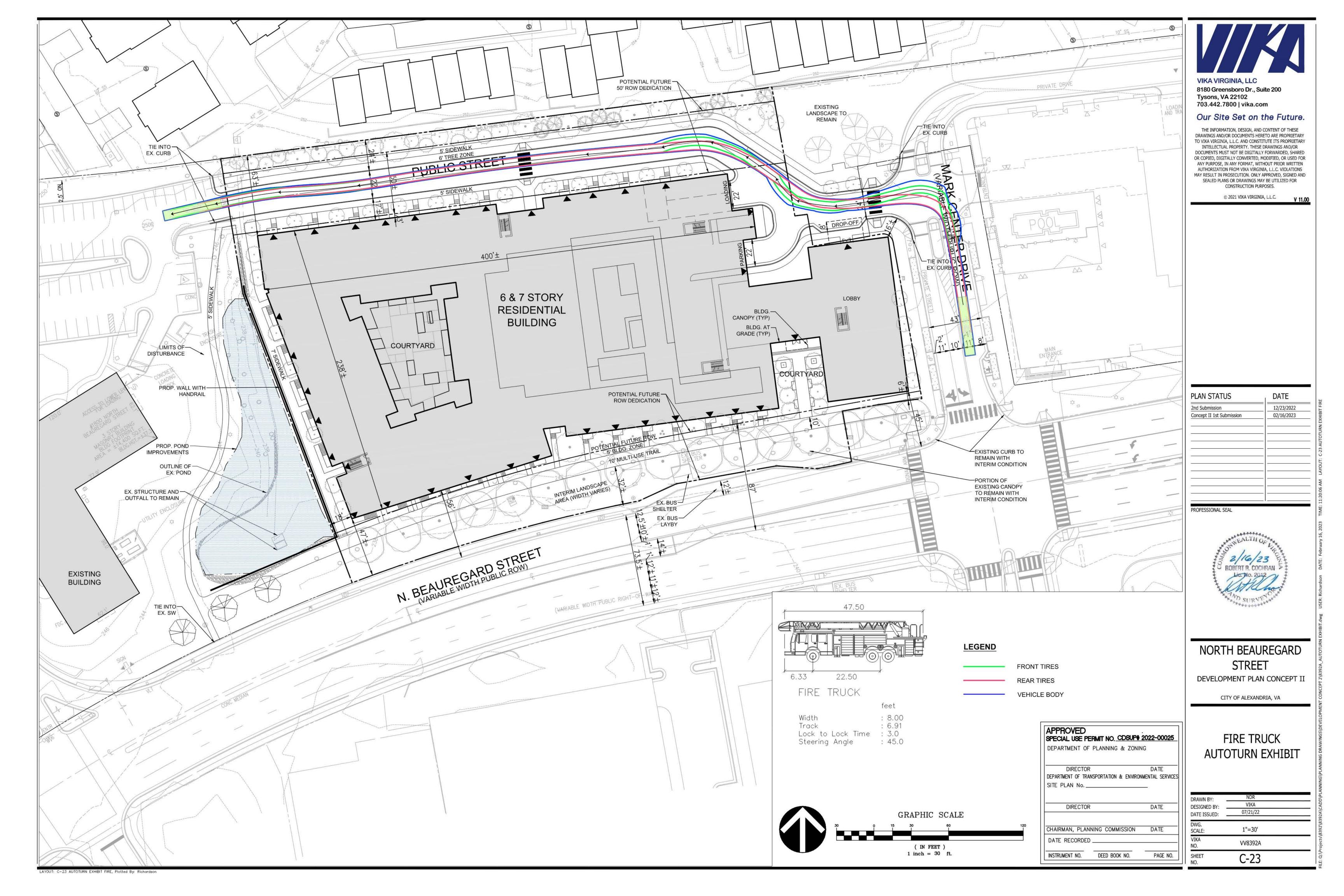
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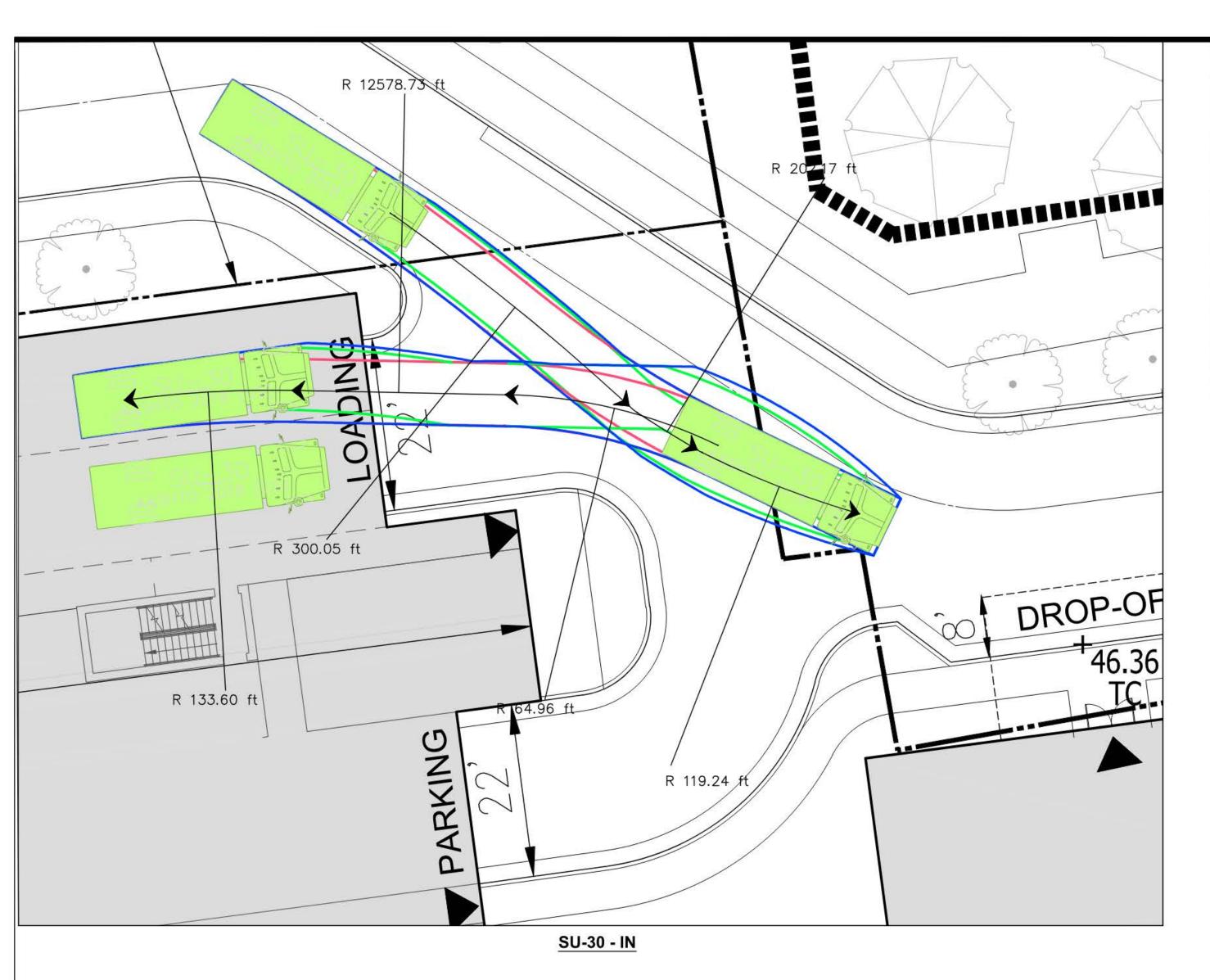
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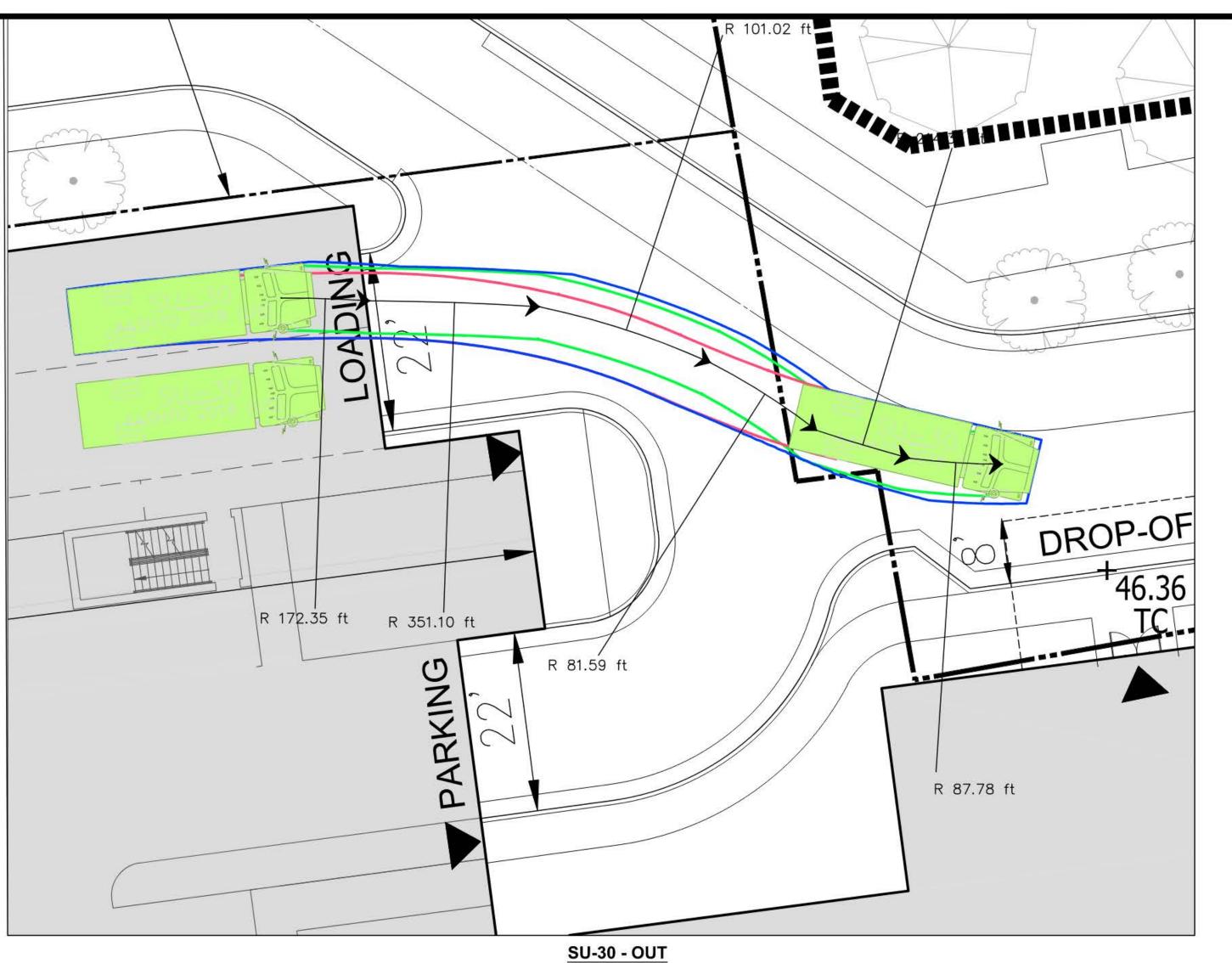
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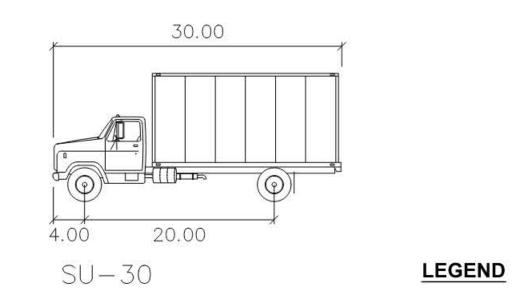
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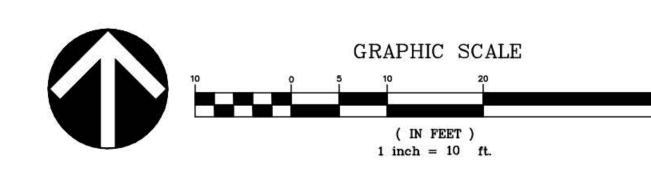








feet Width : 8.00 Track : 8.00 Lock to Lock Time : 6.0 Steering Angle : 31.8



APPROVE SPECIAL US	E PERMIT NO. CDSUF	\$ 2022-0002
DEPARTMENT	OF PLANNING & ZOI	NING
Lo.	TOP	DATE
DIREC	TOR	
	TRANSPORTATION & ENVIR	RONMENTAL SERV

FRONT TIRES

REAR TIRES

VEHICLE BODY

DATE DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED_ INSTRUMENT NO. DEED BOOK NO. PAGE NO.



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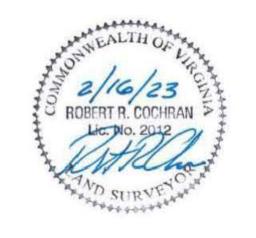
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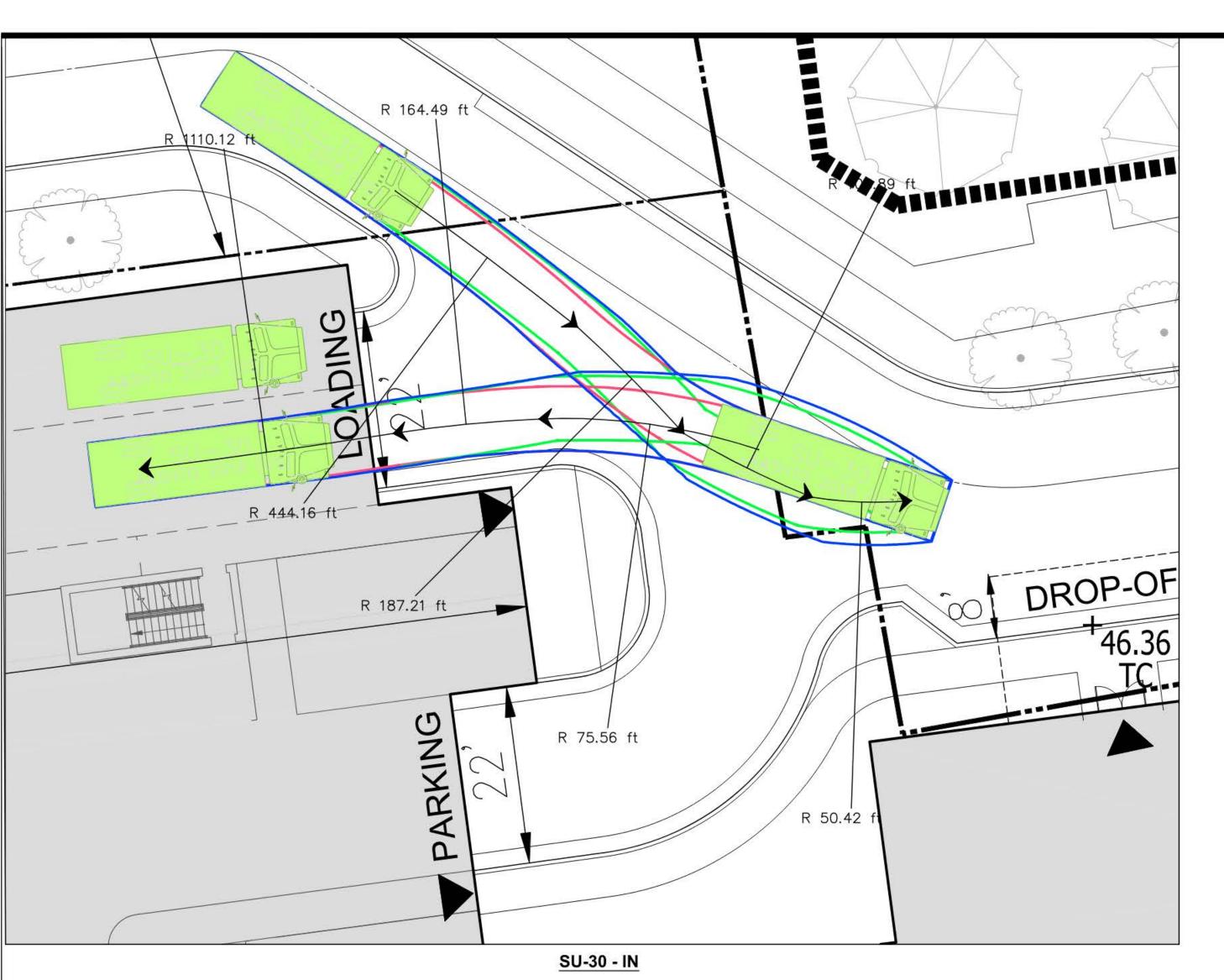
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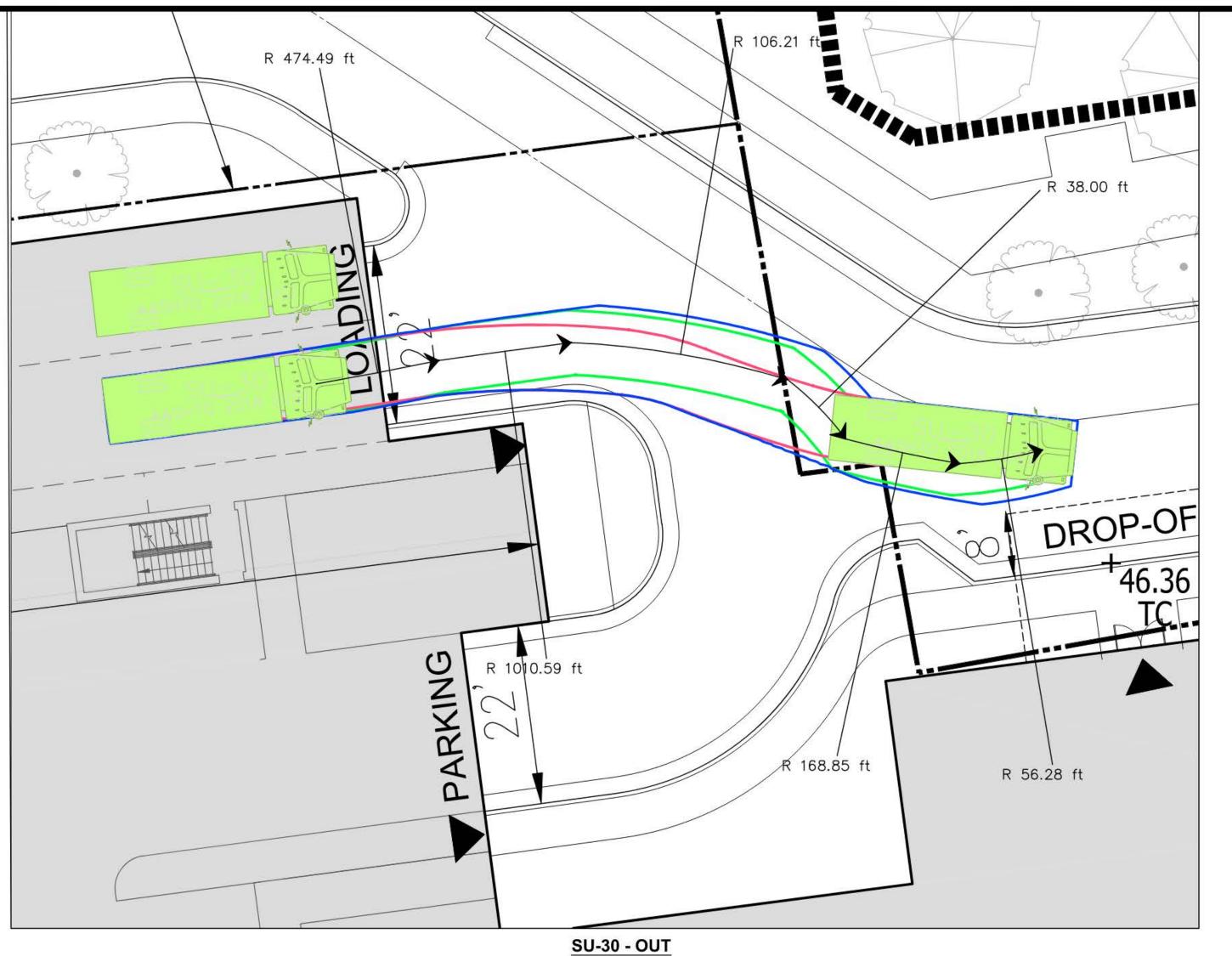
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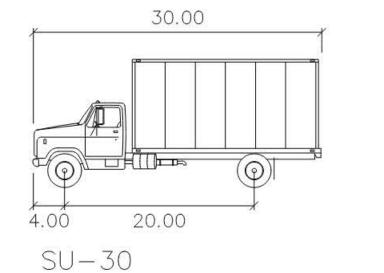
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AUTOTURN EXHIBIT

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DESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1"=10'	
VIKA NO.	VV8392A	
SHEET NO.	C-24	



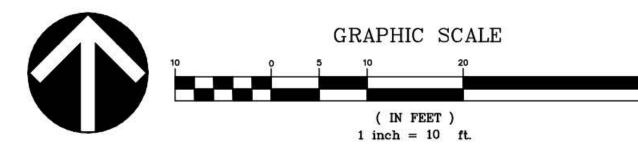




feet

Width : 8.00 Track : 8.00 Lock to Lock Time : 6.0 Steering Angle : 31.8

LEGEND FRONT TIRES REAR TIRES VEHICLE BODY



DEPARTMEN	T OF PLANNING &	ZONING
DIRE	CTOR	DATE
DEPARTMENT O	F TRANSPORTATION & E	NVIRONMENTAL SERVICES
SITE PLAN	No	

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NORTH BEAUREGARD STREET

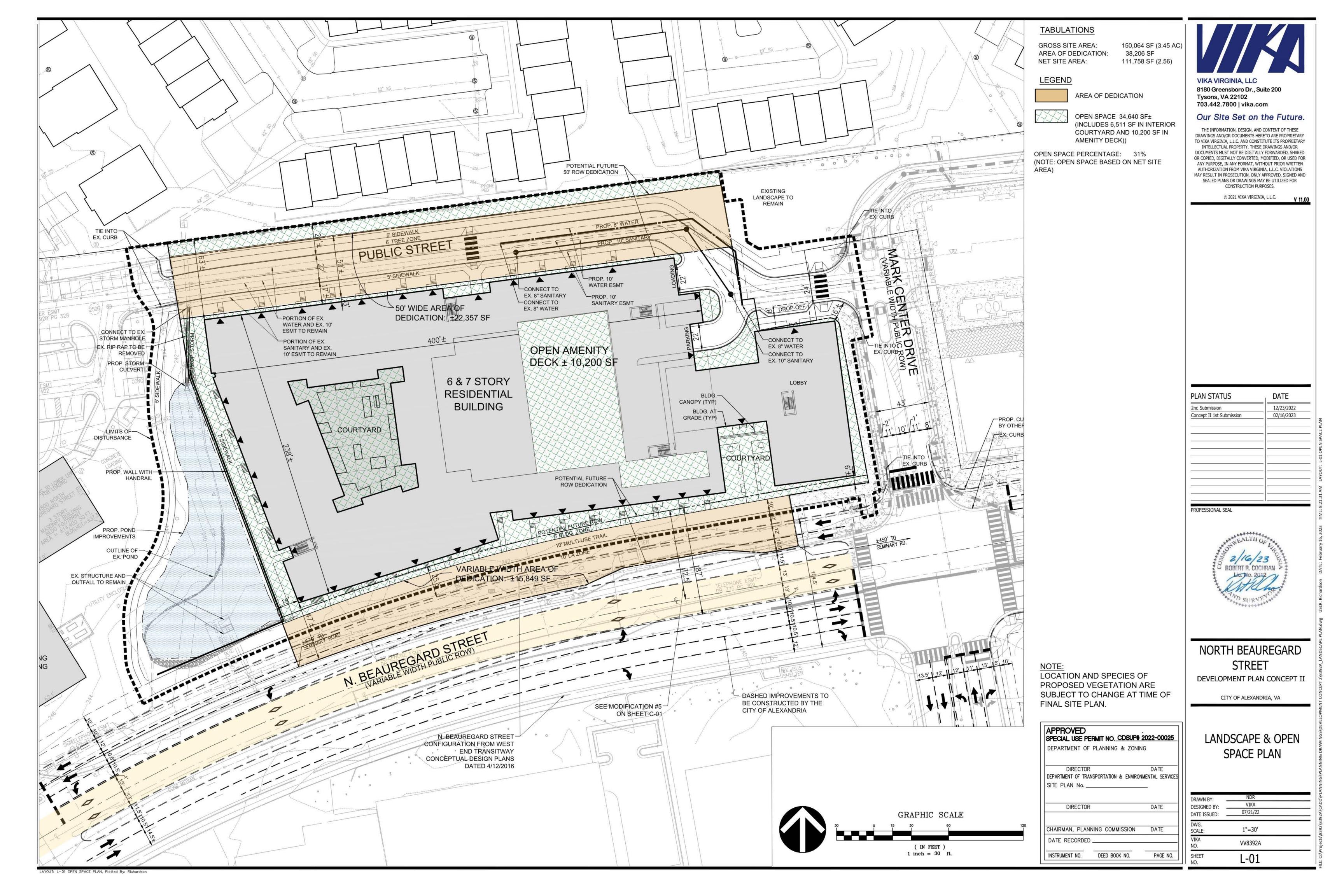
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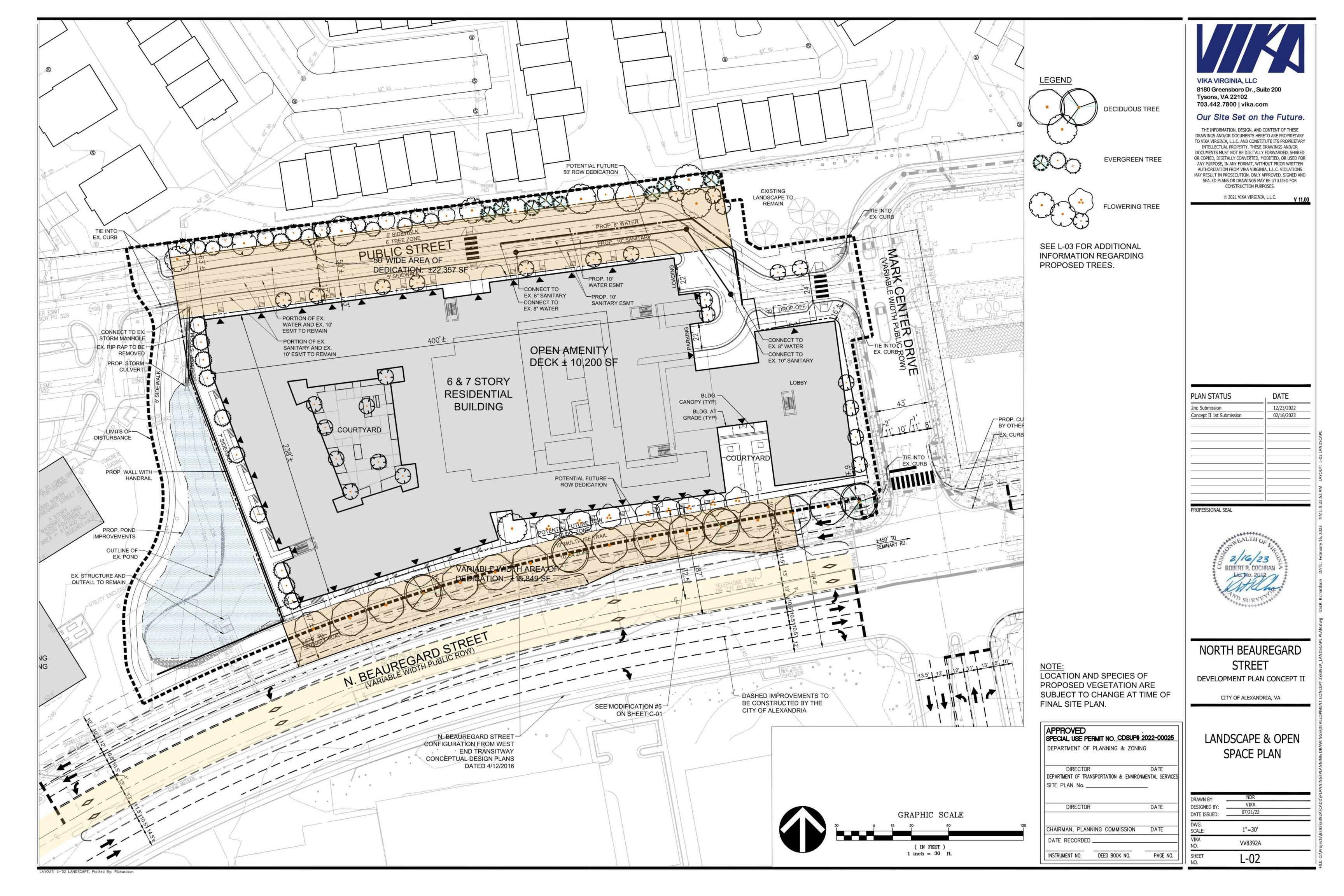
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DESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1"=10'	
VIKA NO.	VV8392A	
SHEET NO.	C-25	

LAYOUT: C-25 AUTOTURN EXHIBIT LOADING (2), Plotted By: Richardson





PLANT SCHEDULE TREE CANOPY

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS	
(\cdot)	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	3" CAL.	B&B	750	5			CCA = 3
	MS	MAGNOLIA VIRGINIANA	SWEET BAY	8` HT.	B&B	250	3			CCA = 7
\bigcirc	QP	QUERCUS PHELLOS	WILLOW OAK	3" CAL.	B&B	1250	3			CCA = 3
.)	UV	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	3" CAL.	B&B	1250	11			CCA = 1
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS	
\odot	CJ	CRYPTOMERIA JAPONICA	JAPANESE CEDAR	8`-10` HT.	B&B	250	5			CCA = 1
)	IN	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	8`-10` HT.	B&B	250	4			CCA = 1
\odot	IF	ILEX X ATTENUATA 'FOSTERI'	FOSTER'S HOLLY	8'-10' HT.	B&B	250	15			CCA = 3
	JE	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	8`-10` HT.	B&B	250	8			CCA = 2
FLOWERING TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	20-YEAR COVERAGE	QTY	DETAIL	REMARKS	
(*)	AC	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	2" CAL.	B&B	500	8			CCA =
3	СС	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	B&B	500	3			CCA =
(\cdot)	CV	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	2" CAL.	B&B	500	1			CCA = 5
)	СР	CORNUS FLORIDA `CHEROKEE PRINCESS`	CHEROKEE PRINCESS DOGWOOD	2" CAL.	B&B	250	19			CCA = 4
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	AREA	QTY	DETAIL	REMARKS	
\odot	CA2	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL.	CONTAINER	10	32			CCA = 3
\otimes	cs	CORNUS SERICEA 'CARDINAL'	`CARDINAL` RED-TWIG DOGWOOD	3 GAL.	CONTAINER	25	5			CCA =
0	IG	ILEX GLABRA	INKBERRY HOLLY	3 GAL.	CONTAINER	25	43			CCA =
\oplus	LD	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	3 GAL.	CONTAINER	10	43			CCA =
\bigcirc	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	3 GAL.	CONTAINER	25	9			CCA =
\odot	VA	VIBURNUM DENTATUM	VIBURNUM	3 GAL.	CONTAINER	25	58			CCA =
0	VB	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	3 GAL.	CONTAINER	25	5			CCA =

TOTAL CCA: 41,750 SF

OPEN SPACE TABULATIONS

TOTAL SITE AREA: 150,064 SF

NET SITE AREA: 111,758 SF

REQUIRED OPEN SPACE: 15% OR 16,763 SF

PROPOSED OPEN SPACE: GROUND LEVEL:

ABOVE GROUND:

24,440 SF 10,200 SF

TOTAL: 31% OR 34,640 SF

CROWN COVER TABULATIONS

TOTAL SITE AREA: 150,064 SF 25% CROWN COVER REQUIRED: 37,516 SF EXISTING CROWN COVER: 84,212 SF 84,212 SF REMOVED CROWN COVER: PRESERVED CROWN COVER CROWN COVER FROM PRESERVED TREES: CROWN COVER FROM PRESERVED SHRUBS: PROPOSED CROWN COVER (SF) 38,000 SF COVER FROM PROPOSED TREES: TOTAL CROWN COVER PROVIDED (%): 25.3% TOTAL CROWN COVER PROVIDED (SF): 38,000 SF

NOTE: LOCATION AND SPECIES OF PROPOSED VEGETATION ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.

DEPARTMENT OF PLANNING & ZONII	NG
DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRO	DATE NMENTAL SERVI
SITE PLAN No	
DIRECTOR	DATE
DIRECTOR CHAIRMAN, PLANNING COMMISSION	F. 10278
	F. 10278



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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
	3 8

PROFESSIONAL SEAL



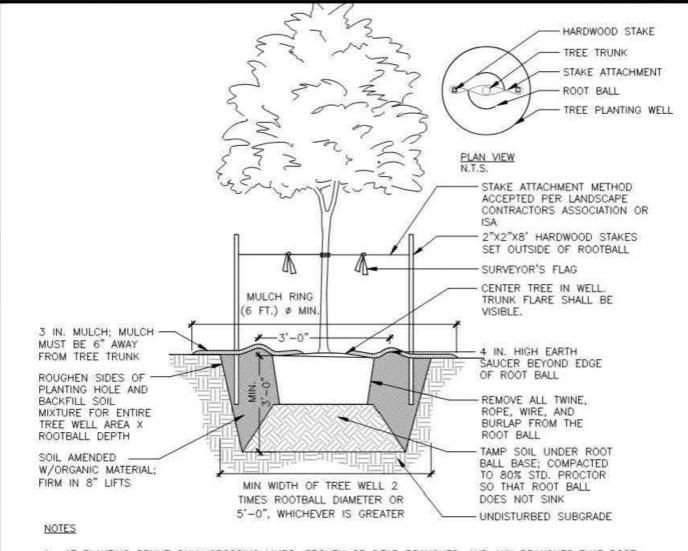
NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LANDSCAPE TABULATIONS

SHEET NO.	L-03	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=30'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	



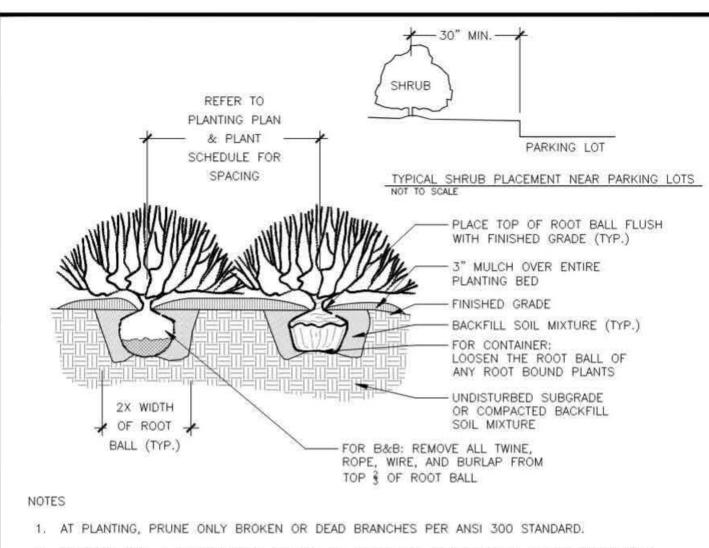
- 1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
- 2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
- 4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- 5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
- 6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
- 7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
- 8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION, ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
- 9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF

OF UPDATES: 01 LAST UPDATED: 12/02/2019

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA

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DECIDUOUS TREE PLANTIN OF I LD 001 01/01/19



- 2. PLANTING WELL / TRENCH SHALL BE DUG TO ALLOW TOP OF ROOT BALL TO SET FLUSH WITH EXISTING GRADE.
- 3. SET PLANTS IN ERECT, STABLE, AND UNIFORM POSITIONS. ORIENT BEST FACE OF PLANT TO BE
- 4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- 5. DO NOT PLACE MULCH IN CONTACT WITH STEM OF PLANTS.
- 6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.



CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA VIRGINIA

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01/01/19

PLANTING LD 009

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA

3. SEE STAKING DETAIL FOR MORE INFORMATION.

- STAKE ATTACHMENT

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY

2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY

6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF

5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.

FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE

SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF

INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.

9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY

CUMENT IS FOR GENERAL GUIDANCE

NSTRUCTION PURPOSES, ITS USE SHAI

OT RELIEVE THE DESIGN PROFESSIONA

LY AND IS NOT INTENTED FOR

CONTRACTOR OF ANY LEGAL

7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM

8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED

BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT

- CENTER TREE IN WELL.

- 4 IN. HIGH EARTH

HARDWOOD STAKES

SURVEYOR'S FLAG

OF ROOT BALL

SAUCER BEYOND EDGE

SET OUTSIDE OF ROOTBALL

- REMOVE ALL TWINE, ROPE, WIRE,

UNDISTURBED SUBGRADE

AND BURLAP FROM THE ROOT BALL

TAMP SOIL UNDER ROOT BALL BASE;

SO THAT ROOT BALL DOES NOT SINK

TREE PLANTING

01/01/19

LD 002

COA

OF I

SOD OR OTHER APPROVED

SOIL AMENDED W/ORGANIC MATERIAL;

#57 STONE SLOPED TO DRAIN PIPE

- BACKFILL SOIL MIXTURE BENEATH

ROOTBALL COMPACTED TO 80%

AT 1"-1"/FT; LINE SIDES OF

EXCAVATION WITH FILTER FABRIC

STREET

TREE

MATERIAL (TYP.)

FIRM IN 8" LIFTS

STD. PROCTOR

4" DIA. UNDERDRAIN

TREE PLANTING AREA

- SIDEWALK ---

1. REFER TO LANDSCAPE GUIDELINES FOR TREE STRIP PLANTING AREA

2. REFER TO LANDSCAPE GUIDELINES FOR GENERAL TREE PLANTING NOTES.

SOD AND BRICK EDGE. SEE TREE WELL WITH GRANITE BLOCK DETAIL

5. REFER TO STREET TREE WELL DETAIL FOR CROSS-SECTION.

4. SITE CONDITIONS MAY REQUIRE INSTALLATION OF GRANITE BLOCK IN LIEU OF

COMPACTED TO 80% STD. PROCTOR

VISIBLE.

TRUNK FLARE SHALL BE

- ROOT BALL

STAKE ATTACHMENT METHOD -

SURVEYOR'S FLAG ON ARBOR TIE

EVERGREENS THAT EXPOSE TIE)

MUST BE 6" AWAY

(USE ONLY WHEN STAKING NARROW

IMPACTING ADJACENT SITE FEATURES

ALEXANDRIA LANDSCAPE GUIDELINES.

TOPSOIL / BACKFILL MIXTURE.

LENGTH OF TREE PLANTING

AREA: 12' OR LARGER IS

STANDARD; 5' MINIMUM WIDTH

A. CROSS SECTION

CURB AND GUTTER-

SOD (TYP.) OR -

PLANT MATERIAL

PLAN

NOTES

OTHER APPROVED

ACCEPTED PER LANDSCAPE

CONTRACTORS ASSOCIATION

3 IN. MULCH: MULCH -

ROUGHEN SIDES OF

PLANTING HOLE AND

MIXTURE FOR ENTIRE

TREE WELL AREA X

W/ORGANIC MATERIAL:

ROOTBALL DEPTH

FIRM IN 8" LIFTS

OF UPDATES: 01 LAST UPDATED: 12/02/2019

CITY OF ALEXANDRIA, VIRGINIA

CITY OF ALEXANDRIA, VIRGINIA

STANDARD LANDSCAPE DETAILS

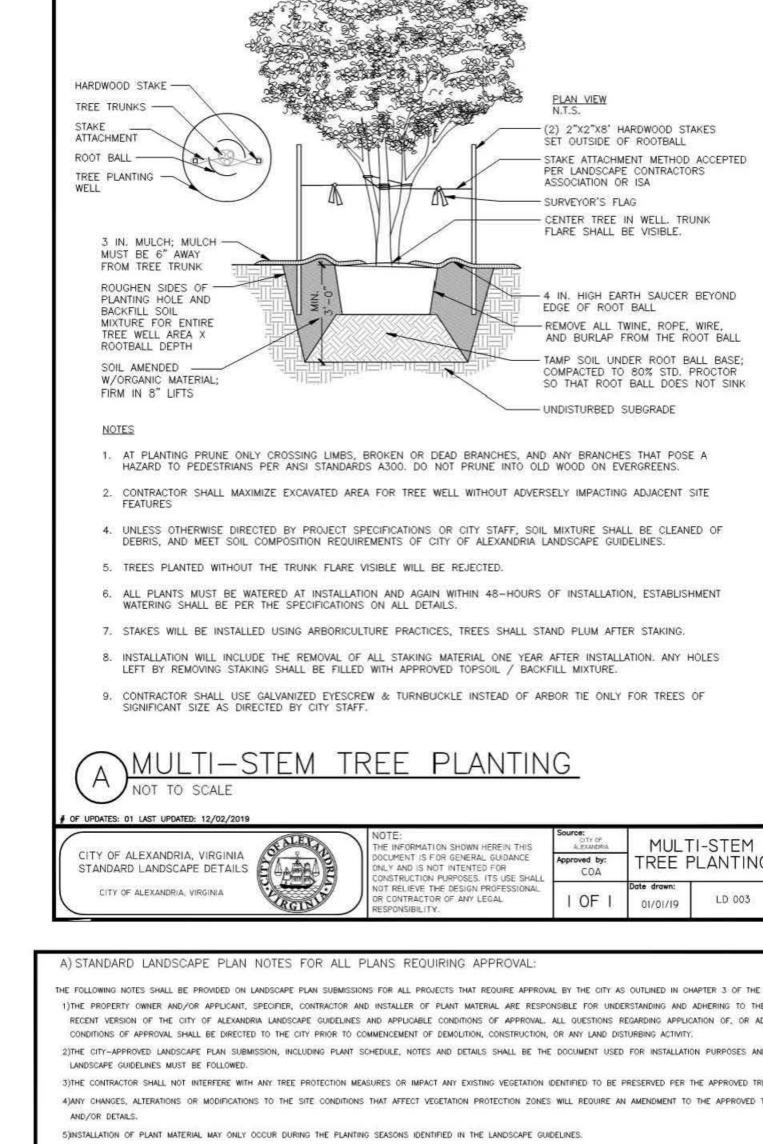
SOIL AMENDED

BACKFILL SOIL

PLAN VIEW N.T.S.

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TREE PLANTING STRIP COA. LD 006 01/01/19



THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES: 1) THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST

LD 003

2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE

3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PLAN. 4)ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN

6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND. 7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.

8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:

1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.

2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION. 3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (6) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT

THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION, THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET. 4)ALL CONSTRUCTION WASTE SHALL BE REMOVED PRIOR TO PLANTING.

5)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS, AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY

6) AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY. STANDARD LANDSCAPE PLAN NOTES

OF UPDATES: 01 LAST UPDATED: 12/02/2019

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA

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PLAN NOTES LD 016 01/01/19

LOCATION AND SPECIES OF PROPOSED VEGETATION ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.

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PLAN STATUS 2nd Submission 12/23/2022 Concept II 1st Submission 02/16/2023

PROFESSIONAL SEAL



NORTH BEAUREGARD **STREET**

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LANDSCAPE NOTES & **DETAILS**

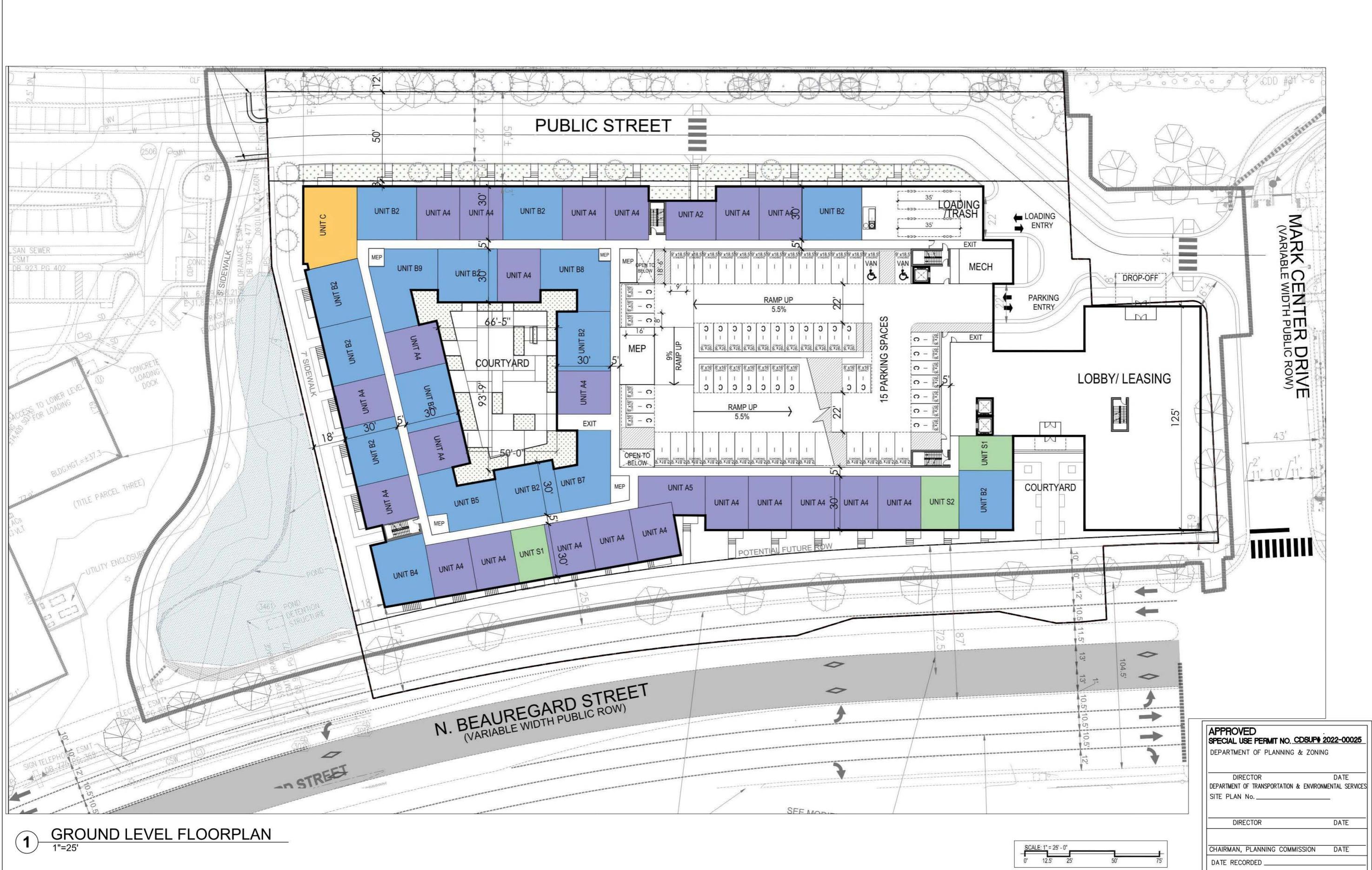
RAWN BY: _	NDR VIKA	
ESIGNED BY: _ ATE ISSUED: _	07/21/22	
WG. CALE:	1"=30'	·
TKA IO.	VV8392A	
HEET O.	L-04	

APPROVED SPECIAL USE PERMIT NO. CDSUP# 2022-00025 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. DATE DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE RECORDED.

DEED BOOK NO.

PAGE NO.

INSTRUMENT NO.



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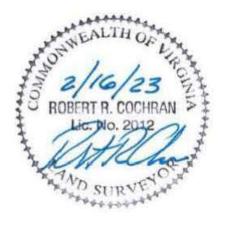
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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
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PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

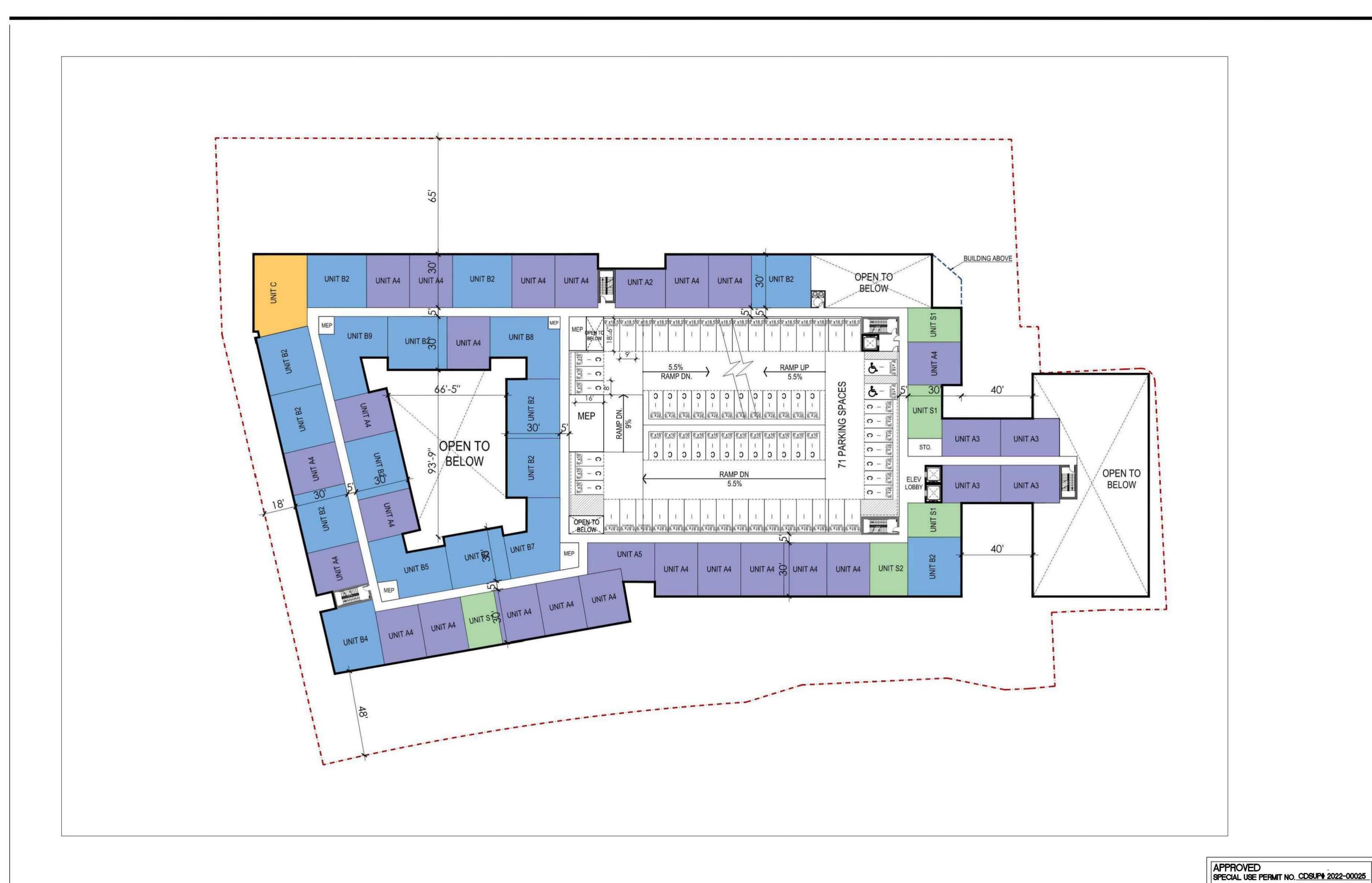
CITY OF ALEXANDRIA, VA

GROUND FLOOR PLAN

SHEET NO.	A-001	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=25'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	

INSTRUMENT NO. DEED BOOK NO.

PAGE NO.



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DATE
12/23/2022
02/16/2023
-
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PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LEVEL 2 FLOOR PLAN

DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

CHAIRMAN, PLANNING COMMISSION DATE

DATE

DATE

PAGE NO.

DIRECTOR

DIRECTOR

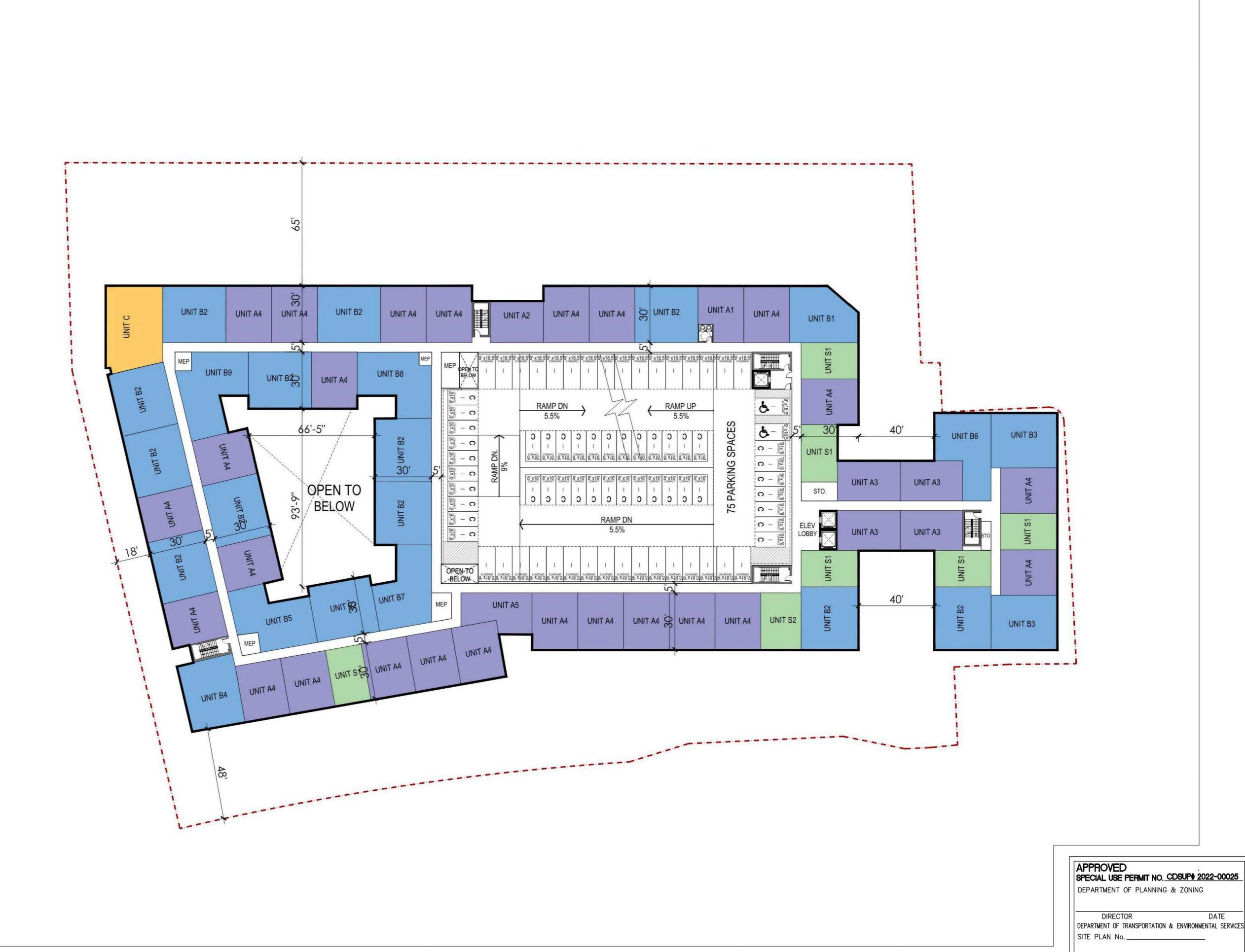
INSTRUMENT NO. DEED BOOK NO.

SITE PLAN No. _

DATE RECORDED

SHEET NO.	A-002	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=25'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	

LEVEL 2 FLOORPLAN
1"=25'



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PLAN STATUS	DATE
2nd Submission	12/23/2022
Concept II 1st Submission	02/16/2023
-	

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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LEVEL 3-5 FLOOR **PLANS**

SHEET NO.	A-003	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=25'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	

DATE

PAGE NO.

DIRECTOR

INSTRUMENT NO. DEED BOOK NO.

DATE RECORDED.

CHAIRMAN, PLANNING COMMISSION DATE

1 LEVEL 3-5 FLOORPLANS



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12/23/2022
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PROFESSIONAL SEAL



NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

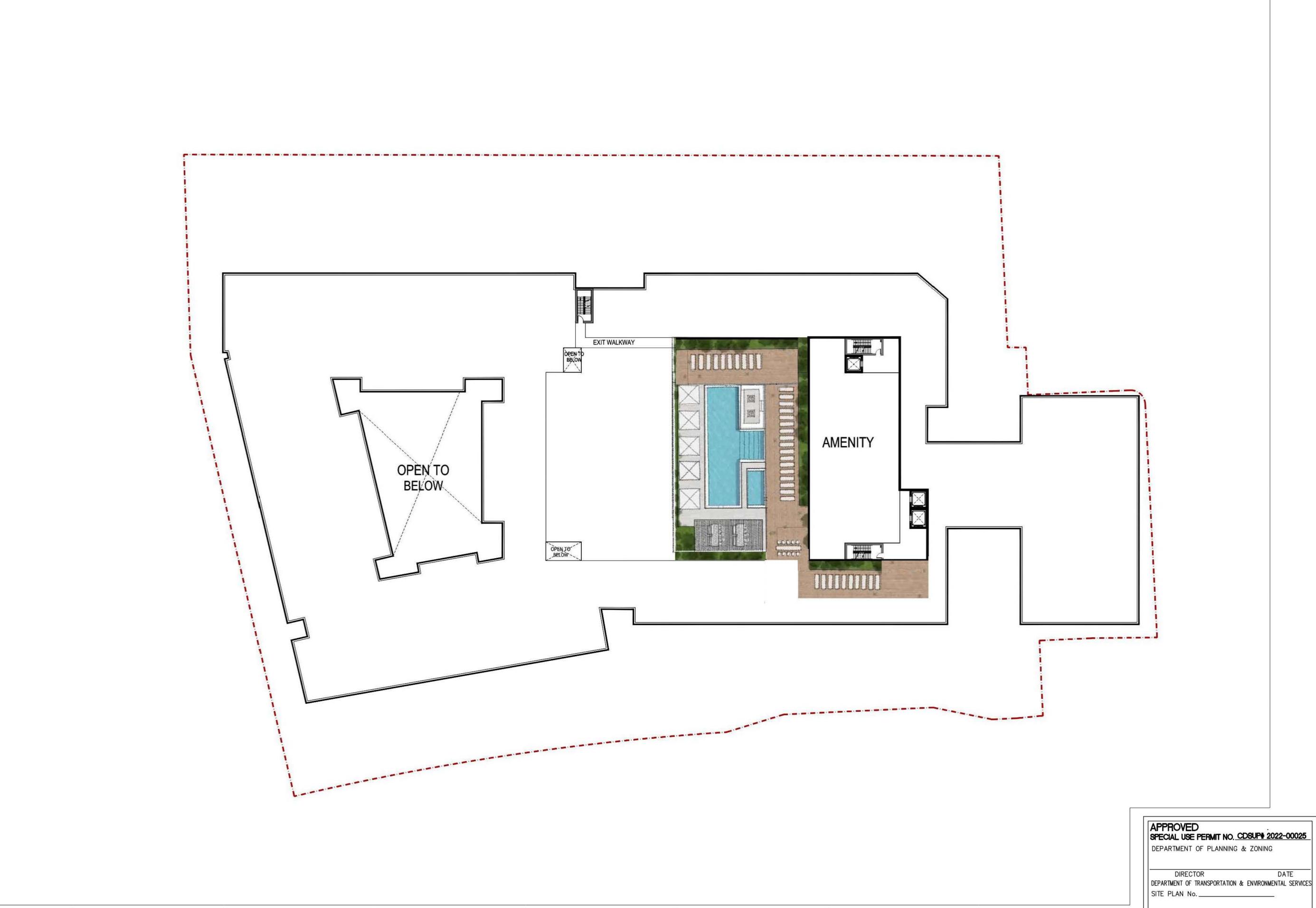
CITY OF ALEXANDRIA, VA

LEVEL 6 FLOOR PLAN

SHEET NO.	A-004	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=25'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	

PAGE NO.

CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED. INSTRUMENT NO. DEED BOOK NO.



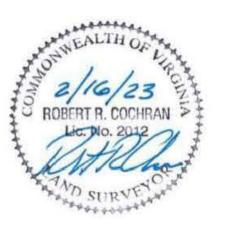
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Concept II 1st Submission	02/16/2023
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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

LEVEL 7 FLOOR PLAN

SHEET NO.	A-005	
VIKA NO.	VV8392A	
DWG. SCALE:	1"=25'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY:	NDR	

DIRECTOR

INSTRUMENT NO. DEED BOOK NO.

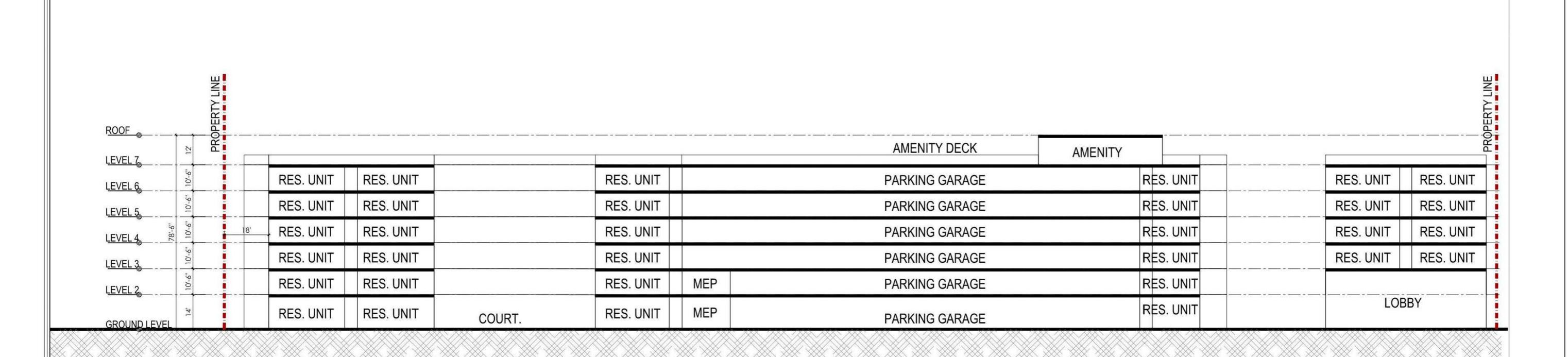
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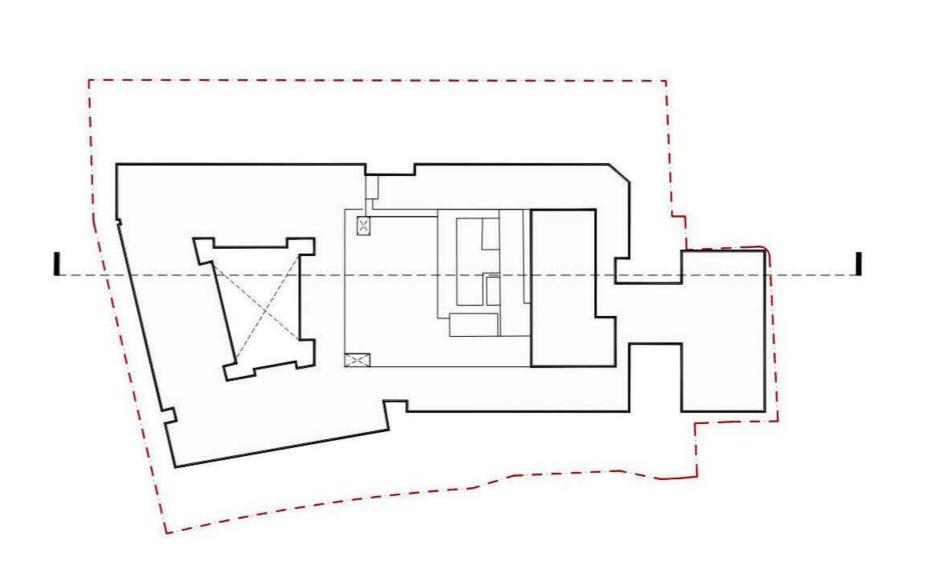
DATE

PAGE NO.

1 LEVEL 7 FLOORPLAN
1"=25'



BUILDING LINE
18, 52, 52,



1 BUILDING SECTION
1"=20"

SCALE: 1" = 20' - 0"

0' 10' 20' 40' 60'

APPROVED

SPECIAL USE PERMIT NO. CDSUP# 2022-00025

DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN No. ______

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

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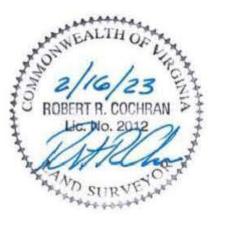
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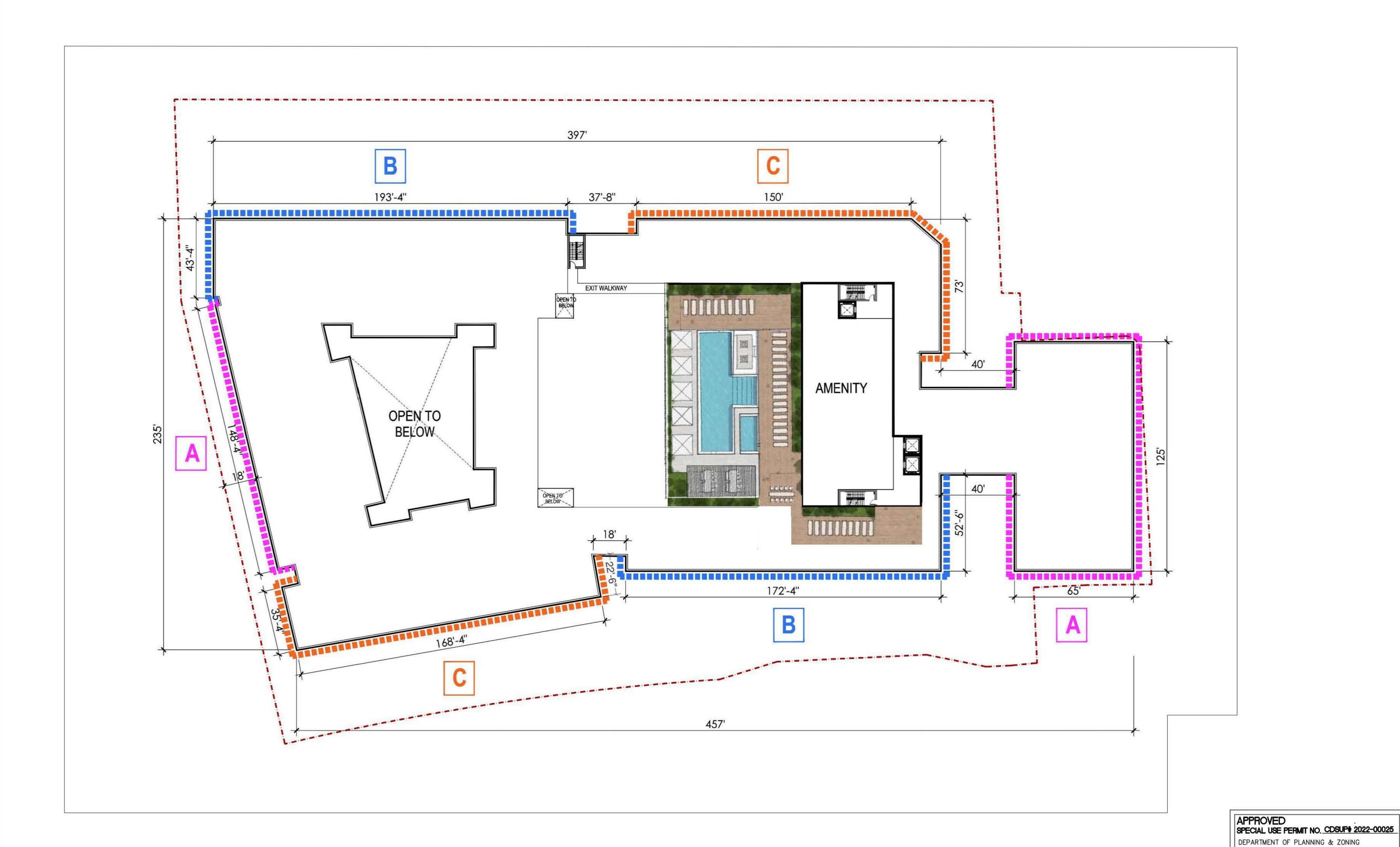
NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

BUILDING SECTION

VIKA NO.	VV8392A	
DWG. SCALE:	1"=20'	
DATE ISSUED:	07/21/22	
DESIGNED BY:	VIKA	
DRAWN BY: .	NDR	



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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

BUILDING PERIMETER **EXHIBIT**

DRAWN BY:	NDR	
DESIGNED BY:	VIKA	
DATE ISSUED:	07/21/22	
DWG. SCALE:	1"=25'	
VIKA NO.	VV8392A	
SHEET NO.	A-007	

DIRECTOR

DIRECTOR

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

CHAIRMAN, PLANNING COMMISSION DATE

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DATE

PAGE NO.





2. SOUTHWEST CORNER CONCEPTUAL

MANSONRY STOOPS

CONCEPTUAL EXTERIOR VEIWS

AT GROUND LEVEL

FIBER CEMENT SIDING 3

DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. DATE DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE

PAGE NO.

DATE RECORDED.

INSTRUMENT NO. DEED BOOK NO.

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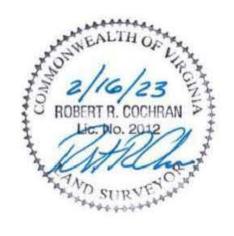
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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

CONCEPTUAL EXTERIOR VIEWS

SHEET NO.	A-008	
VIKA NO.	VV8392A	
DWG. SCALE:	N/A	
DESIGNED BY: . DATE ISSUED: .	07/21/22	
DRAWN BY:	NDR VIKA	



4. NORTHWEST CORNER CONCEPTUAL EXTERIOR VIEW



FIBER CEMENT

BRICK 2 – AT GROUND

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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

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DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRO SITE PLAN No	INMENTAL SERVICES
DIRECTOR	DATE

PAGE NO.

INSTRUMENT NO. DEED BOOK NO.

CONCEPTUAL EXTERIOR VIEWS

HEET O.	A-009	
IKA O.	VV8392A	
WG. CALE:	N/A	
ATE ISSUED:	07/21/22	
ESIGNED BY:	VIKA	
RAWN BY:	NDR	

1. WEST CONCEPTUAL VIEW

FIBER CEMENT

FIBER CEMENT

SIDING 3

BRICK 1

BRICK 2

AT GROUND LEVEL

AT GROUND LEVEL

- SIDING 1



BRICK 2 AT GROUND LEVEL

2. WEST CONCEPTUAL VIEW

CONCEPTUAL EXTERIOR VEIWS

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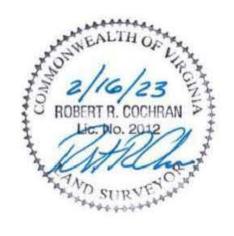
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NORTH BEAUREGARD STREET

DEVELOPMENT PLAN CONCEPT II

CITY OF ALEXANDRIA, VA

CONCEPTUAL EXTERIOR VIEWS

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DIRECTOR	DATE	DESIGNED BY:	VIKA
	DAIL	DATE ISSUED:	07/21/22
CHAIRMAN, PLANNING COMMISSIC	ON DATE	DWG. SCALE:	N/A
DATE RECORDED		VIKA NO.	VV8392A
INSTRUMENT NO. DEED BOOK NO.	PAGE NO.	SHEET	A-010

DATE

APPROVED .
SPECIAL USE PERMIT NO. CDSUP# 2022-00025

DEPARTMENT OF PLANNING & ZONING

DIRECTOR

SHAKER PANEL OR SIMILAR

BRICK 2 AT GROUND

MANSONRY STOOPS

LEVEL