

Carlyle/Eisenhower East Design Review Board (DRB) Application

PROJECT NAME: Eisenhower East, Block #3 _____ BLOCK: #3 _____

ADDRESS OF PROJECT: 2425 Mill Road

APPLICATION FOR REVIEW OF: *(Check one)*

- Building Concept Final
 Sign
 Awning
 Other: _____

APPLICANT Name: Red Fox Development c/o Wire Gill LLP, Ken Wire and Megan Rappolt

Address: 700 N. Fairfax Street, Suite 600 Alexandria, VA 22314

Phone: 202-431-3624 or 703-362-5232

Email Addresses: kwire@wiregill.com/mrappolt@wiregill.com

ARCHITECT/DESIGNER Name: Cooper Carry, Steve Smith

Address: 625 N. Washington St. Suite 200, Alexandria, VA 22314

Phone & Email Address: 703-519-7127 stevesmith@coopercarry.com

PROPERTY OWNER Name: Hoffman Family, LLC

(if different from APPLICANT)

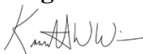
Address: 2034 Eisenhower Ave. Suite 290 Alexandria, VA 22314

Phone: 703-960-4700 Email Address: N/A

DESCRIBE THE REQUEST BRIEFLY: New mixed use development with up to a 360' residential building of up to 775 units and 40,000 SF of ground floor retail. The building will be iconic and transformative given its location within the Eisenhower Small Area plan and as viewed from nearby regional thoroughfares of I-495, I-395, Telegraph Road and Duke Street.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

Note: Per condition #67 of the Carlyle SUP #2253, as amended by SUP #2007-0094, all applicants will be responsible for the costs associated with DRB review of the application. Fees are determined based upon the number of applicants per hearing. Applicants will be notified by Planning and Zoning staff of the amount owed after the filing deadline has passed and the agenda for the hearing has been finalized. Payment is expected prior to the request being acted upon by the DRB.

Applicant Signature: By: 
Applicant Printed Name: Kenneth W. Wire, Megan C. Rappolt

Date: March 21, 2025

Carlyle/Eisenhower East Design Review Board (DRB) Filing Instructions

Filing Deadlines

- Applications for DRB review must be submitted no later than thirty (30) calendar days prior to the scheduled DRB meeting.
- Contact the DRB staff at the number below at least a week prior to filing to coordinate submissions by the filing deadline. DRB staff will request that PDFs of draft submissions be emailed to P&Z for pre-review and comment. Staff will notify applicants of any suggested design/content revisions to submissions to be made by the filing deadline.
- A schedule of submission dates is maintained in the Department of Planning and Zoning and is also posted at: <http://alexandriava.gov/planning/info/default.aspx?id=43130>
- All applications are due by 5:00 p.m. on the day of the application filing deadline.
- If no applications are received by the submission deadline for a given hearing, that hearing will be cancelled.

Application Support Materials

- All supporting materials (see attached checklist) must be submitted by the **filing deadline** (see above). **New material may not be submitted or presented at the DRB hearing.**
- Applications without the required supporting materials are deemed incomplete and will not be heard by the DRB.

**For assistance with any of these procedures contact P&Z
Development Staff at (703) 746-4666.**

Carlyle/Eisenhower East Design Review Board (DRB)

Application Checklist for Buildings in CONCEPT REVIEW*:

N/A Physical massing model at minimum 1"=30', showing existing and proposed buildings for all adjacent properties

N/A **Submit the following plan copies containing all of the information on this checklist:**

 Twelve (12) 11"x17" collated, stapled color sets

 One (1) 24"x36" collated, stapled, color sets, and

 One (1) 11"x17" 120 dpi PDF file

 Number all sheets in plan set

Zoning tabulations (for each element, list zoning ordinance requirement and number proposed):

X Zoning of the site

X Existing uses on the site

X Proposed uses for the site

N/A Lot area(s) (and minimum lot area required under zoning, if applicable)

X Number of dwelling units (list by number of bedrooms for multifamily)

X Units per acre for residential

X Gross square feet (GSF) of building area, total and listed by use (with area devoted to parking included and listed separately)

X Net square feet (NSF) of floor area, total and listed by use

X Existing and proposed floor-area-ratios

X Open space total provided and broken down by ground-level space and usable space provided

X Average finish grade for each building

X Height of each building above average finish grade

X Building setbacks with required and proposed listed separately

X Frontage with required and proposed listed separately

X Parking spaces (listed by compact, standard, handicapped size and total)

X Loading spaces (number required and number proposed)

Site plan/architecture:

X Color Site plan at appropriate scale, showing approved uses & heights for adjacent properties

X Color Landscape concept plan showing hardscape and planting areas, trees, street furniture, etc.

X Color typical floor plans at min. 1/16" = 1'-0" for all levels including roof

X Building elevations in color at min. 1/16" = 1'-0" of all building faces with materials labeled, rendered with shadows and keyed to plans

X Building/site sections showing grade changes in relationship to buildings and/or retaining walls, rendered with shadows and keyed to plans and showing average finish grade line and heights, including penthouses

X Enlarged details (plan/section/elevation) of typical bays at pedestrian level as required

X Street-level perspective views in color

X Building solid/void area ratio calculation drawings and tabulations

Carlyle/Eisenhower East Design Review Board (DRB)
Application Checklist for Buildings in FINAL REVIEW*:

- _____ Detailed physical building model at appropriate scale
- _____ **Submit the following plan copies containing all of the information on this checklist:**
- _____ **Twelve (12) 11"x17" collated, stapled color sets**
- _____ **One (1) 24"x36" collated, stapled, color sets, and**
- _____ **One (1) 11"x17" 120 dpi PDF file**
- _____ **Number all sheets in plan set**

Zoning tabulations (for each element, list zoning ordinance requirement and number proposed):

- _____ Zoning of the site
- _____ Existing uses on the site
- _____ Proposed uses for the site
- _____ Lot area(s) (and minimum lot area required under zoning, if applicable)
- _____ Number of dwelling units (list by number of bedrooms for multifamily)
- _____ Units per acre for residential
- _____ Gross square feet (GSF) of building area, total and listed by use (with area devoted to parking included and listed separately)
- _____ Net square feet (NSF) of floor area, total and listed by use
- _____ Existing and proposed floor-area-ratios
- _____ Open space total provided and broken down by ground-level space and usable space provided
- _____ Average finish grade for each building
- _____ Height of each building above average finish grade
- _____ Building setbacks with required and proposed listed separately
- _____ Frontage with required and proposed listed separately
- _____ Parking spaces (listed by compact, standard, handicapped size and total)
- _____ Loading spaces (number required and number proposed)

Site plan/architecture:

- _____ Color Site plan at appropriate scale, showing approved uses & heights for adjacent properties
- _____ Color Landscape concept plan showing hardscape and planting areas, trees, street furniture, etc.
- _____ Color typical floor plans at min. 1/16" = 1'-0" for all levels including roof
- _____ Building elevations in color at min. 1/16" = 1'-0" of all building faces with materials labeled, rendered with shadows and keyed to plans
- _____ Building/site sections showing grade changes in relationship to buildings and/or retaining walls, rendered with shadows and keyed to plans and showing average finish grade line and heights, including penthouses
- _____ Street-level perspective views in color
- _____ Building solid/void area ratio calculation drawings and tabulations
- _____ Landscape details, referenced to Color Landscape plan
- _____ Enlarged details (plan/section/elevation) of all building setbacks with dimensions
- _____ Wall sections with enlarged details indicating different conditions at building setbacks
- _____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

**Color and material boards and samples to be provided at Board hearing*

- _____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

Carlyle/Eisenhower East Design Review Board (DRB) Application Checklist for Signs, Awnings, Other:

_____ **Submit twelve (12) 11"x17" (minimum size) collated, stapled color sets (w/pages numbered) and one (1) 11"x17" 120 dpi resolution PDF file of the following:**

_____ Color Site plan at a measurable scale showing:

- location(s) of proposed element(s)
- dimensions of storefront and building widths [FOR SIGNS & AWNINGS ONLY]

_____ Large-scale elevations and sections with enlarged details

_____ Elevations in color at min. 1/16" = 1'-0", with materials labeled, rendered with shadows and keyed to plans

_____ Street-level perspective photomontages in color (daytime view)

_____ Street-level perspective photomontages in color (nighttime view) [FOR SIGNS ONLY]

_____ Additional materials requested by the DRB or materials required by conditions of approval (if applicable): List: _____

Design guidelines (provide information needed to assess compliance):

_____ If located within the Carlyle CDD, information required by the *Carlyle Design Guidelines* and the *Carlyle Streetscape Design Guidelines*

_____ If located in the Eisenhower East CDD, information required by the *Eisenhower East Design Guidelines*



SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|--------------------|---------------------------|------------|
| DRB CONCEPT REVIEW | | 03.21.2025 |



EISENHOWER BLOCK 3

2425 MILL ROAD
ALEXANDRIA, VA 22314

MARCH 21, 2025

DRB CONCEPT REVIEW

| ZONING TABULATIONS | |
|-----------------------------------|--|
| SITE ADDRESSES & TAX MAP NUMBERS: | 072.02-02-12 (2425 MILL ROAD) |
| EXISTING ZONE: | CDD#2 |
| PROPOSED ZONE: | CDD#2 |
| SMALL AREA PLAN DISTRICT: | EISENHOWER EAST |
| EXISTING USE: | VACANT LAND |
| PROPOSED USE: | RESIDENTIAL & RETAIL |
| EXISTING SITE AREA: | 135,755 S.F. OR 3.12 AC. |
| GROSS FLOOR AREA PROPOSED: | RETAIL: 41,560 S.F. RESIDENTIAL: 800,315 S.F. PARKING: 329,963 S.F. TOTAL: 1,171,838 S.F. |
| NET FLOOR AREA PROPOSED: | RETAIL: 40,000 S.F. RESIDENTIAL: 892,167 S.F. PARKING: 310,977 S.F. TOTAL: 1,043,144 S.F. |
| EXISTING FAR: | 0.0 |
| PROPOSED FAR: | 7.76 |
| AVERAGE FINISH GRADE: | 28.2 |
| MAXIMUM BUILDING HEIGHT REQUIRED: | 360' (CDD AMENDMENT) |
| MAXIMUM BUILDING HEIGHT PROPOSED: | 328.0' (NOTE: THE 35' PENTHOUSE IS EXCLUDED FROM THIS HEIGHT MEASUREMENT) |
| MAXIMUM NUMBER OF UNITS: | 775 UNITS |
| PROPOSED NUMBER OF UNITS: | 767 UNITS (637 1BR, 130 2BR) |
| PROPOSED UNITS PER ACRE: | 767 UNITS / 3.06 AC. = 248 UNITS/AC. |
| PROPOSED NUMBER OF BEDROOMS: | 897 BEDROOMS |
| PARKING PROVIDED: | RETAIL: 193 SPACES 22 COMPACT 166 STANDARD 6 HANDICAP RESIDENTIAL: 718 SPACES 46 COMPACT 654 STANDARD 18 HANDICAP TOTAL: 911 SPACES 68 COMPACT 819 STANDARD 24 HANDICAP |
| LOADING SPACES PROVIDED: | 2 SPACES |
| BUILDING SETBACK REQUIRED: | N/A |
| BUILDING SETBACK PROVIDED: | PERSHING = 0.78' (MIN.), 60.60' (MAX.) STOVALL = 0.24' (MIN.), 5.34' (MAX.) MILL = 0.07' (MIN.), 3.17' (MAX.) |
| LOT FRONTAGE REQUIRED: | N/A |
| LOT FRONTAGE PROVIDED: | PERSHING = 0.78' (MIN.), 60.60' (MAX.) STOVALL = 0.24' (MIN.), 5.34' (MAX.) MILL = 0.07' (MIN.), 3.17' (MAX.) |
| OPEN SPACE REQUIRED: | 25% OF SITE (33,620 SF) PER EESAP OF WHICH 10,000 SF AT-GRADE PER CDD OPTION #2 |
| OPEN SPACE PROVIDED: | 91,506 SF TOTAL 13,850 SF AT-GRADE (PUBLIC) 77,684 SF ABOVE-GRADE (PRIVATE) |

| DRAWING INDEX - DRB CONCEPT REVIEW | | |
|------------------------------------|-----------|---|
| SHT DISCIPLINE | SHEET NO. | SHEET NAME |
| GENERAL | G0-00 | COVER SHEET |
| CIVIL | C201 | EXISTING SITE CONDITIONS |
| CIVIL | C300 | CDD CONCEPT PLAN |
| LANDSCAPE | L1-01 | ILLUSTRATIVE PLAN |
| ZONING | A1-01 | RENDERINGS |
| ZONING | A1-02 | RENDERINGS |
| ZONING | A1-03 | RENDERINGS |
| ZONING | A2-00 | SITE PLAN |
| ZONING | A2-01 | FLOOR PLAN - LEVEL 1 |
| ZONING | A2-02 | FLOOR PLAN - LEVEL 2 |
| ZONING | A2-03 | FLOOR PLAN - LEVEL 3 |
| ZONING | A2-04 | FLOOR PLAN - LEVEL 4 |
| ZONING | A2-05 | FLOOR PLAN - LEVEL 5 |
| ZONING | A2-06 | FLOOR PLAN - LEVEL 6 (TOP OF PODIUM) |
| ZONING | A2-07 | FLOOR PLAN - LEVEL 8 (TYPICAL RESIDENTIAL) |
| ZONING | A2-08 | FLOOR PLAN - LEVEL 16 (EAST STEP BACK) |
| ZONING | A2-09 | FLOOR PLAN - LEVEL 19 (NORTHWEST STEP BACK) |
| ZONING | A2-10 | FLOOR PLAN - LEVEL 21 (TYP. RESIDENTIAL PH UNITS) |
| ZONING | A2-11 | FLOOR PLAN - LEVEL 29 (SOUTHEAST STEP BACK) |
| ZONING | A2-12 | ROOF PLAN |
| ZONING | A4-01 | BUILDING ELEVATIONS |
| ZONING | A4-02 | BUILDING ELEVATIONS |
| ZONING | A4-03 | BUILDING ELEVATIONS |
| ZONING | A4-04 | BUILDING ELEVATIONS |
| ZONING | A4-07 | BUILDING SECTIONS |
| ZONING | A4-08 | BUILDING SECTIONS |
| ZONING | A4-10 | AXONOMETRIC VIEWS |

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

COVER SHEET

| | |
|---------------------|-------------|
| Designer | 20230384 |
| Principal-in-Charge | Project No. |
| Approver | 09/06/11 |
| Project Manager | Date |
| Checker | |
| Project Architect | |
| Author | |
| Staff Architect | |

G0-00

CLIENT / OWNER

Red Fox Development
1794 Lanier Place NW
Suite 407
Washington, DC 20009
tel: 703.203.0990
www.redfoxdc.com

ARCHITECT

Cooper Carry
625 N Washington Street
Suite 200
Alexandria, VA 22314
tel: 703.273.6820
www.coopercarry.com

CIVIL

IMEG
4035 Ridge Top Road
Suite 601
Fairfax, VA 22030
tel: 703.549.7784
www.imegcorp.com

LANDSCAPE

Land Design
200 South Peyton Street
Alexandria, VA 22314
tel: 301.881.1441
www.landdesign.com

STRUCTURAL ENGINEER

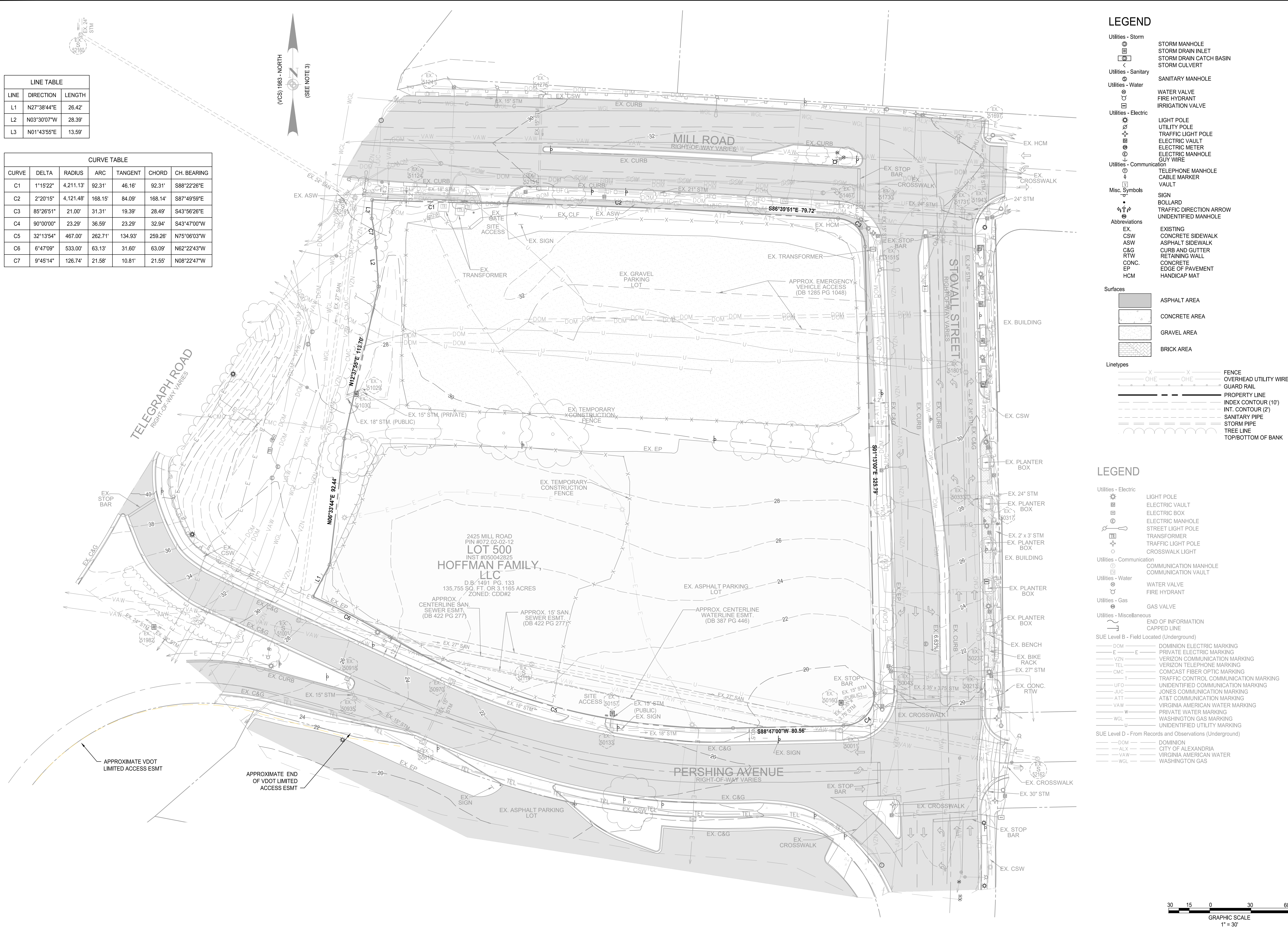
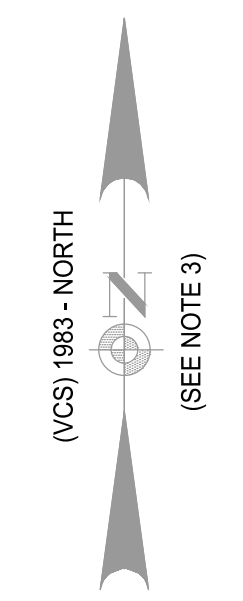
SK&A Engineers
12435 Park Potomac Avenue
Suite 300
Potomac, MD 20854
tel: 301.881.1441
www.skaengineers.com

LAND USE ATTORNEY

Wire Gill, LLP
700 North Fairfax Street
Suite 600
Alexandria, VA 22314
tel: 703.836.5757
www.wiregill.com

| LINE TABLE | | |
|------------|-------------|--------|
| LINE | DIRECTION | LENGTH |
| L1 | N27°38'44"E | 26.42' |
| L2 | N03°30'07"W | 28.39' |
| L3 | N01°43'55"E | 13.59' |

| CURVE TABLE | | | | | | |
|-------------|-----------|-----------|---------|---------|---------|-------------|
| CURVE | DELTA | RADIUS | ARC | TANGENT | CHORD | CH. BEARING |
| C1 | 1°15'22" | 4,211.13' | 92.31' | 46.16' | 92.31' | S88°22'28"E |
| C2 | 2°20'15" | 4,121.48' | 168.15' | 84.09' | 168.14' | S87°49'59"E |
| C3 | 85°26'51" | 21.00' | 31.31' | 19.39' | 28.49' | S43°56'28"E |
| C4 | 90°00'00" | 23.29' | 36.59' | 23.29' | 32.94' | S43°47'00"W |
| C5 | 32°13'54" | 467.00' | 262.71' | 134.93' | 259.26' | N75°06'03"W |
| C6 | 6°47'09" | 533.00' | 63.13' | 31.60' | 63.09' | N62°22'43"W |
| C7 | 9°45'14" | 126.74' | 21.58' | 10.81' | 21.55' | N08°22'47"W |



LEGEND

Utilities - Storm

- STORM MANHOLE
- STORM DRAIN INLET
- STORM DRAIN CATCH BASIN
- STORM CULVERT

Utilities - Sanitary

- SANITARY MANHOLE

Utilities - Water

- WATER VALVE
- FIRE HYDRANT
- IRRIGATION VALVE

Utilities - Electric

- LIGHT POLE
- UTILITY POLE
- TRAFFIC LIGHT POLE
- ELECTRIC VAULT
- ELECTRIC METER
- ELECTRIC MANHOLE
- GUY WIRE

Utilities - Communication

- TELEPHONE MANHOLE
- CABLE MARKER
- VAULT

Misc. Symbols

- SIGN
- BOLLARD
- TRAFFIC DIRECTION ARROW
- UNIDENTIFIED MANHOLE

Abbreviations

- EX. EXISTING
- CSW CONCRETE SIDEWALK
- ASW ASPHALT SIDEWALK
- C&G CURB AND GUTTER
- RTW RETAINING WALL
- CONC. CONCRETE
- EP EDGE OF PAVEMENT
- HCM HANDICAP MAT

Surfaces

- ASPHALT AREA
- CONCRETE AREA
- GRAVEL AREA
- BRICK AREA

Linetypes

- FENCE
- OVERHEAD UTILITY WIRE
- GUARD RAIL
- PROPERTY LINE
- INDEX CONTOUR (10')
- INT. CONTOUR (2')
- SANITARY PIPE
- STORM PIPE
- TREE LINE
- TOP/BOTTOM OF BANK

LEGEND

Utilities - Electric

- LIGHT POLE
- ELECTRIC VAULT
- ELECTRIC BOX
- ELECTRIC MANHOLE
- STREET LIGHT POLE
- TRANSFORMER
- TRAFFIC LIGHT POLE
- CROSSWALK LIGHT

Utilities - Communication

- COMMUNICATION MANHOLE
- COMMUNICATION VAULT

Utilities - Water

- WATER VALVE
- FIRE HYDRANT

Utilities - Gas

- GAS VALVE

Utilities - Miscellaneous

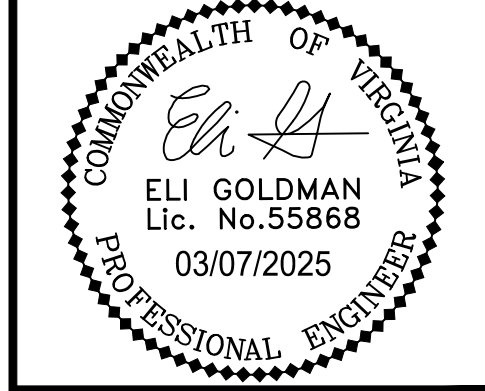
- END OF INFORMATION
- CAPPED LINE

SUE Level B - Field Located (Underground)

- DOM DOMINION ELECTRIC MARKING
- E PRIVATE ELECTRIC MARKING
- VZN VERIZON TELEPHONE MARKING
- TEL VERIZON TELEPHONE MARKING
- CMC COMCAST FIBER OPTIC MARKING
- T TRAFFIC CONTROL COMMUNICATION MARKING
- UFO UNIDENTIFIED COMMUNICATION MARKING
- JUC JONES COMMUNICATION MARKING
- ATT AT&T COMMUNICATION MARKING
- VAW VIRGINIA AMERICAN WATER MARKING
- W PRIVATE WATER MARKING
- WGL WASHINGTON GAS MARKING
- U UNIDENTIFIED UTILITY MARKING

SUE Level D - From Records and Observations (Underground)

- DOM DOMINION
- ALX CITY OF ALEXANDRIA
- VAW VIRGINIA AMERICAN WATER
- WGL WASHINGTON GAS



EISENHOWER EAST, BLOCK 3

CONCEPT II

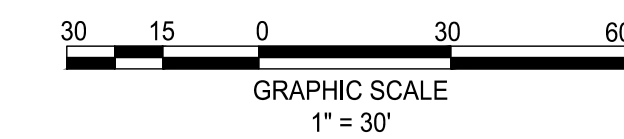
CITY OF ALEXANDRIA, VIRGINIA

| CONCEPT 2 SUBMISSION | MARK | DATE | DESCRIPTION |
|----------------------|------|------|-------------|
| 03/07/25 | | | |

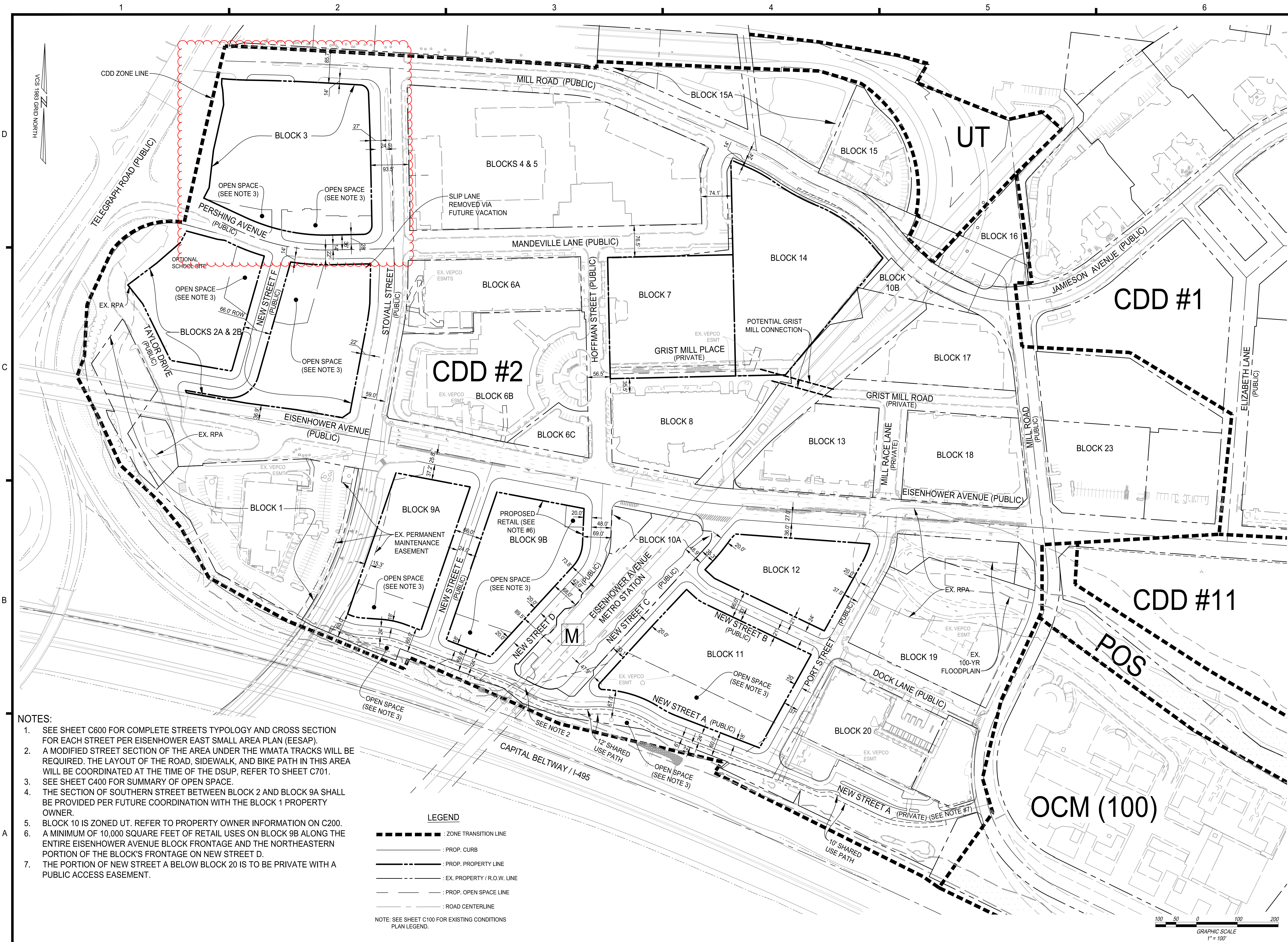
PROJECT No.: 24004058.00
 DRAWING No.: 113323
 DATE: 02/07/2025
 SCALE: SEE DWGS.
 DESIGN: EG
 DRAWN: JS
 CHECKED: EG

SHEET TITLE:
**EXISTING
 CONDITION PLAN**

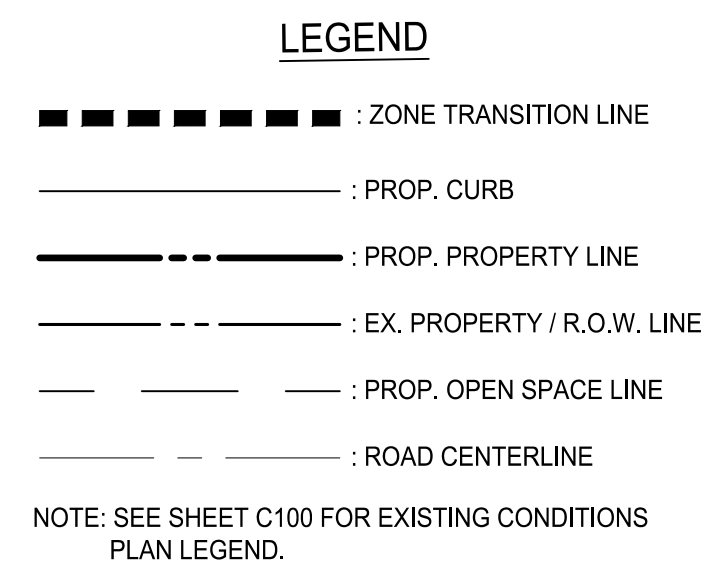
SHEET No.
C201



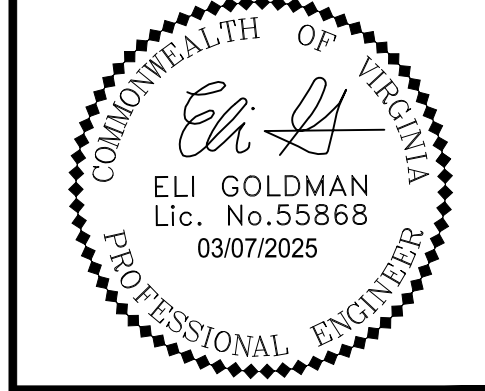
P:\Projects\24004058.00\113323_Hoffman Block 3 Concept II\C201 EXISTING CONDITION PLAN.dwg, 3/7/2025 10:34:21 AM, AutoCAD/PDF General Documentation\pc3



- NOTES:**
- SEE SHEET C600 FOR COMPLETE STREETS TYPOLOGY AND CROSS SECTION FOR EACH STREET PER EISENHOWER EAST SMALL AREA PLAN (EESAP).
 - A MODIFIED STREET SECTION OF THE AREA UNDER THE WMATA TRACKS WILL BE REQUIRED. THE LAYOUT OF THE ROAD, SIDEWALK, AND BIKE PATH IN THIS AREA WILL BE COORDINATED AT THE TIME OF THE DSUP, REFER TO SHEET C701.
 - SEE SHEET C400 FOR SUMMARY OF OPEN SPACE.
 - THE SECTION OF SOUTHERN STREET BETWEEN BLOCK 2 AND BLOCK 9A SHALL BE PROVIDED PER FUTURE COORDINATION WITH THE BLOCK 1 PROPERTY OWNER.
 - BLOCK 10 IS ZONED UT. REFER TO PROPERTY OWNER INFORMATION ON C200.
 - A MINIMUM OF 10,000 SQUARE FEET OF RETAIL USES ON BLOCK 9B ALONG THE ENTIRE EISENHOWER AVENUE BLOCK FRONTAGE AND THE NORTHEASTERN PORTION OF THE BLOCK'S FRONTAGE ON NEW STREET D.
 - THE PORTION OF NEW STREET A BELOW BLOCK 20 IS TO BE PRIVATE WITH A PUBLIC ACCESS EASEMENT.



christopher consultants
 4035 ridge top rd
 suite 601
 fairfax, va 22030
 engineering • surveying • land planning



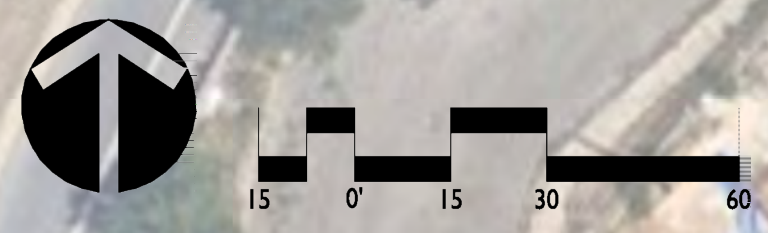
COORDINATED DEVELOPMENT DISTRICT #2
CONCEPTUAL DESIGN PLAN
 CITY OF ALEXANDRIA, VIRGINIA

| MARK | DATE | DESCRIPTION |
|------|------------|--|
| 1 | 02-11-2022 | CDD AMENDMENT SUBMISSION #1 |
| 2 | 07-01-2022 | CDD AMENDMENT SUBMISSION #2 |
| 3 | 05-26-2023 | CDD AMENDMENT SUBMISSION #3 |
| 4 | 11-03-2023 | CDD AMENDMENT SUBMISSION #4 |
| 5 | 02-02-2024 | CDD AMENDMENT SUBMISSION #5 (COMPLETENESS) |
| 6 | 03-08-2024 | CDD AMENDMENT SUBMISSION #6 (COMPLETENESS) |
| 7 | 09-30-2024 | FINAL CDD CONCEPTUAL DESIGN PLAN |
| 8 | 03-05-2025 | CDD - FINAL #1 SUBMISSION |
| 9 | 03-07-2025 | CDD - REVISION #1 SUBMISSION |

PROJECT No.: 98085.065.00
 DRAWING No.: 111404
 DATE: 02.11.22
 SCALE: SEE SHEET
 DESIGN: EG
 DRAWN: MQ
 CHECKED: KMW

CDD CONCEPT PLAN

SHEET No.
C300



EISENHOWER BLOCK 3 ALEXANDRIA, VA • ILLUSTRATIVE PLAN

PN 2024124 | 03.20.2025 |



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SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issues for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

BUILDING OVERVIEW



SE RETAIL CORNER



SW VIEW FROM TELEGRAPH ROAD



NE VIEW FROM MILL ROAD



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

RENDERINGS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHE Project Architect | |
| SAM GUENN Staff Architect | |

A1-01

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A1-01 - RENDERINGS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:27 AM



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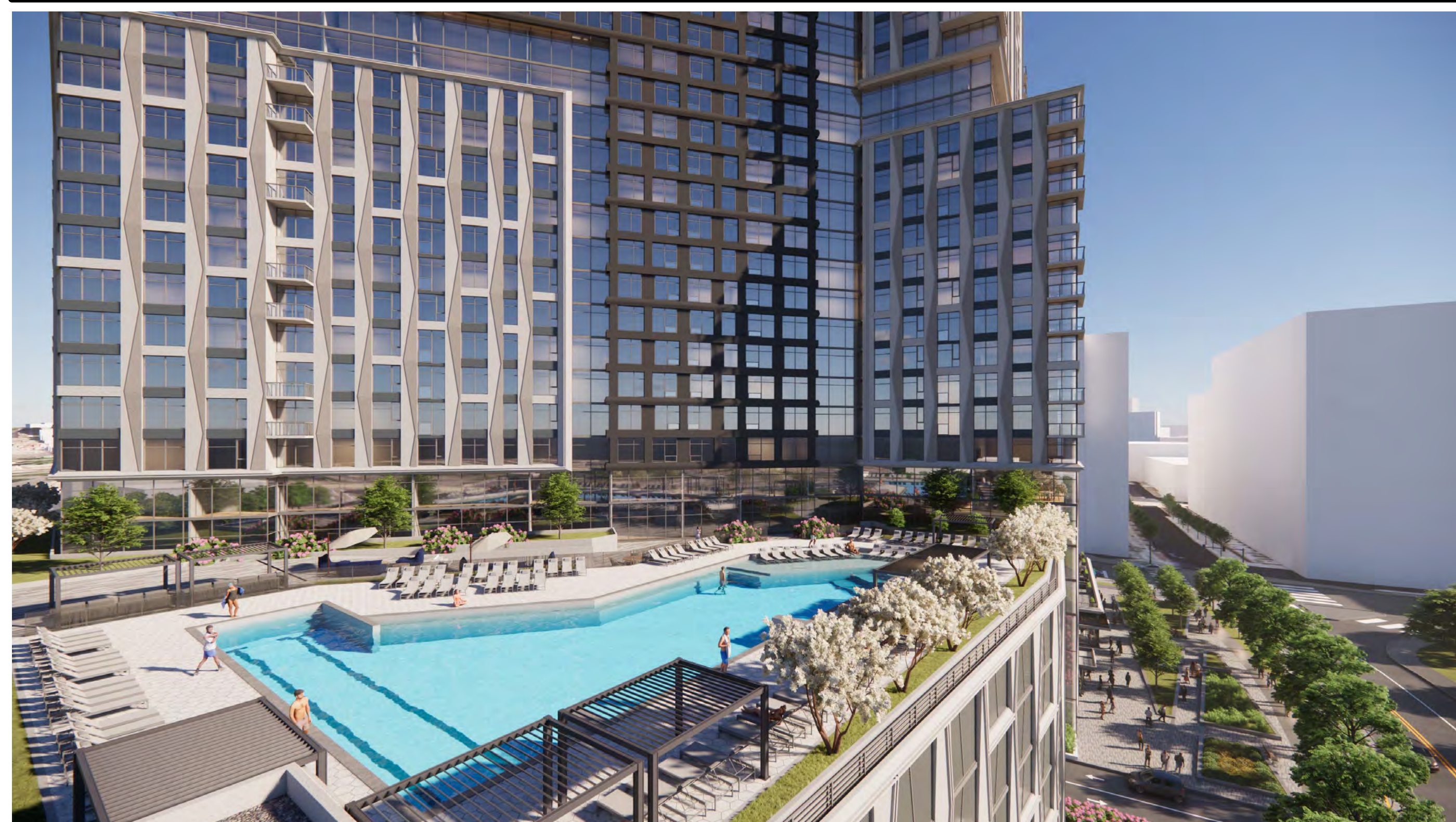
SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

SW PODIUM VIEW - POOL



SE CORNER RETAIL EXPERIENCE



SOUTH ELEVATION FROM EISENHOWER AVENUE



SE PODIUM AND RETAIL CORNER FROM ABOVE



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

RENDERINGS

| | |
|---------------------|-------------|
| STEVE SMITH | 20230384 |
| Principal-in-Charge | Project No. |
| ALYSHA BUCK | 03/07/25 |
| Project Manager | Date |
| MATT GUELCHER | |
| Project Architect | |
| SAM GUENIN | |
| Staff Architect | |

A1-02

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A1-02 - RENDERINGS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:29 AM

STOVALL ROAD ELEVATION



SOUTH RESIDENTIAL ENTRY



NORTH ELEVATION FROM TELEGRAPH ROAD



COOPER CARRY
THE CENTER FOR CONNECTIVE ARCHITECTURE

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SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

RENDERINGS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENIN Staff Architect | |

A1-03

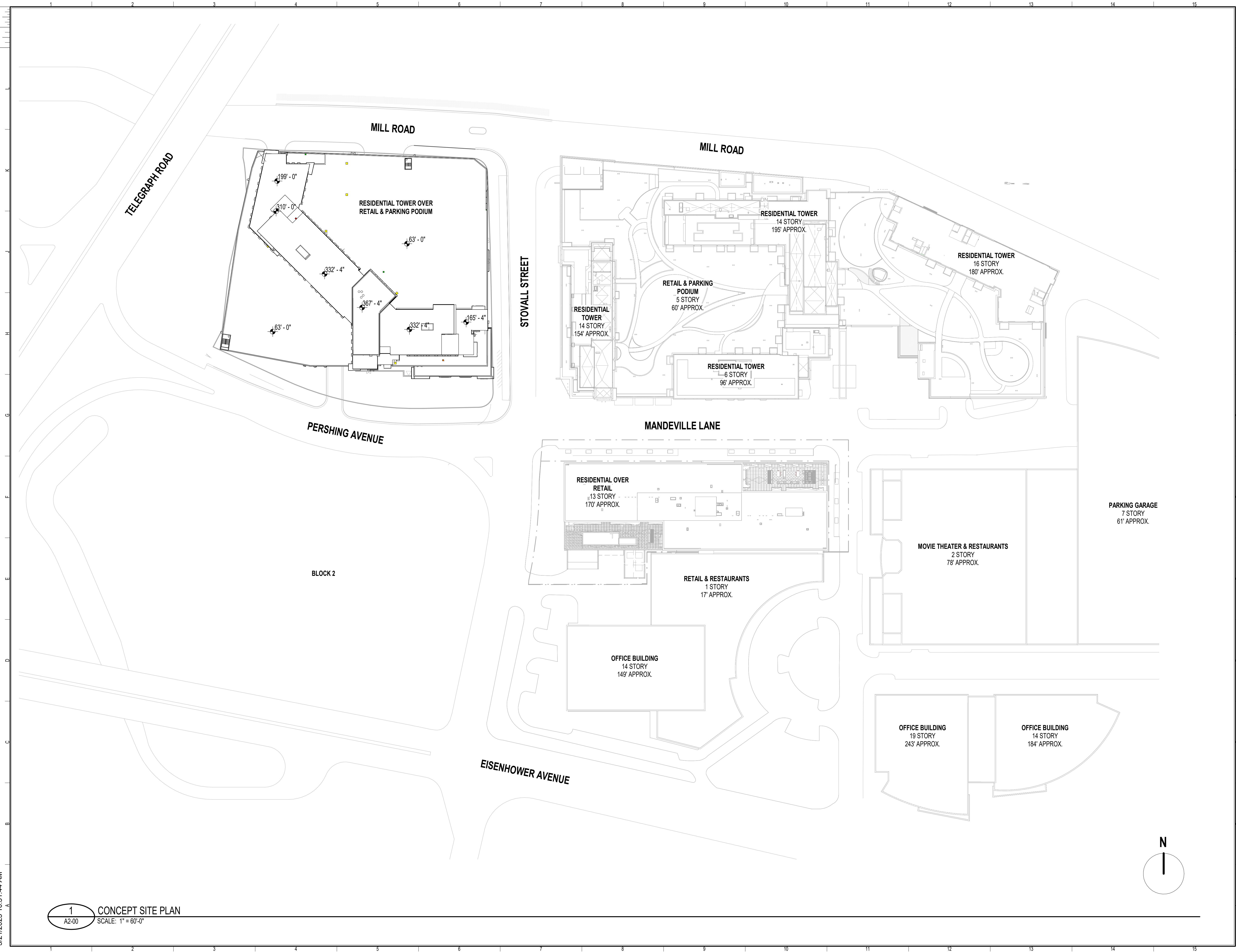
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SHEET NUMBER: A1-03 - RENDERINGS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:30 AM



SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |



1 CONCEPT SITE PLAN
A2-00 SCALE: 1" = 60'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

SITE PLAN

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENIN Staff Architect | |

A2-00

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-00 - SITE PLAN
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:44 AM



SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

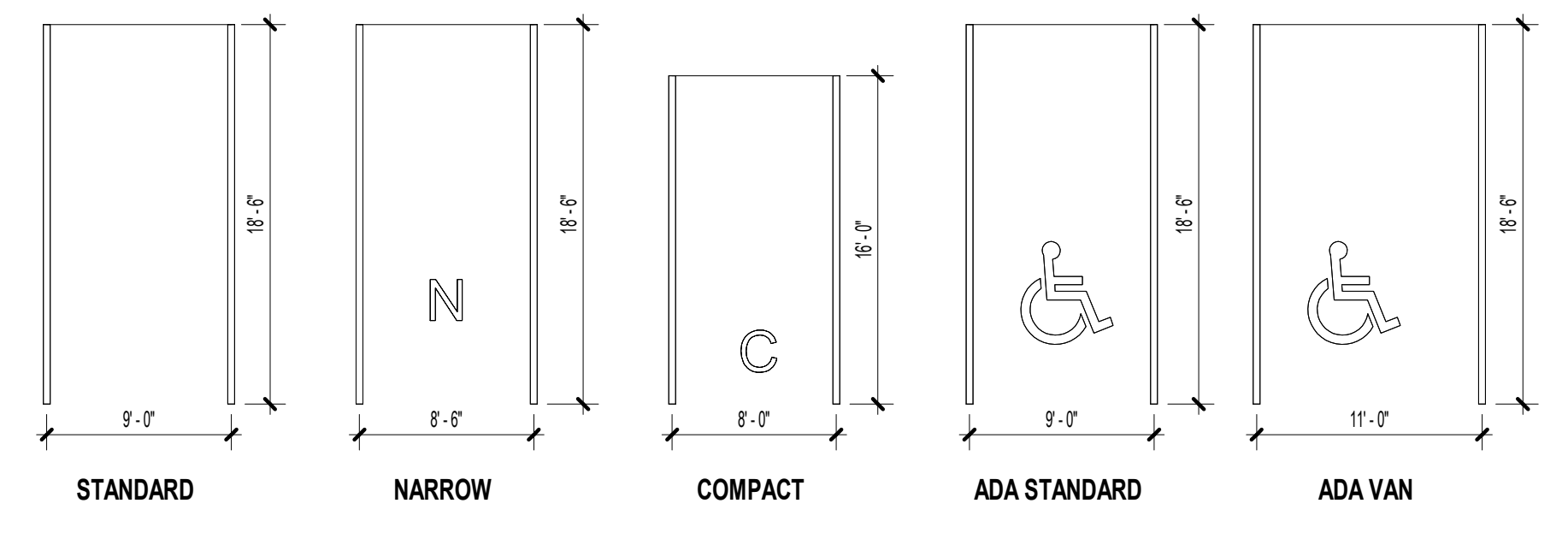
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|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

| PARKING SCHEDULE | |
|----------------------|------------|
| SPACE TYPE | COUNT |
| RESIDENTIAL | |
| ADA STANDARD | 17 |
| ADA VAN | 1 |
| COMPACT | 46 |
| NARROW | 37 |
| STANDARD | 617 |
| | 718 |
| RETAIL | |
| ADA STANDARD | 5 |
| ADA VAN | 1 |
| COMPACT | 22 |
| NARROW | 8 |
| STANDARD | 157 |
| | 193 |
| TOTAL SPACES: | 911 |

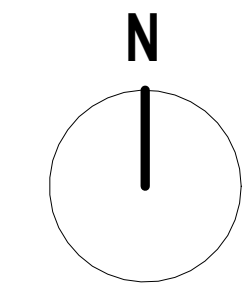
| BICYCLE PARKING SCHEDULE | |
|--------------------------|----------------------|
| REQUIRED: | PROVIDED: |
| CLASS 1: 233 SPACES | CLASS 1: 252 SPACES |
| CLASS 2/3: 16 SPACES | CLASS 2/3: 16 SPACES |
| CLASS 1: 2 SPACES | CLASS 1: 11 SPACES |
| CLASS 2: 10 SPACES | CLASS 2: 10 SPACES |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-01 CONCEPT PLAN - LEVEL 1
SCALE: 1" = 30'-0"



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 1

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

A2-01

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-01 - FLOOR PLAN - LEVEL 1
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:48 AM

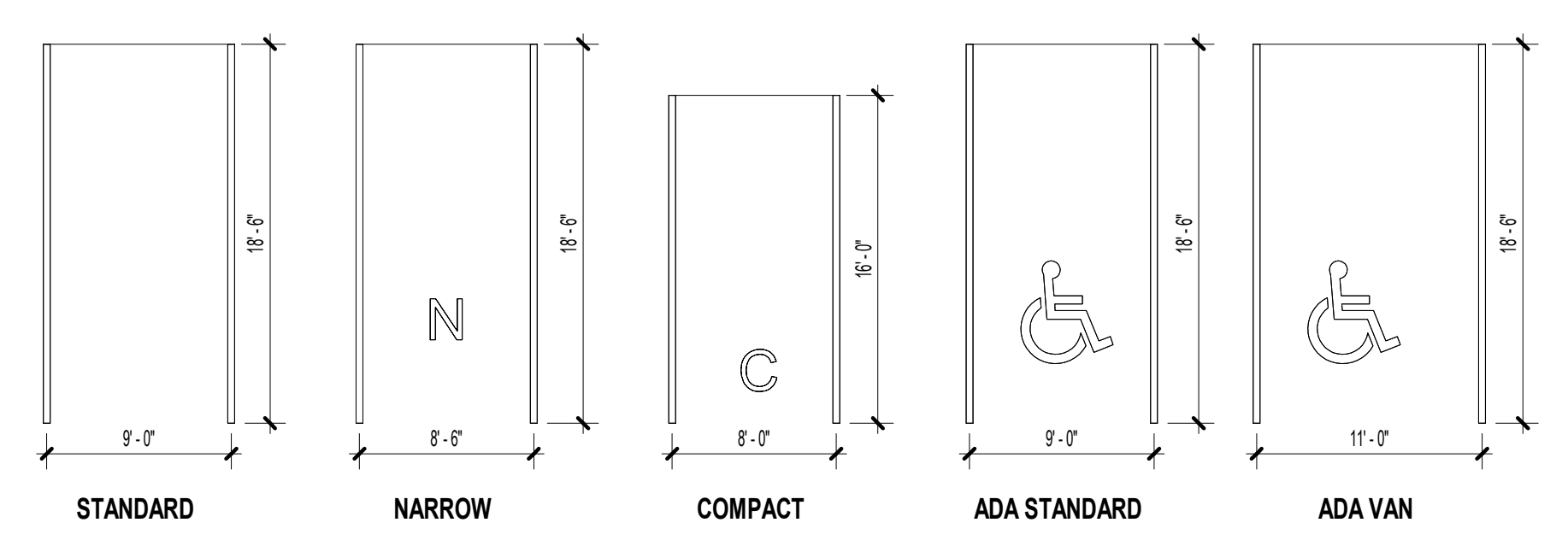


SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

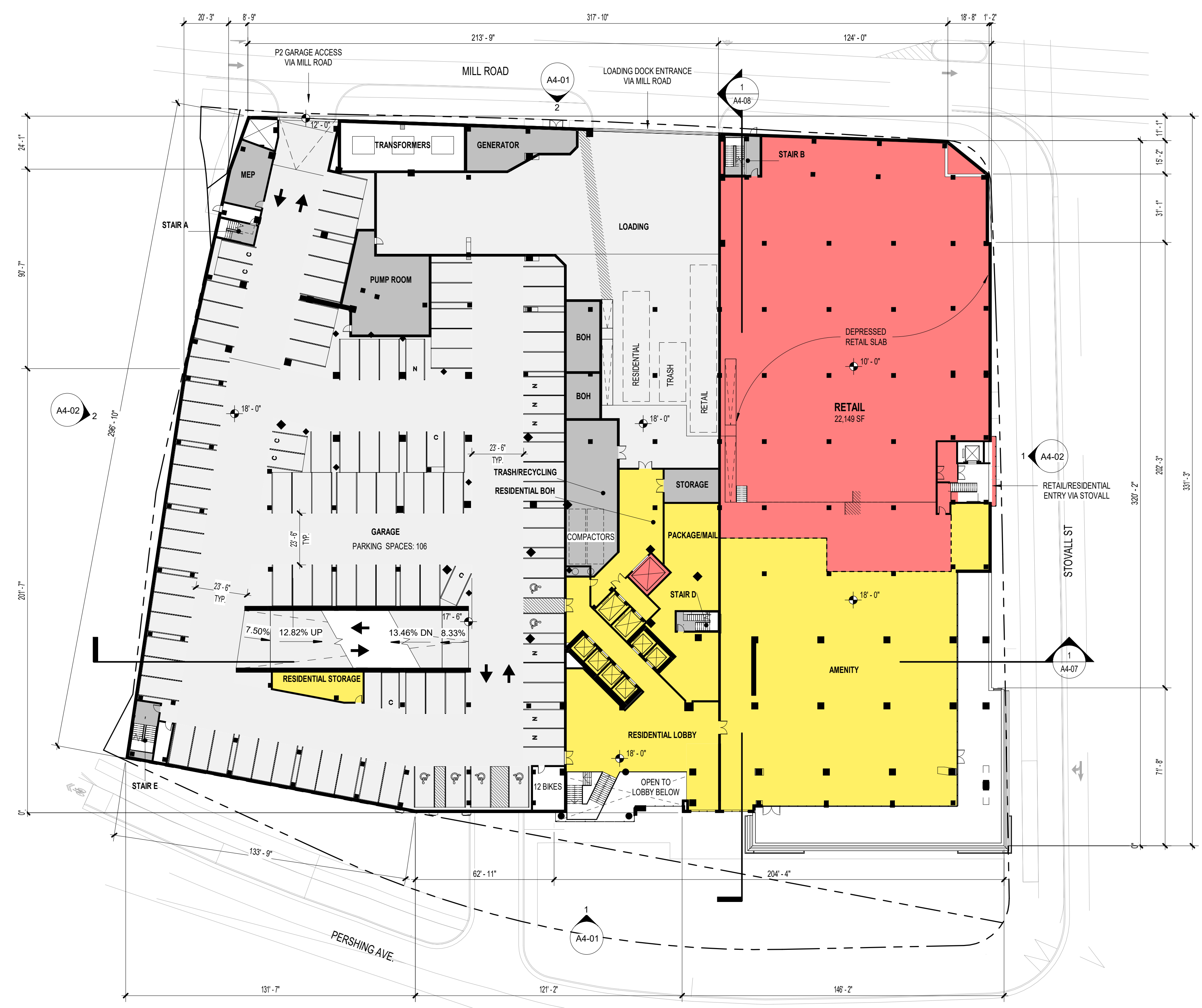
| PARKING SCHEDULE | |
|--------------------------|------------|
| SPACE TYPE | COUNT |
| RESIDENTIAL | |
| ADA STANDARD | 17 |
| ADA VAN | 1 |
| COMPACT | 46 |
| NARROW | 37 |
| STANDARD | 617 |
| | 718 |
| RETAIL | |
| ADA STANDARD | 5 |
| ADA VAN | 1 |
| COMPACT | 22 |
| NARROW | 8 |
| STANDARD | 157 |
| | 193 |
| TOTAL SPACES: 911 | |



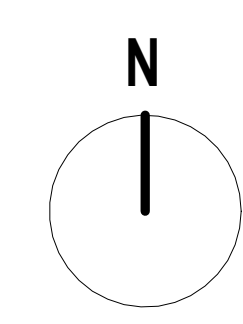
| BICYCLE PARKING SCHEDULE | |
|--------------------------|----------------------|
| REQUIRED: | PROVIDED: |
| CLASS 1: 233 SPACES | CLASS 1: 252 SPACES |
| CLASS 2/3: 16 SPACES | CLASS 2/3: 16 SPACES |
| CLASS 1: 2 SPACES | CLASS 1: 11 SPACES |
| CLASS 2: 10 SPACES | CLASS 2: 10 SPACES |

USE TYPE LEGEND

- AMENITY (Orange)
- BOH (Grey)
- PARKING (Light Grey)
- RESIDENTIAL (Yellow)
- RETAIL (Red)



1
A2-02 CONCEPT PLAN - LEVEL 2
SCALE: 1" = 30'-0"



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 2

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

A2-02

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-02 - FLOOR PLAN - LEVEL 2
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:52 AM



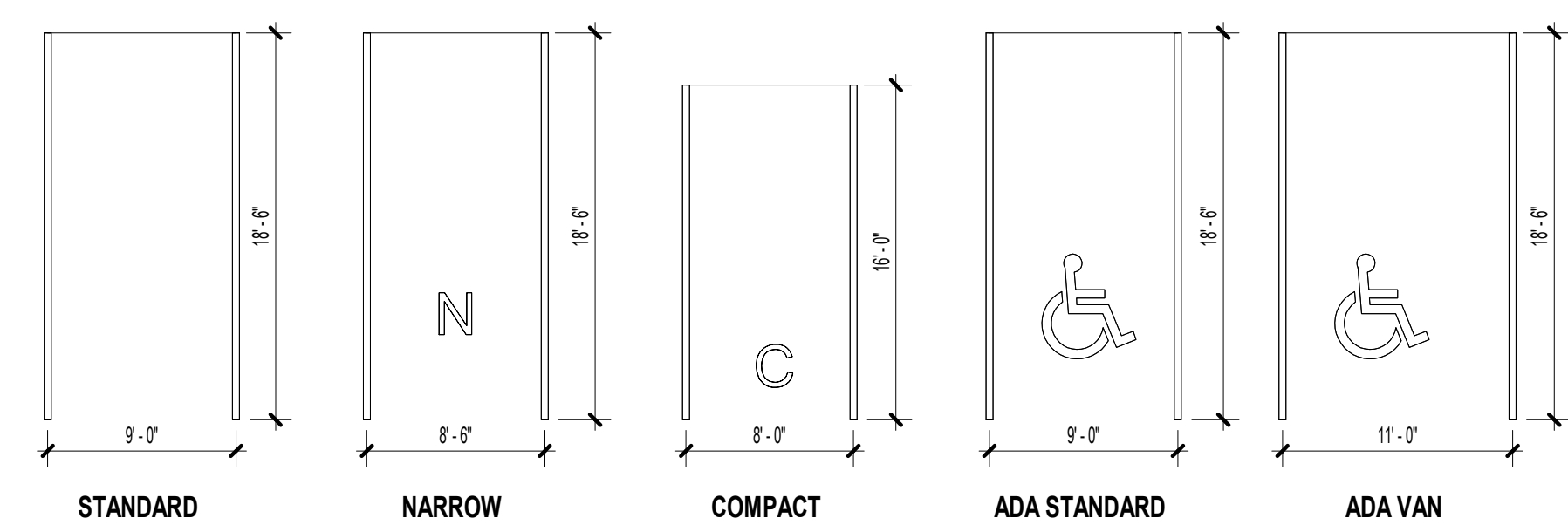
SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

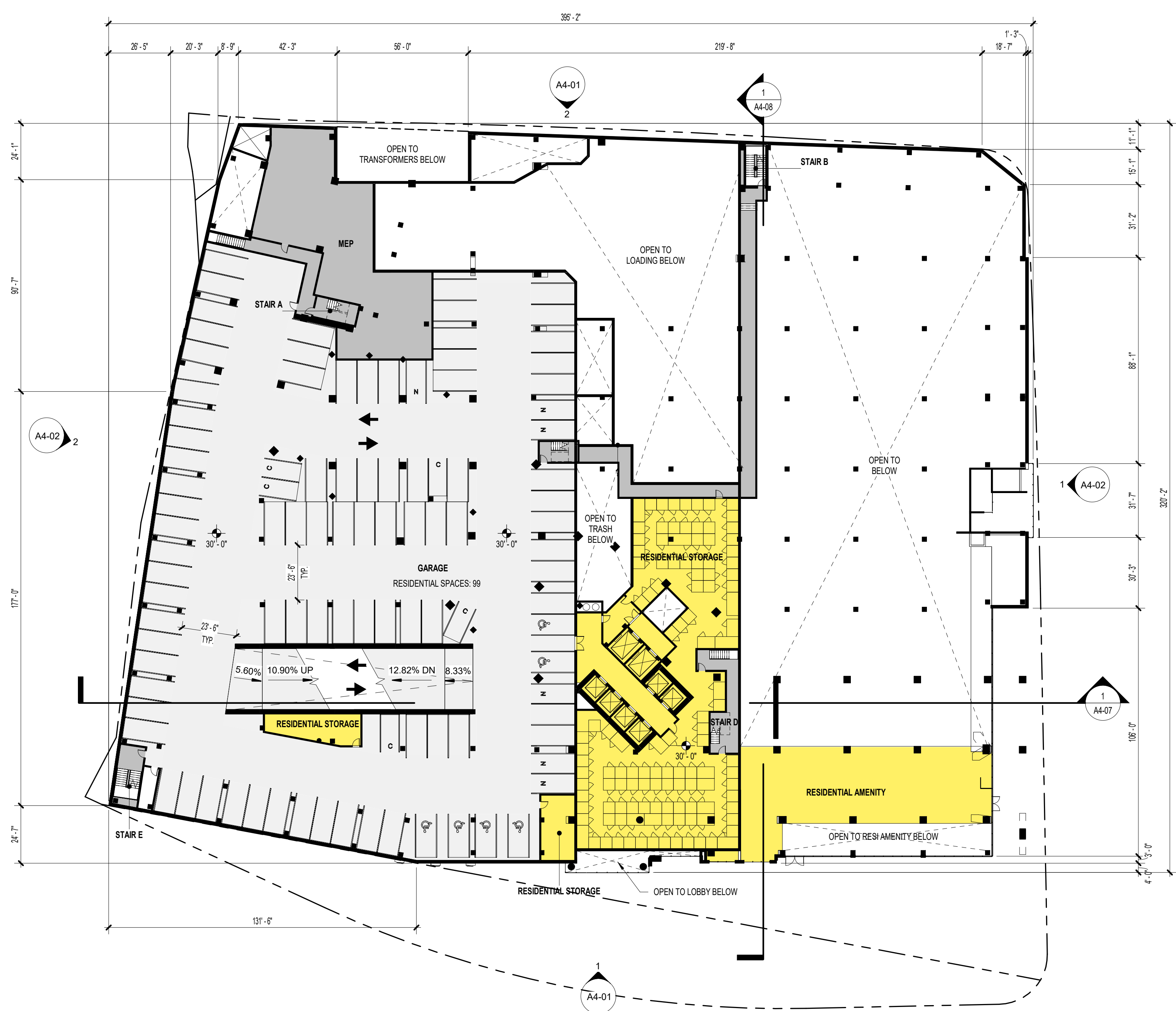
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|-----|---------------------------|------------|
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

| PARKING SCHEDULE | |
|--------------------------|------------|
| SPACE TYPE | COUNT |
| RESIDENTIAL | |
| ADA STANDARD | 17 |
| ADA VAN | 1 |
| COMPACT | 46 |
| NARROW | 37 |
| STANDARD | 617 |
| | 718 |
| RETAIL | |
| ADA STANDARD | 5 |
| ADA VAN | 1 |
| COMPACT | 22 |
| NARROW | 8 |
| STANDARD | 157 |
| | 193 |
| TOTAL SPACES: 911 | |

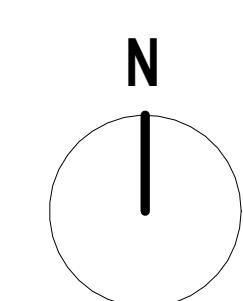


| BICYCLE PARKING SCHEDULE | |
|--------------------------|----------------------|
| REQUIRED: | PROVIDED: |
| CLASS 1: 233 SPACES | CLASS 1: 252 SPACES |
| CLASS 2/3: 16 SPACES | CLASS 2/3: 16 SPACES |
| CLASS 1: 2 SPACES | CLASS 1: 11 SPACES |
| CLASS 2: 10 SPACES | CLASS 2: 10 SPACES |

| USE TYPE LEGEND | |
|--|-------------|
| ■ | AMENITY |
| ■ | BOH |
| ■ | PARKING |
| ■ | RESIDENTIAL |
| ■ | RETAIL |



1
A2-03 CONCEPT PLAN - LEVEL 3
SCALE: 1" = 30'-0"



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 3

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

A2-03

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-03 - FLOOR PLAN - LEVEL 3
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:54 AM



SCOPE DOCUMENTS

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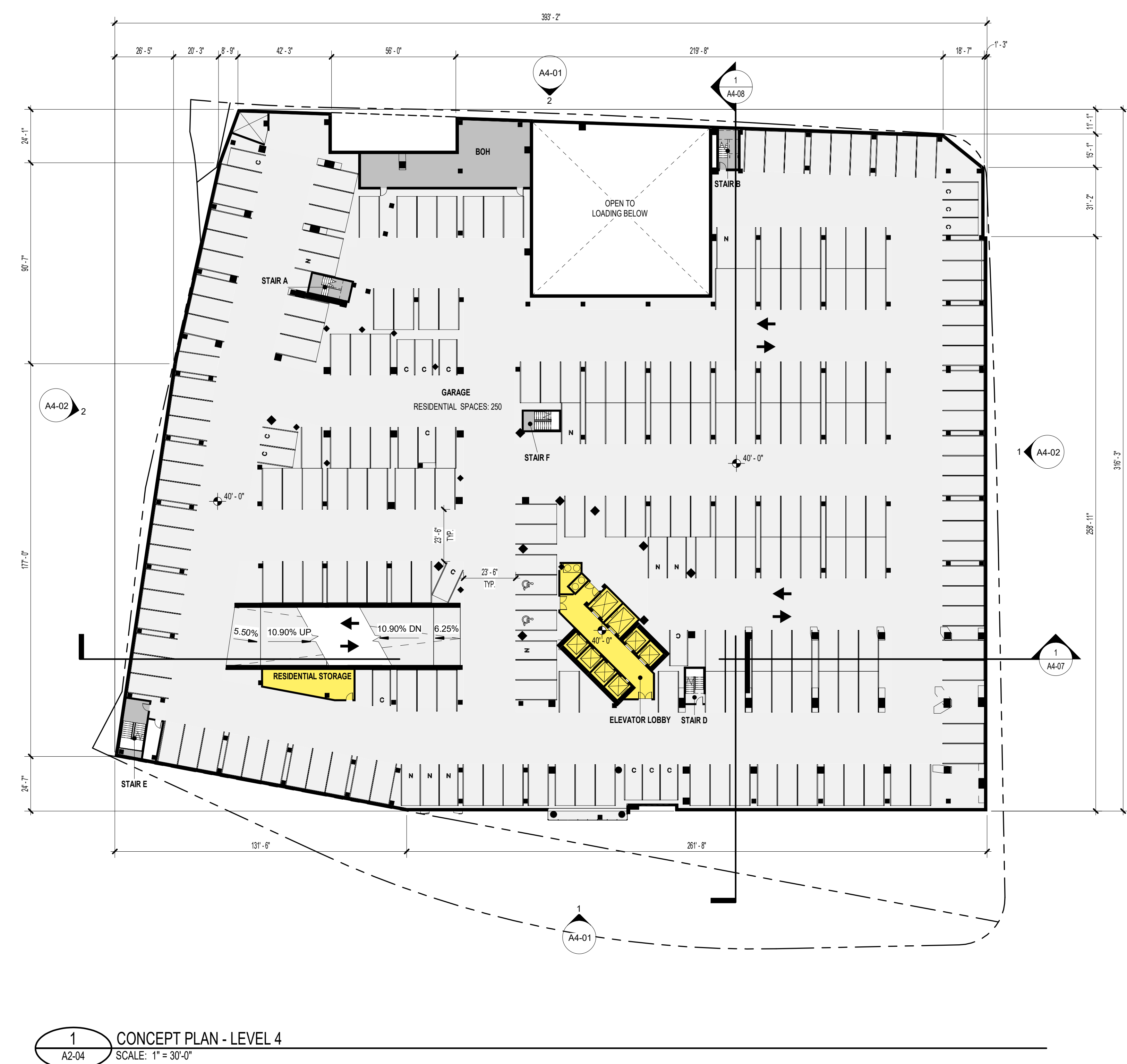
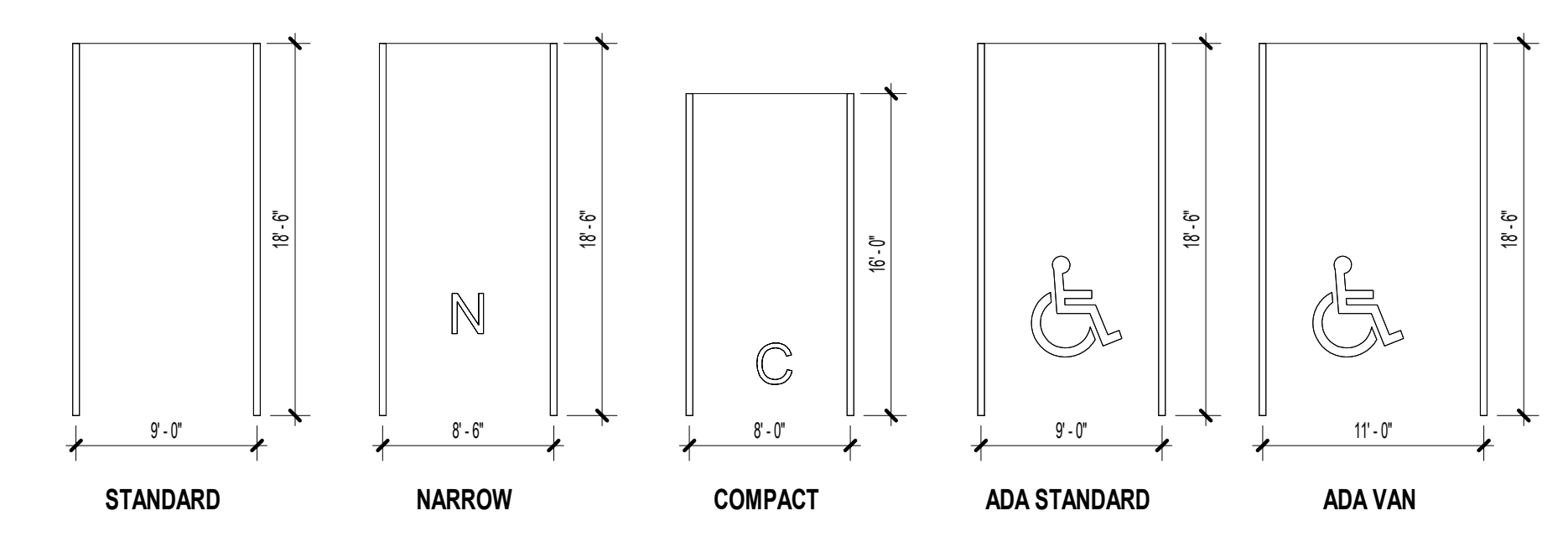
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|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
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| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

| PARKING SCHEDULE | |
|----------------------|------------|
| SPACE TYPE | COUNT |
| RESIDENTIAL | |
| ADA STANDARD | 17 |
| ADA VAN | 1 |
| COMPACT | 46 |
| NARROW | 37 |
| STANDARD | 617 |
| | 718 |
| RETAIL | |
| ADA STANDARD | 5 |
| ADA VAN | 1 |
| COMPACT | 22 |
| NARROW | 8 |
| STANDARD | 157 |
| | 193 |
| TOTAL SPACES: | 911 |

| BICYCLE PARKING SCHEDULE | |
|--------------------------|----------------------|
| REQUIRED: | PROVIDED: |
| CLASS 1: 233 SPACES | CLASS 1: 252 SPACES |
| CLASS 2/3: 16 SPACES | CLASS 2/3: 16 SPACES |
| CLASS 1: 2 SPACES | CLASS 1: 11 SPACES |
| CLASS 2: 10 SPACES | CLASS 2: 10 SPACES |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-04 CONCEPT PLAN - LEVEL 4
SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 4

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

A2-04

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-04 - FLOOR PLAN - LEVEL 4
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:31:57 AM



SCOPE DOCUMENTS

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| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 5

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

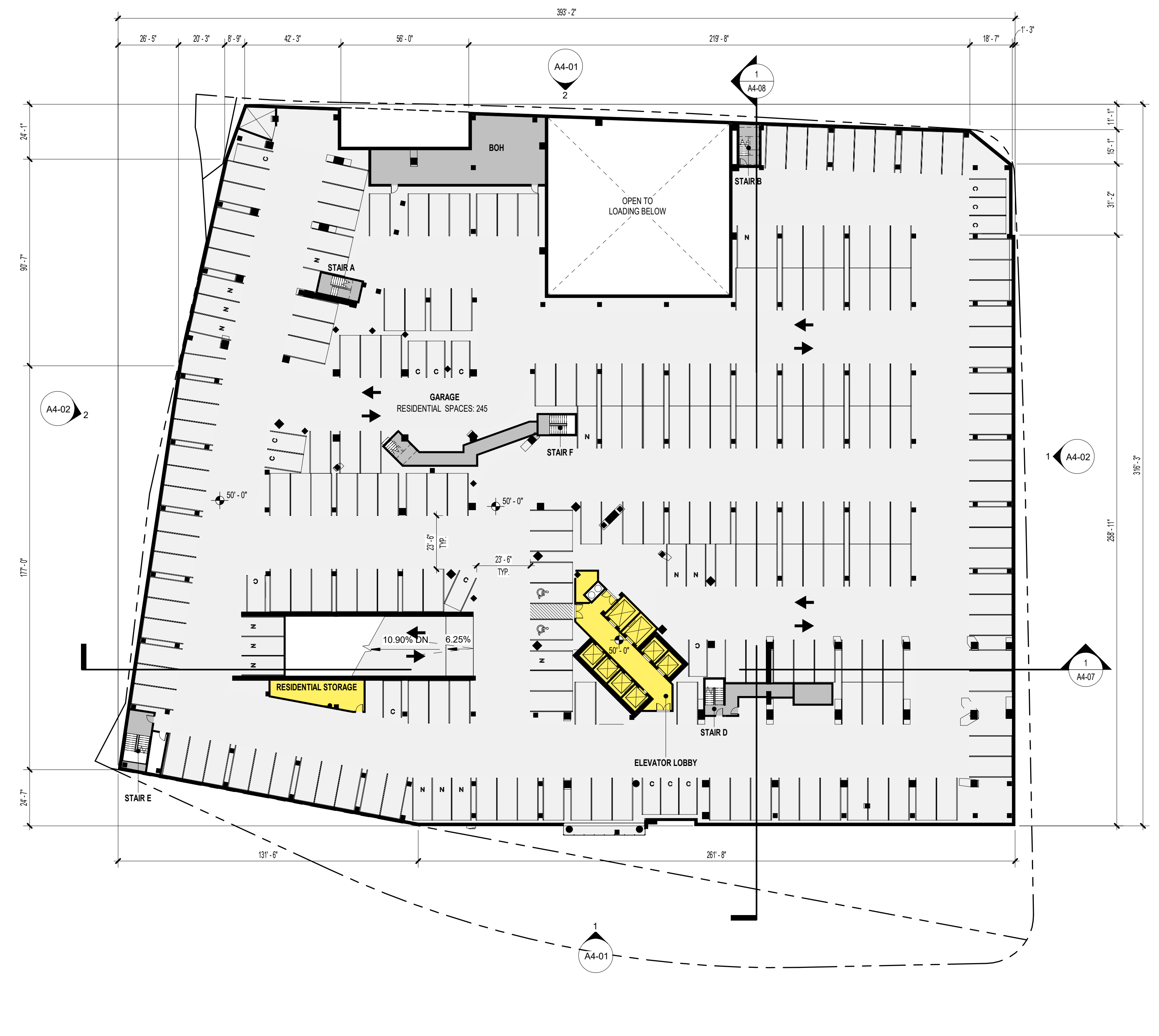
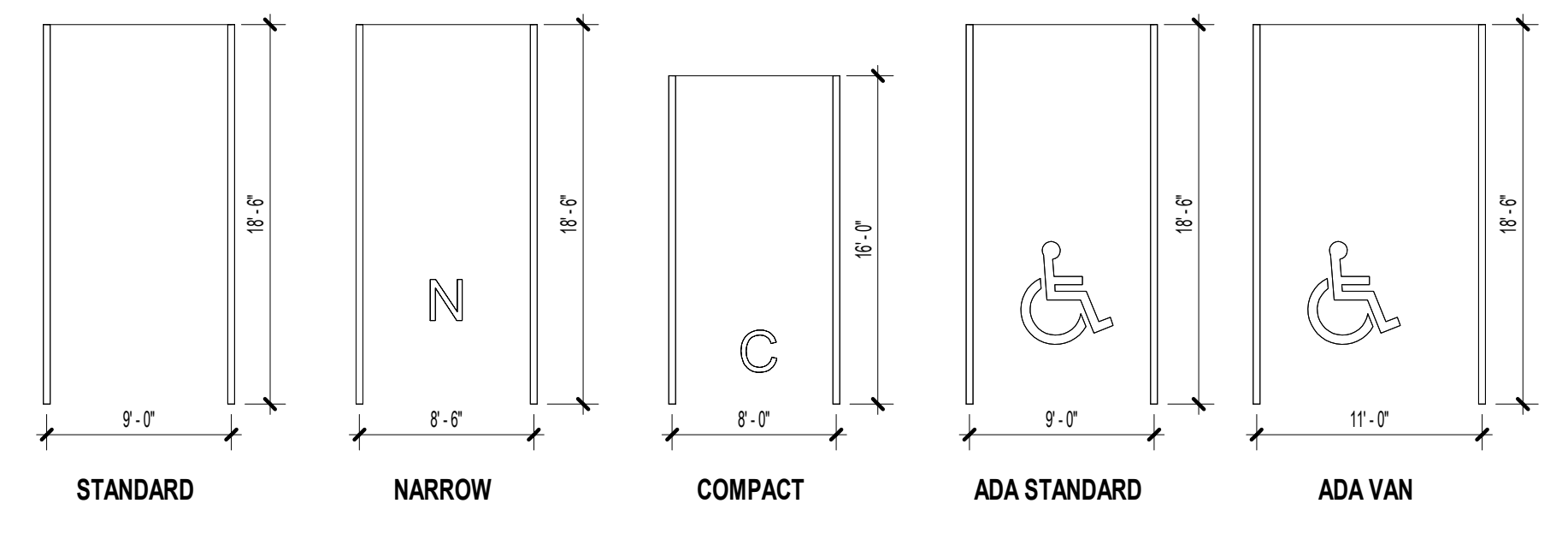
A2-05

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL

| BICYCLE PARKING SCHEDULE | |
|--------------------------|----------------------|
| REQUIRED: | PROVIDED: |
| CLASS 1: 233 SPACES | CLASS 1: 252 SPACES |
| CLASS 2/3: 16 SPACES | CLASS 2/3: 16 SPACES |
| CLASS 1: 2 SPACES | CLASS 1: 11 SPACES |
| CLASS 2: 10 SPACES | CLASS 2: 10 SPACES |

| PARKING SCHEDULE | |
|----------------------|------------|
| SPACE TYPE | COUNT |
| RESIDENTIAL | |
| ADA STANDARD | 17 |
| ADA VAN | 1 |
| COMPACT | 46 |
| NARROW | 37 |
| STANDARD | 617 |
| | 718 |
| RETAIL | |
| ADA STANDARD | 5 |
| ADA VAN | 1 |
| COMPACT | 22 |
| NARROW | 8 |
| STANDARD | 157 |
| | 193 |
| TOTAL SPACES: | 911 |



1 CONCEPT PLAN - LEVEL 5
A2-05 SCALE: 1" = 30'-0"

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-05 - FLOOR PLAN - LEVEL 5
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:00 AM



SCOPE DOCUMENTS

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ISSUANCES

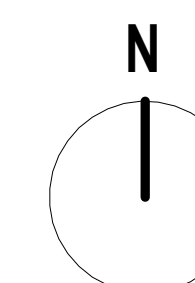
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|-----|---------------------------|------------|
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-06 CONCEPT PLAN - LEVEL 6 (TOP OF PODIUM)
SCALE: 1" = 30'-0"



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 6 (TOP OF PODIUM)

| | |
|---------------------|-------------|
| STEVE SMITH | 20230384 |
| Principal-in-Charge | Project No. |
| ALYSHA BUCK | 03/07/25 |
| Project Manager | Date |
| MATT GUELCHER | |
| Project Architect | |
| SAM GUENNIN | |
| Staff Architect | |

A2-06



SCOPE DOCUMENTS

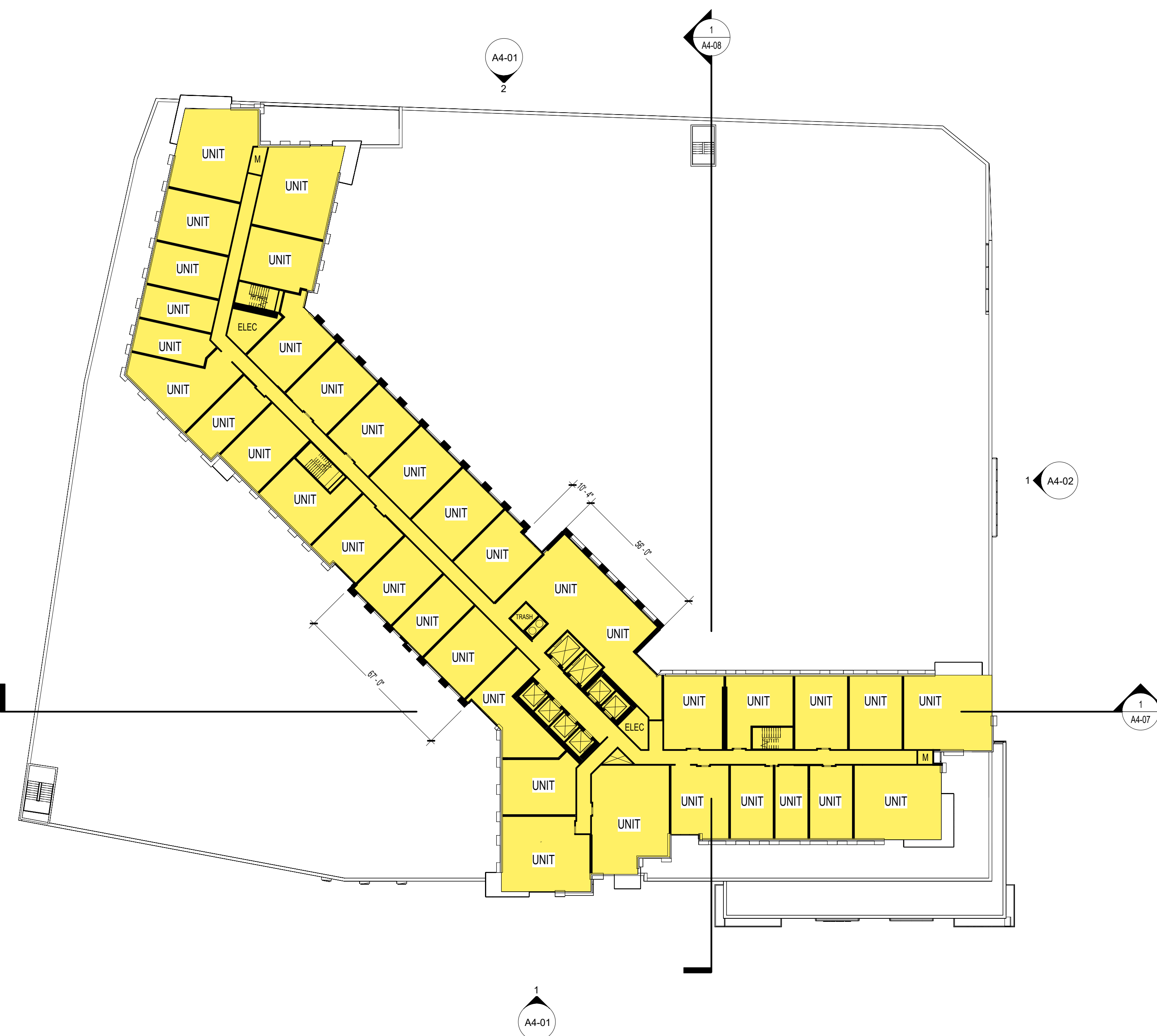
The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-07 CONCEPT PLAN - LEVEL 8 (TYPICAL RESIDENTIAL)
SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 8
(TYPICAL RESIDENTIAL)

STEVE SMITH 20230384
Principal/In-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENIN
Staff Architect

A2-07



SCOPE DOCUMENTS

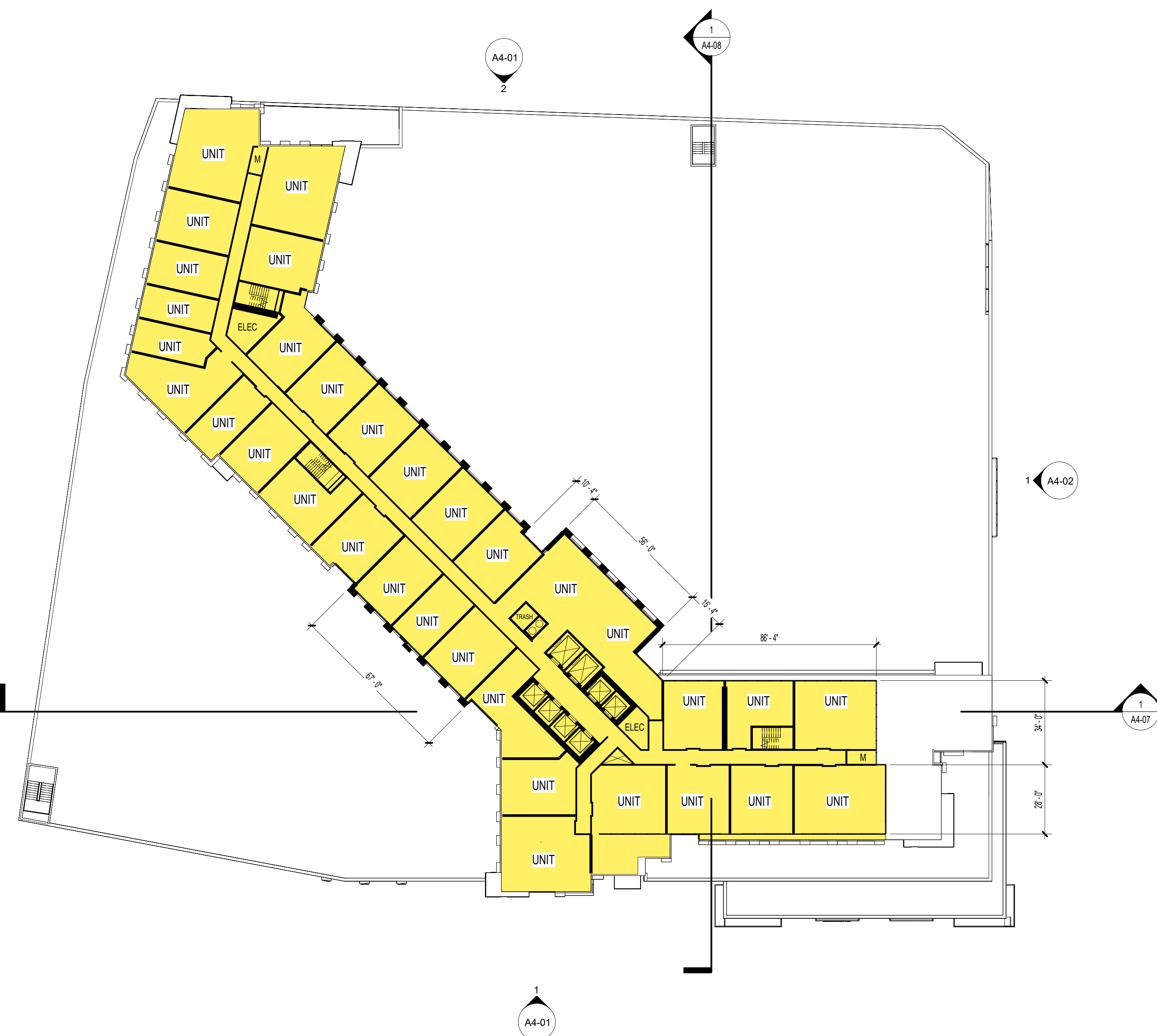
The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-08 CONCEPT PLAN - LEVEL 16 (EAST STEP BACK)
SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 16
(EAST STEP BACK)

STEVE SMITH 20230384
Principal/In-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENIN
Staff Architect

A2-08



SCOPE DOCUMENTS

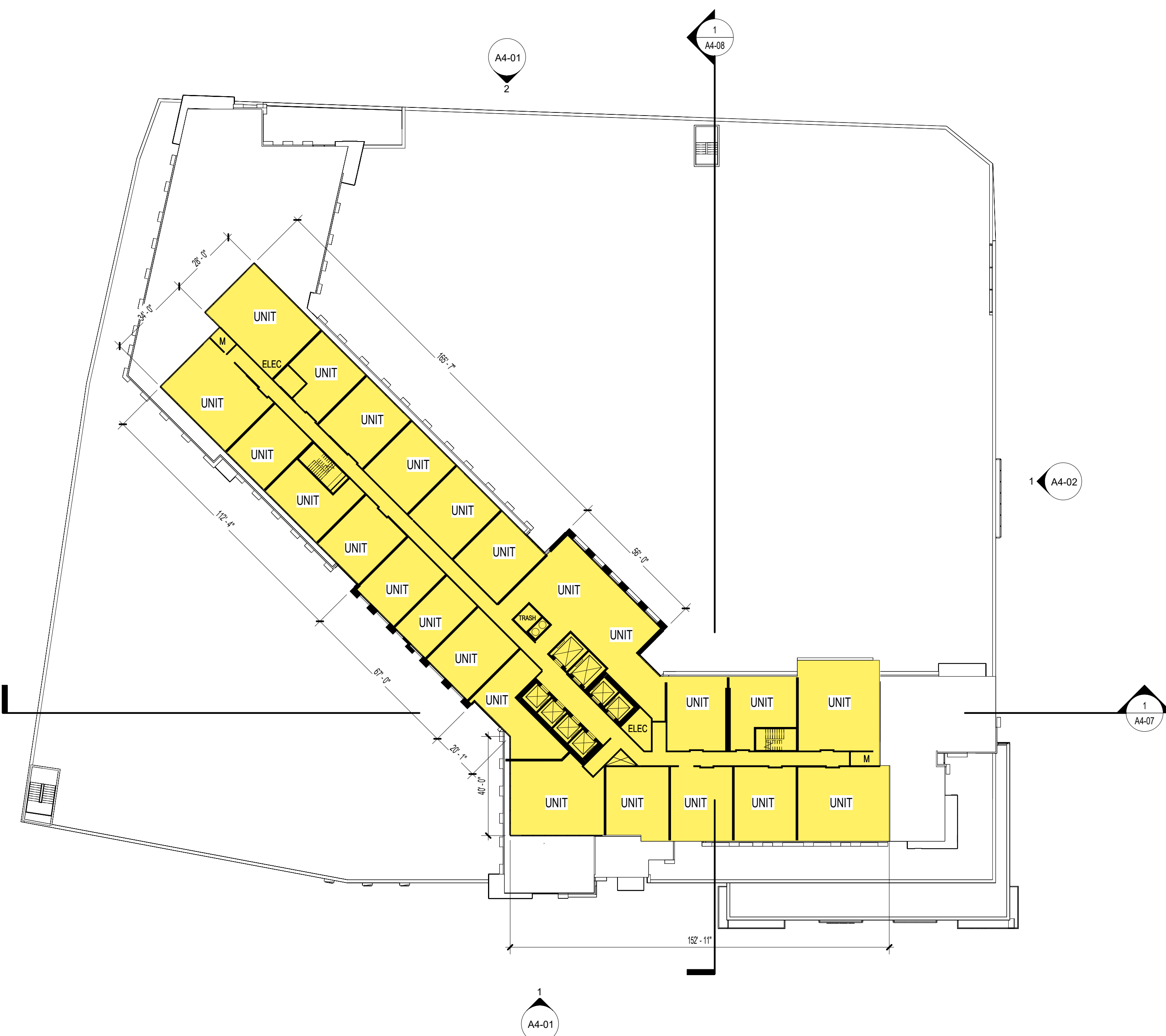
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ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-09 CONCEPT PLAN - LEVEL 19 (NORTHWEST STEP BACK)
SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

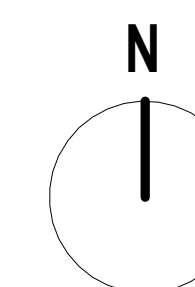
MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 19
(NORTHWEST STEP BACK)

STEVE SMITH 20230384
Principal/In-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENIN
Staff Architect

A2-09





SCOPE DOCUMENTS

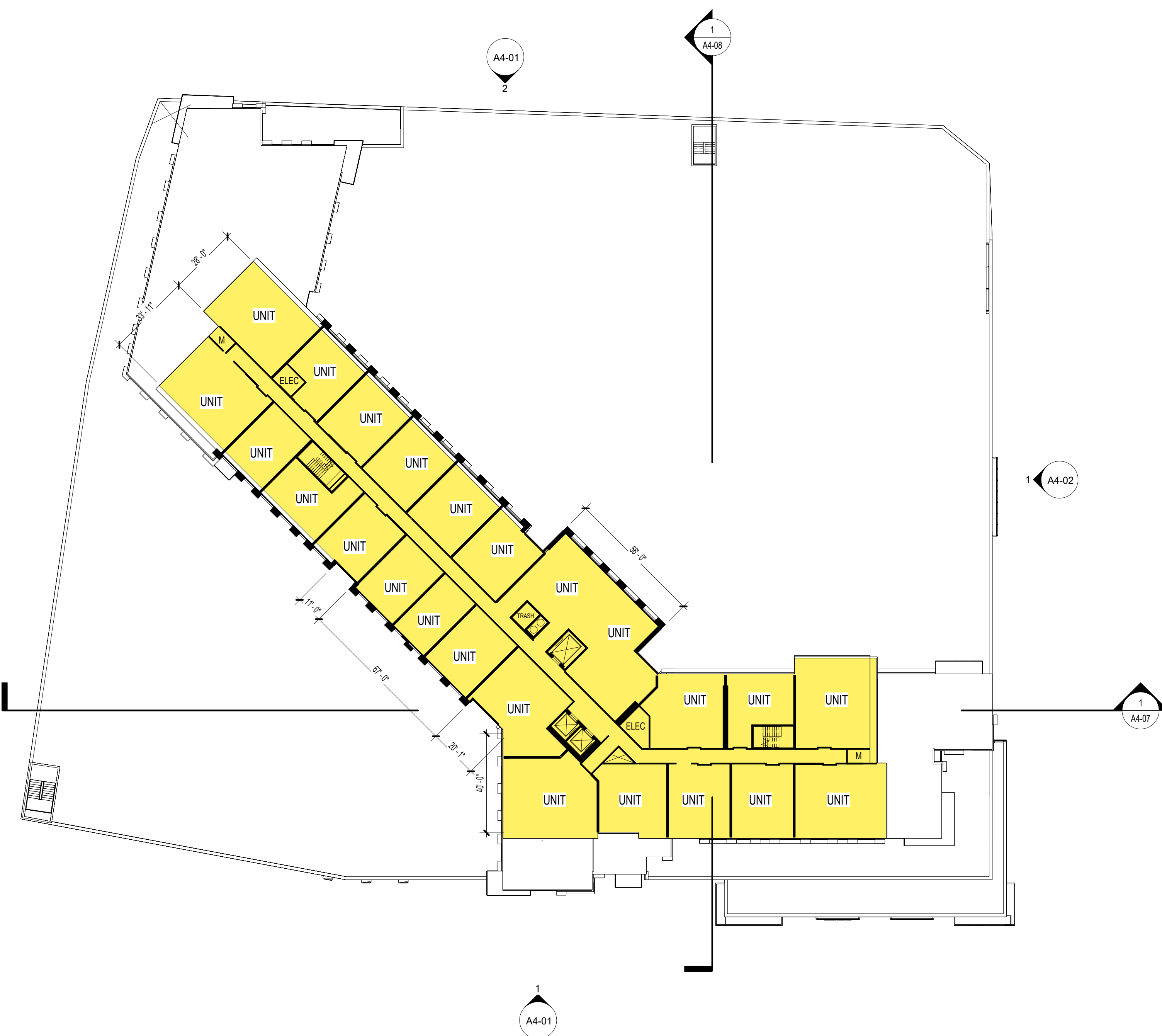
The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-10 CONCEPT PLAN - LEVEL 21 (TYPICAL PH RESIDENTIAL)
SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

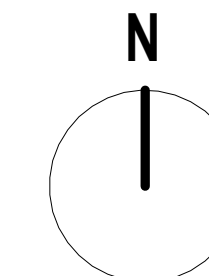
MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

FLOOR PLAN - LEVEL 21 (TYP.
RESIDENTIAL PH UNITS)

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal in Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENIN Staff Architect | |

A2-10



PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-10 - FLOOR PLAN - LEVEL 21 (TYP. RESIDENTIAL PH UNITS)
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:18 AM



SCOPE DOCUMENTS

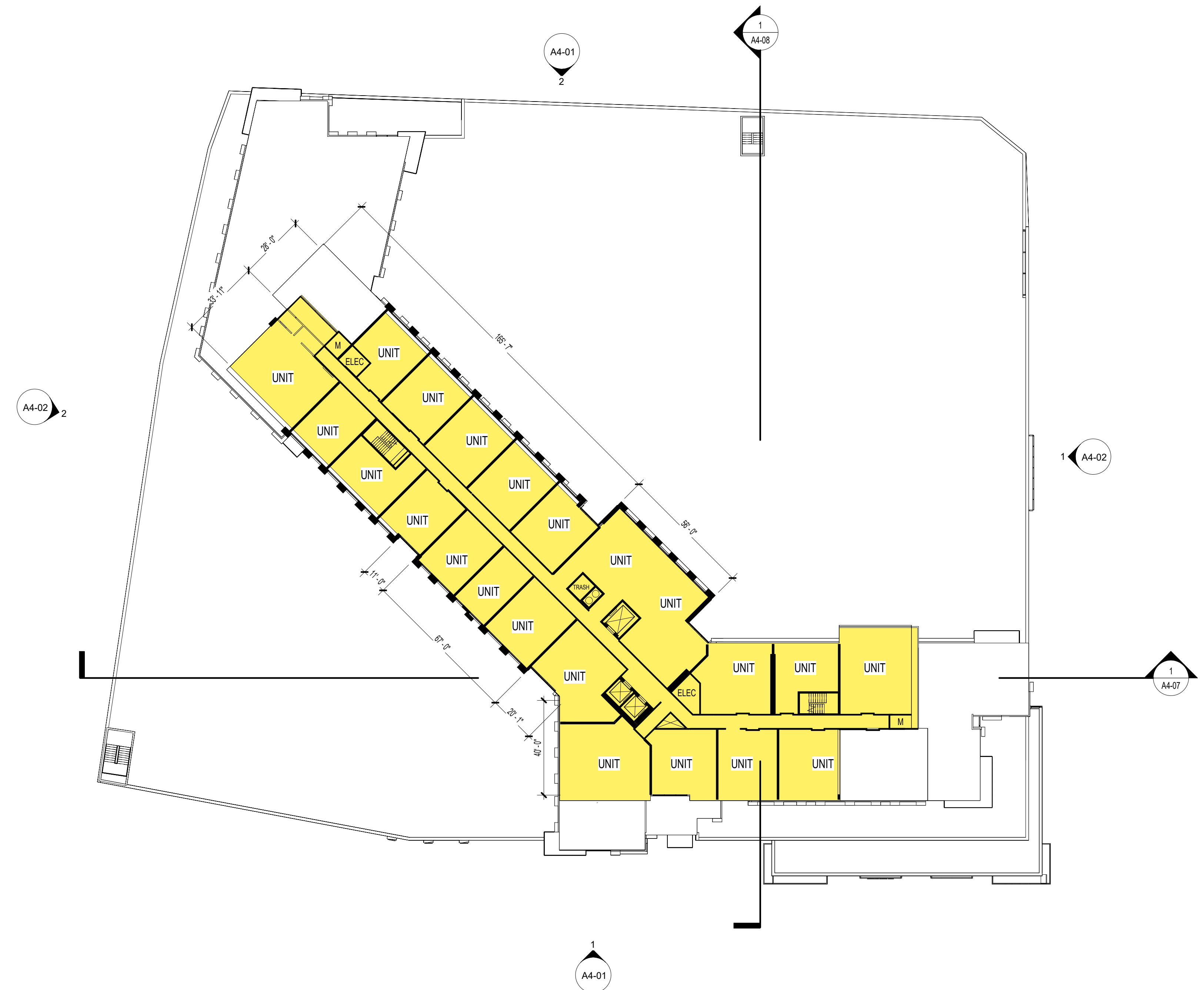
The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

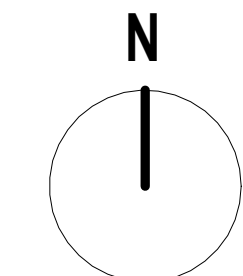
| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

USE TYPE LEGEND

- AMENITY
- BOH
- PARKING
- RESIDENTIAL
- RETAIL



1
A2-11 CONCEPT PLAN - LEVEL 29 (SOUTHEAST STEP BACK)
SCALE: 1" = 30'-0"



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

**FLOOR PLAN - LEVEL 29
(SOUTHEAST STEP BACK)**

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal in Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENIN Staff Architect | |

A2-11

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A2-11 - FLOOR PLAN - LEVEL 29 (SOUTHEAST STEP BACK)
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:22 AM



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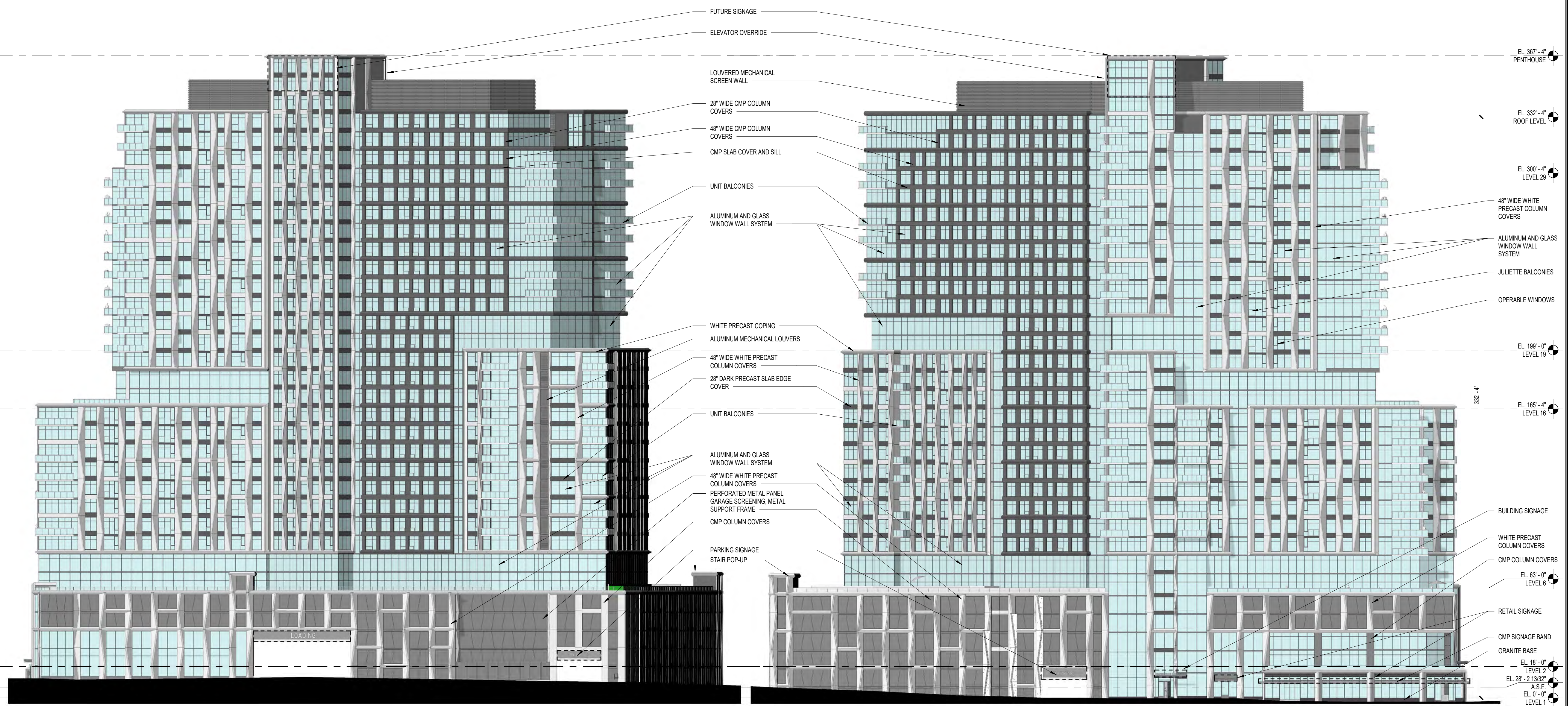
SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

NORTH ELEVATION WWR: 46.6%

SOUTH ELEVATION WWR: 54.7%



EL. 367' - 4" PENTHOUSE
EL. 332' - 4" ROOF LEVEL
EL. 300' - 4" LEVEL 29
48" WIDE WHITE PRECAST COLUMN COVERS
ALUMINUM AND GLASS WINDOW WALL SYSTEM
JULIETTE BALCONIES
OPERABLE WINDOWS
EL. 199' - 0" LEVEL 19
EL. 165' - 4" LEVEL 16
EL. 63' - 0" LEVEL 6
EL. 18' - 0" LEVEL 2
EL. 28' - 2 1/2" A.S.E.
EL. 0' - 0" LEVEL 1

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development
BUILDING ELEVATIONS

STEVE SMITH 20230384
Principal-in-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENNIN
Staff Architect

A4-01

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-01 - BUILDING ELEVATIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:31 AM

2 CONCEPT ELEVATION - NORTH
A4-01 SCALE: 1" = 30'-0"

1 CONCEPT ELEVATION - SOUTH
A4-01 SCALE: 1" = 30'-0"



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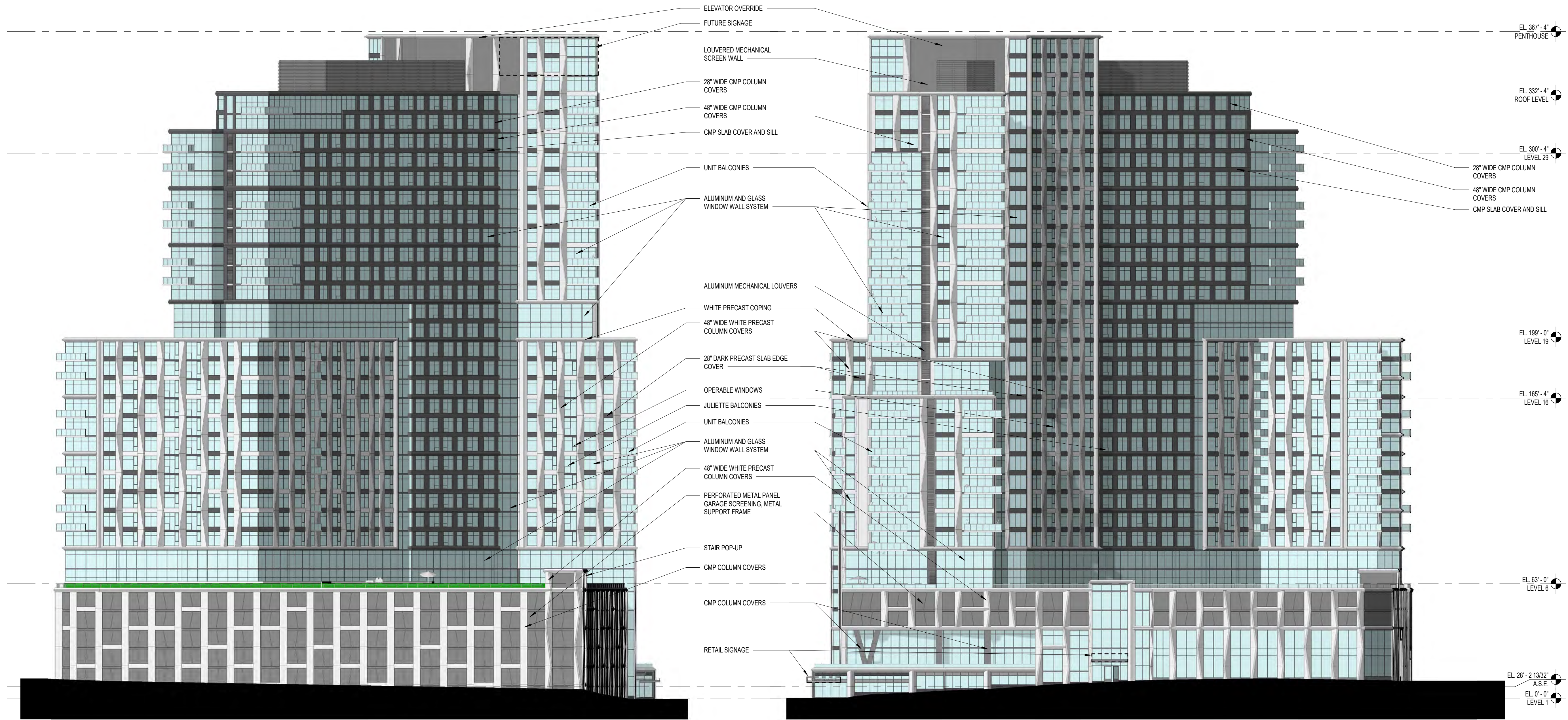
SCOPE DOCUMENTS

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| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

WEST ELEVATION WWR: 38.3%

WEST ELEVATION WWR: 57.4%



EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development
BUILDING ELEVATIONS

STEVE SMITH 20230384
Principal-in-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENNIN
Staff Architect

A4-02

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-02 - BUILDING ELEVATIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:37 AM

2 CONCEPT ELEVATION - WEST
A4-02 SCALE: 1" = 30'-0"

1 CONCEPT ELEVATION - EAST
A4-02 SCALE: 1" = 30'-0"



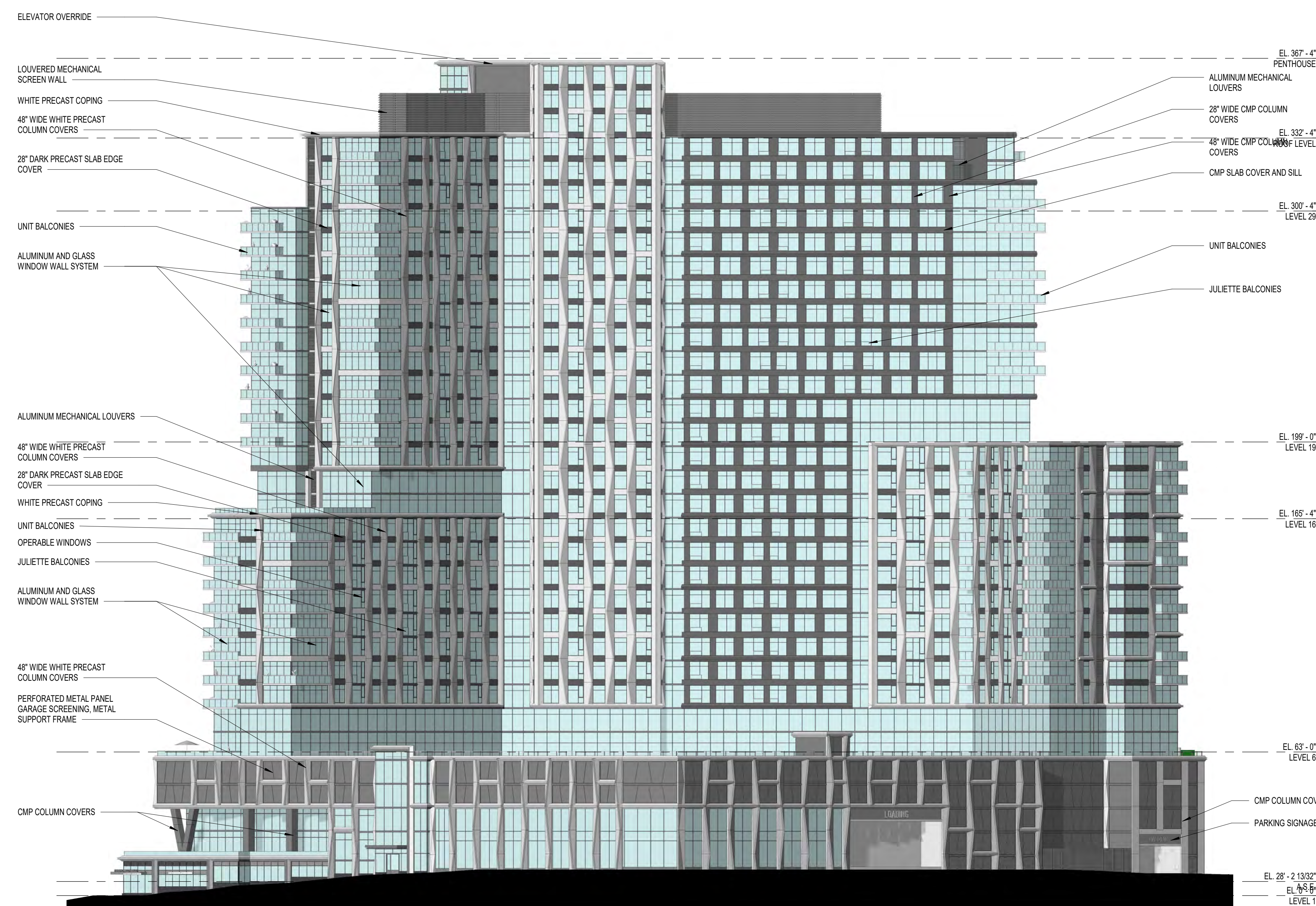
SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

NORTHEAST ELEVATION WWR: 56.3%



1 CONCEPT ELEVATION - NORTHEAST
A4-03 SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

BUILDING ELEVATIONS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENIN Staff Architect | |

A4-03

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-03 - BUILDING ELEVATIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:40 AM



SCOPE DOCUMENTS

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| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 2 SUBMISSION | 03.07.2025 |
| | DRB CONCEPT REVIEW | 03.21.2025 |

SOUTHWEST ELEVATION WWR: 64.2%



1 CONCEPT ELEVATION - SOUTHWEST
A4-04 SCALE: 1" = 30'-0"

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-04 - BUILDING ELEVATIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:45 AM

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development
BUILDING ELEVATIONS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

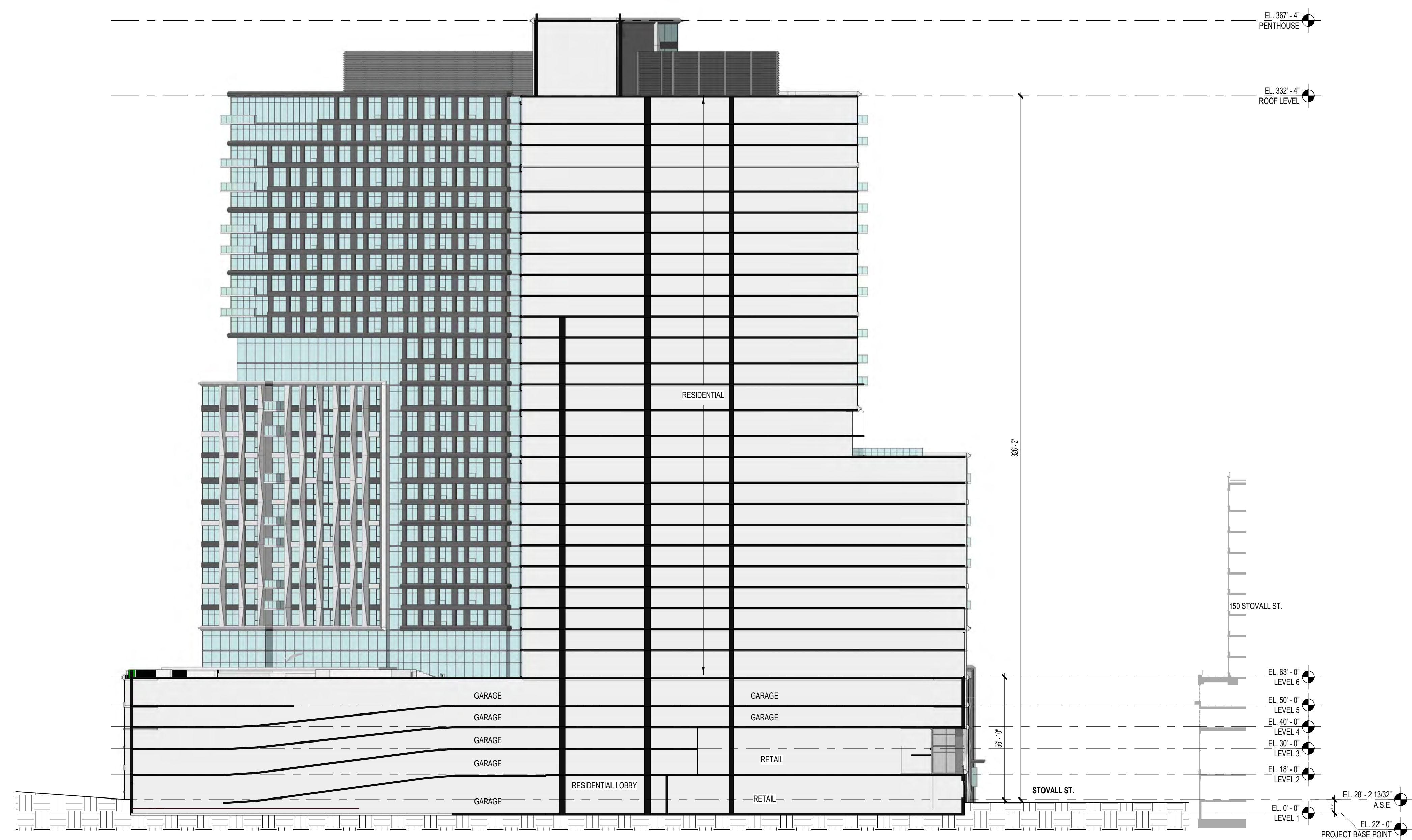
A4-04



SCOPE DOCUMENTS

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| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1 SUBMISSION | 08.02.2024 |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | DRB CONCEPT REVIEW | 03.21.2025 |



1 BUILDING SECTION - EAST/WEST
A4-07 SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

BUILDING SECTIONS

STEVE SMITH 20230384
Principal-in-Charge Project No.
ALYSHA BUCK 03/07/25
Project Manager Date
MATT GUELCHER
Project Architect
SAM GUENN
Staff Architect

A4-07

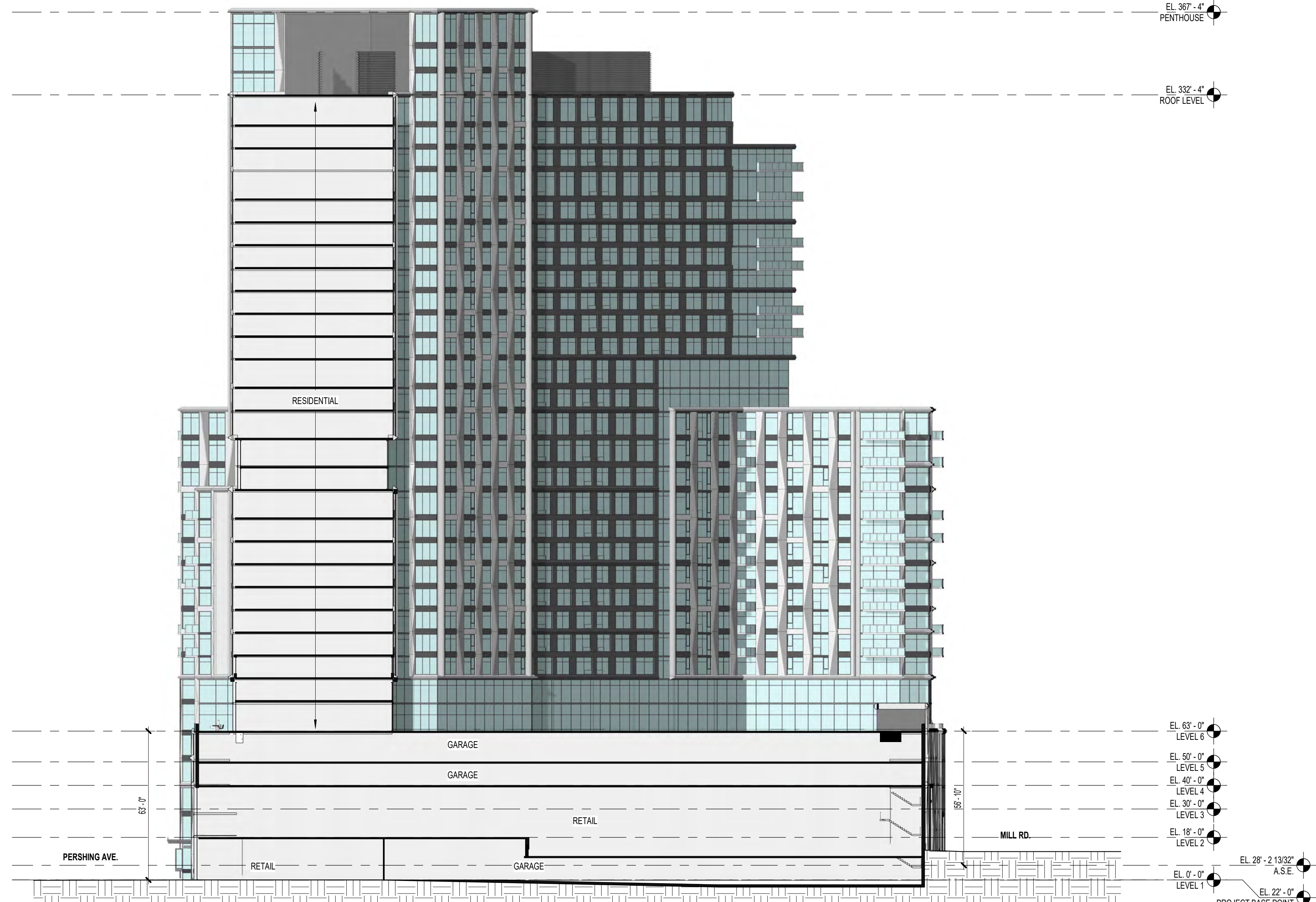
PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-07 - BUILDING SECTIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:32:56 AM



SCOPE DOCUMENTS

The Contract Documents Issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Assurance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

| ISSUANCES | | |
|-----------|---------------------------|------------|
| No. | Drawing Issue Description | Date |
| | CONCEPT 1A SUBMISSION | 10.09.2024 |
| | DRB CONCEPT REVIEW | 03.21.2025 |



1 BUILDING SECTION - NORTH/SOUTH
A4-08 SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

BUILDING SECTIONS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENN Staff Architect | |

A4-08

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-08 - BUILDING SECTIONS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:33:05 AM



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SCOPE DOCUMENTS

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ISSUANCES

| No. | Drawing Issue Description | Date |
|----------------------|---------------------------|------------|
| CONCEPT 2 SUBMISSION | | 03.07.2025 |
| DRB CONCEPT REVIEW | | 03.21.2025 |



2 SW ISOMETRIC
A4-10 SCALE: 1" = 30'-0"

1 NE ISOMETRIC
A4-10 SCALE: 1" = 30'-0"

EISENHOWER BLOCK THREE

MILL RD, STOVALL ST, PERSHING AVE
ALEXANDRIA, VA 22314

Red Fox Development

AXONOMETRIC VIEWS

| | |
|------------------------------------|-------------------------|
| STEVE SMITH Principal-in-Charge | 20230384 Project No. |
| ALYSHA BUCK Project Manager | 03/07/25 Date |
| MATT GUELCHER Project Architect | |
| SAM GUENNIN Staff Architect | |

A4-10

PROJECT NUMBER: 20230384 PROJECT NAME: EISENHOWER BLOCK THREE
SHEET NUMBER: A4-10 - AXONOMETRIC VIEWS
Autodesk Docs://20230384 Eisenhower Block Three/20230384_v23_eisenhower_arch.rvt
3/21/2025 10:33:12 AM