

# CARR CITY CENTERS - 1201 North Royal Street

Alexandria, VA  
UDAC Submission:  
September 18, 2018



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CARR  
CITY CENTERS

SK+I  
ARCHITECTURE

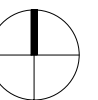
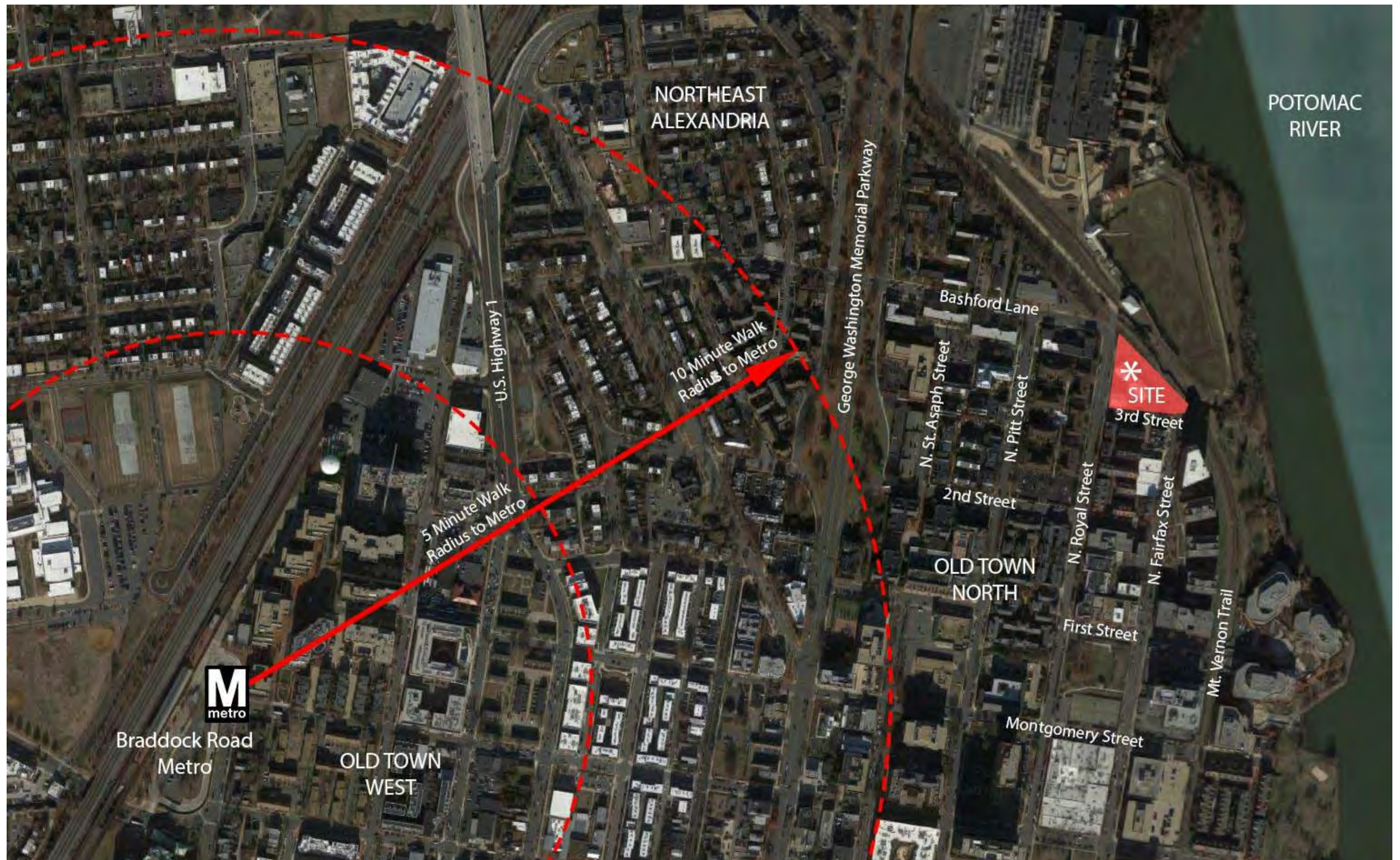
ILLUSTRATIVE - FOR CONCEPTUAL PURPOSES ONLY

1201 North Royal Street | Alexandria, VA

Cover

September 18, 2018 | A.00













REVISIONS

SPECIAL USE PERMIT	07.26.2018
SPECIAL USE PERMIT	09.10.2018


Overall  
Illustrative  
Landscape  
Plan

ORIGINAL ISSUE DATE  
07.26.2018

DESIGNED BY  
TR

DRAWN BY  
NC

CHECKED BY  
SL / TR

NORTH



SCALE  
1"=20'



L1.00



LANDSCAPE ARCHITECTURE DRAWINGS

- L1.00 OVERALL ILLUSTRATIVE LANDSCAPE PLAN
- L1.01 LANDSCAPE PLAN
- L1.10 HARDSCAPE DETAILS
- L2.10 PLANTING DETAILS

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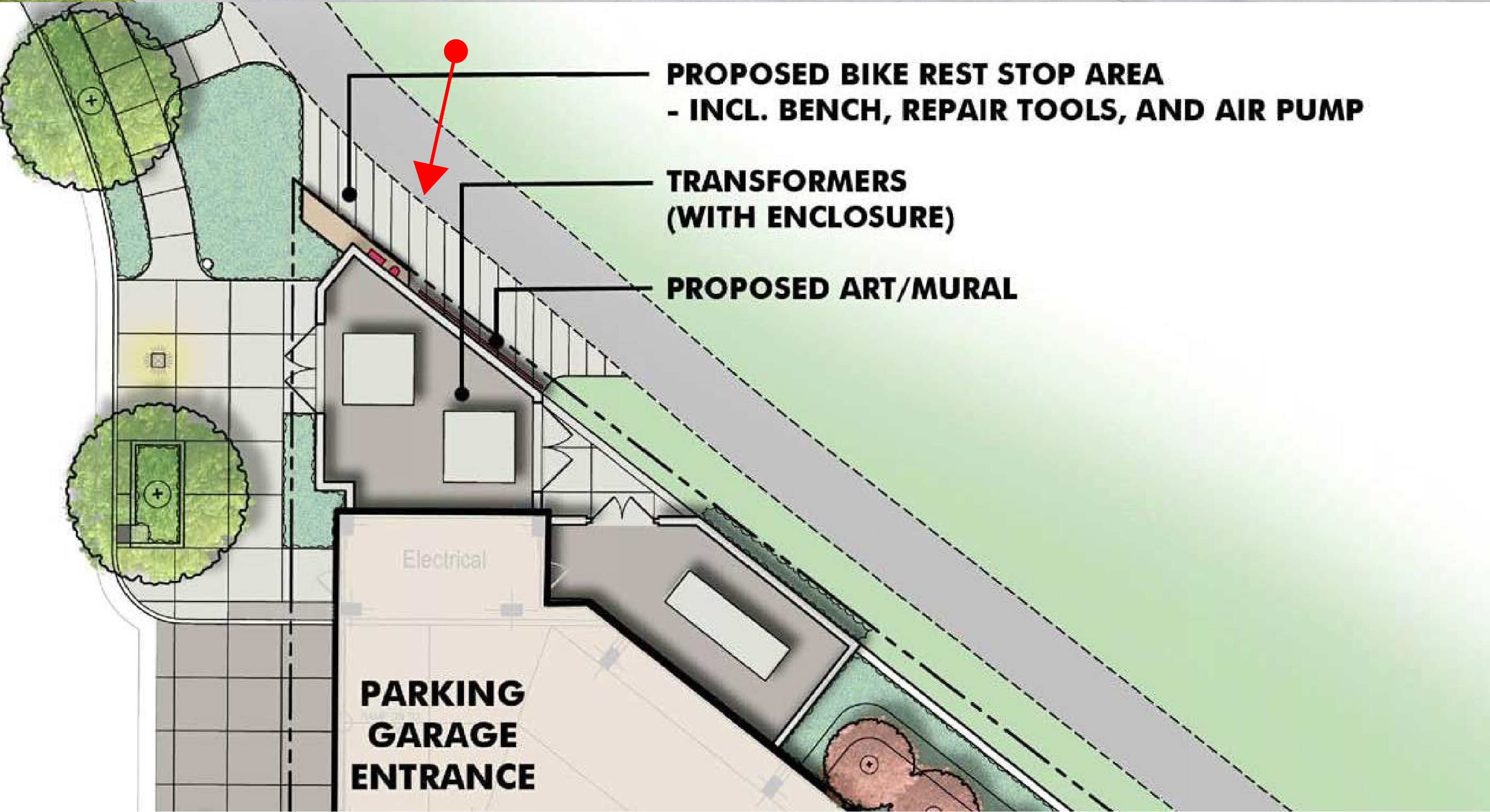
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SPECIAL USE PERMIT SET - 09.10.2018





View Art Wall on Mt.  
Vernon Bike Trail



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1201  
NORTH  
ROYAL  
STREET

1201 N ROYAL ST  
CITY OF ALEXANDRIA, VIRGINIA  
**PARKER RODRIGUEZ, INC.**  
PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE  
101 North Union St. #320  
Alexandria VA 22314  
703.548.5010

OWNER  
1201 N. Royal, LLC  
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ARCHITECT  
SK+I Architecture  
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SCALE	1"=20'

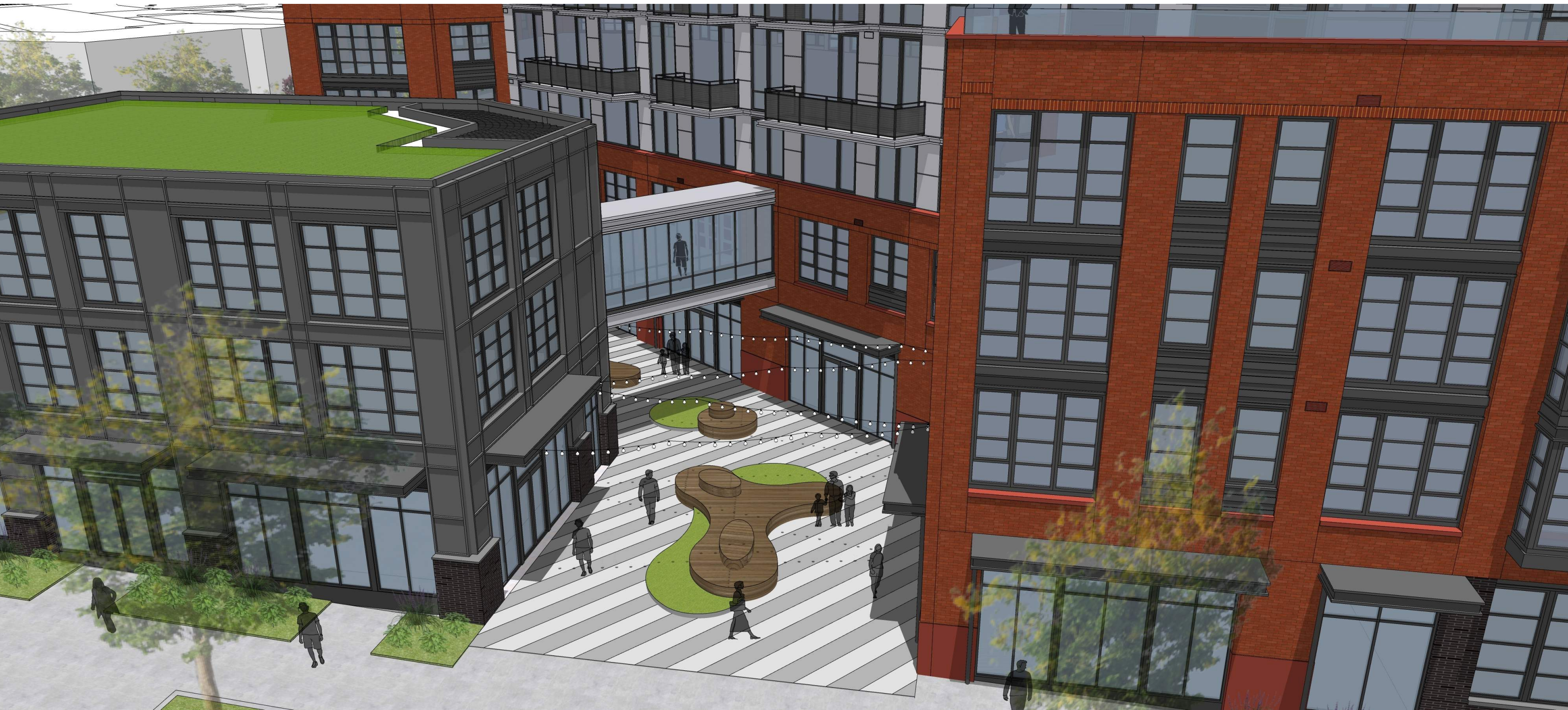
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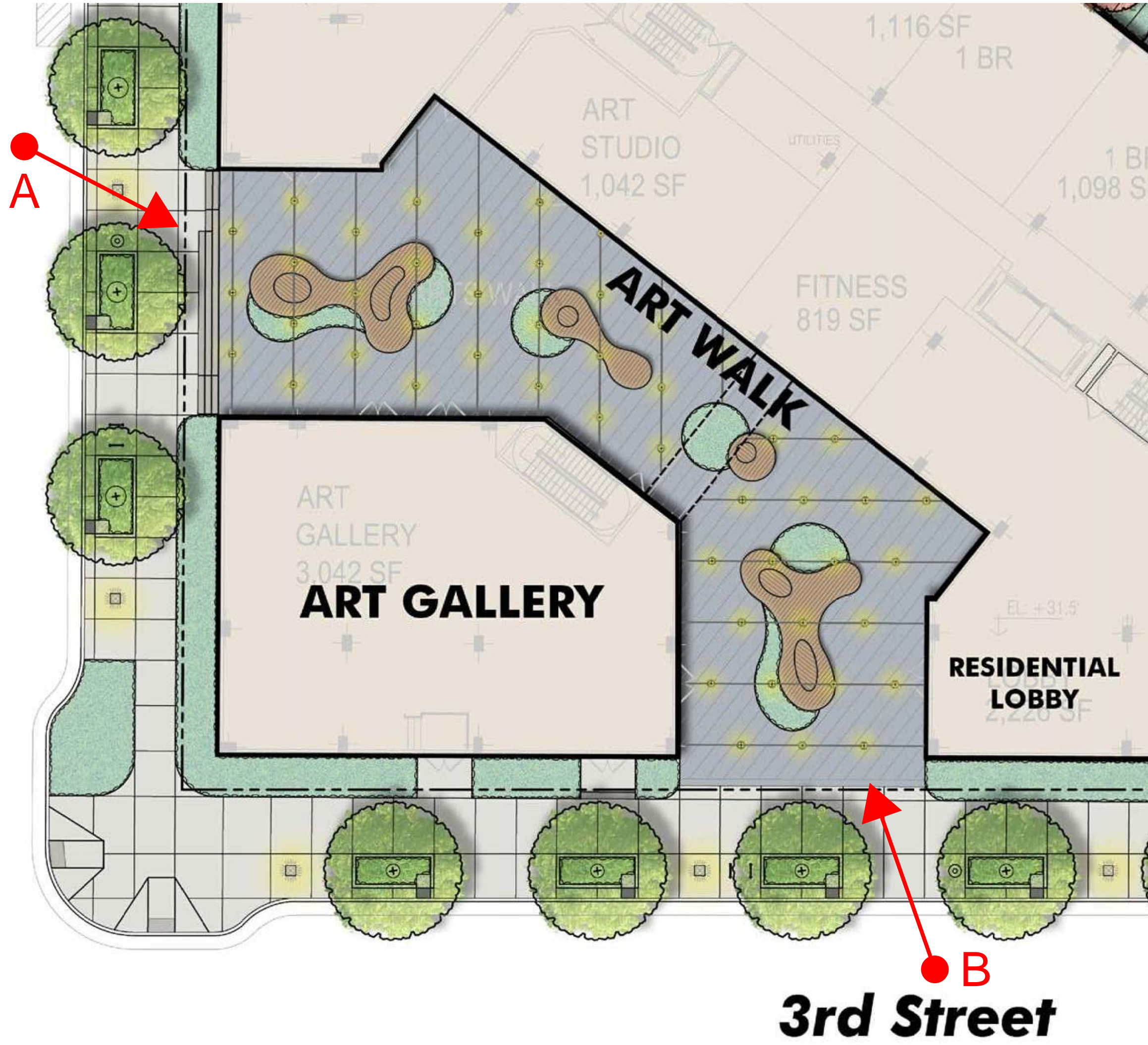


A - View Art Walk from North Royal Street



B - View Art Walk from 3rd Street

N Royal St  
(Green Street)



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## BUILDING ROOFS

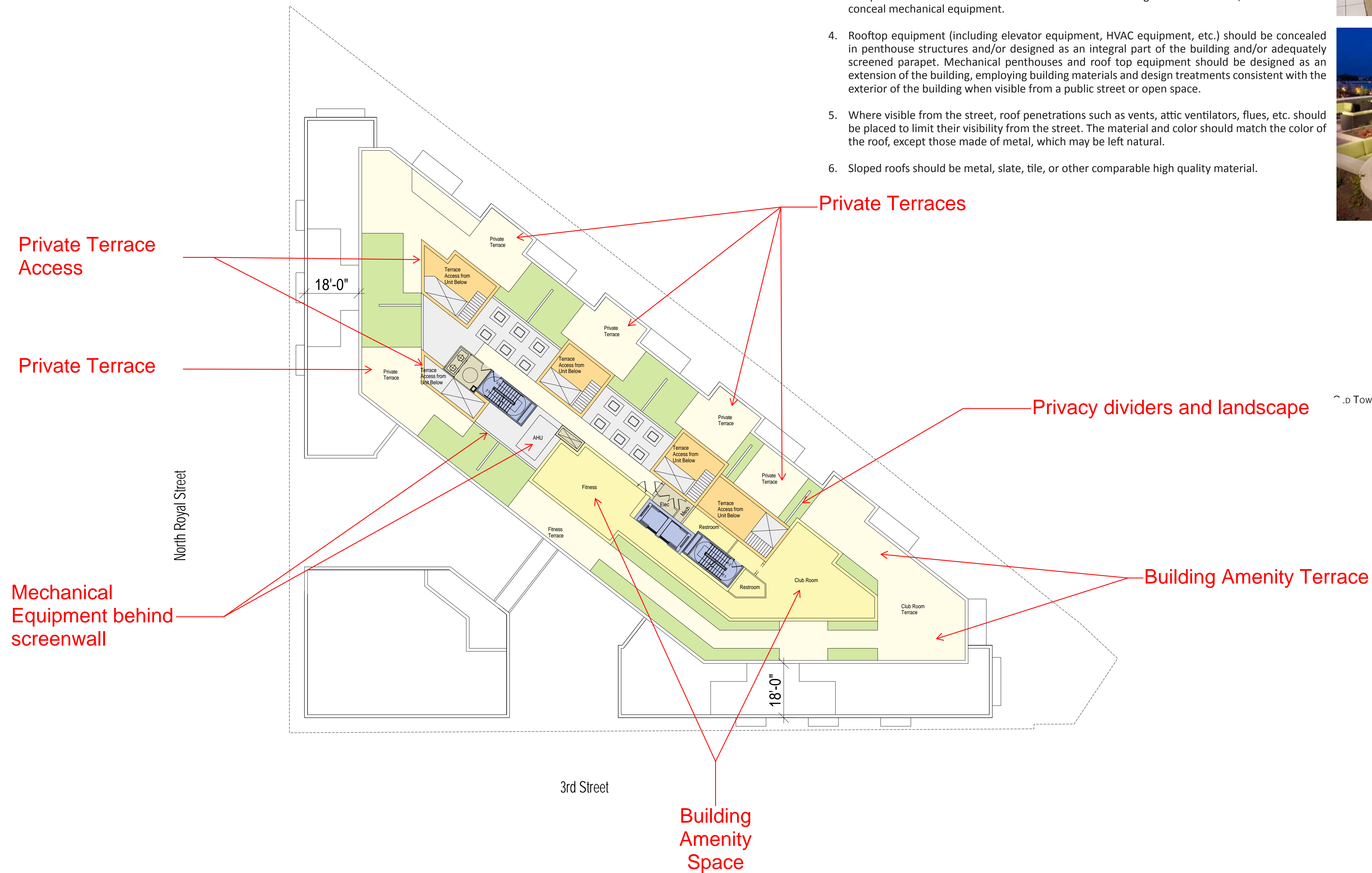
- Rooftop Terraces
- Rooftop Gardens
- Concealed Mech.

### 3.4 Building Roofs

The Design Standards and Guidelines for building roofs ensure a consistent and appropriate urban character, and that rooftop open space is provided to achieve the environmental goals of the OTN SAP. Building rooftop design should be aesthetically pleasing, integrated into the overall building design and function to conceal rooftop equipment from view of pedestrians from the adjoining streets and open spaces.

**Guidelines:**

1. Buildings with flat roofs should have green rooftops that may be utilized as high quality outdoor open spaces for the building's users and as an extension of the building's common areas.
2. The design of rooftop gardens should be integrated within the overall architecture of the building.
3. Parapets on flat roofs should be minimum of 2 feet in height above the roof, or as needed to conceal mechanical equipment.
4. Rooftop equipment (including elevator equipment, HVAC equipment, etc.) should be concealed in penthouse structures and/or designed as an integral part of the building and/or adequately screened parapet. Mechanical penthouses and roof top equipment should be designed as an extension of the building, employing building materials and design treatments consistent with the exterior of the building when visible from a public street or open space.
5. Where visible from the street, roof penetrations such as vents, attic ventilators, flues, etc. should be placed to limit their visibility from the street. The material and color should match the color of the roof, except those made of metal, which may be left natural.
6. Sloped roofs should be metal, slate, tile, or other comparable high quality material.



1 DSUP - ROOF PLAN  
SCALE: 1" = 20'-0"

## DSUP SUBMISSION: SEPT. 11, 2018

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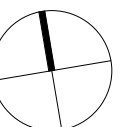
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## KEYPLAN



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DRAWING TITLE

## Roof Plan

DATE September 18, 2018

SCALE 1" = 20'-0"

A2-08



















*“(A) Relationship of height to setback. In all height districts, the allowable height of a building at any point shall not exceed **twice** the distance from the face of the building at that point to the centerline of the street facing such building.”*



### Canal Place Condos



North Fairfax Street

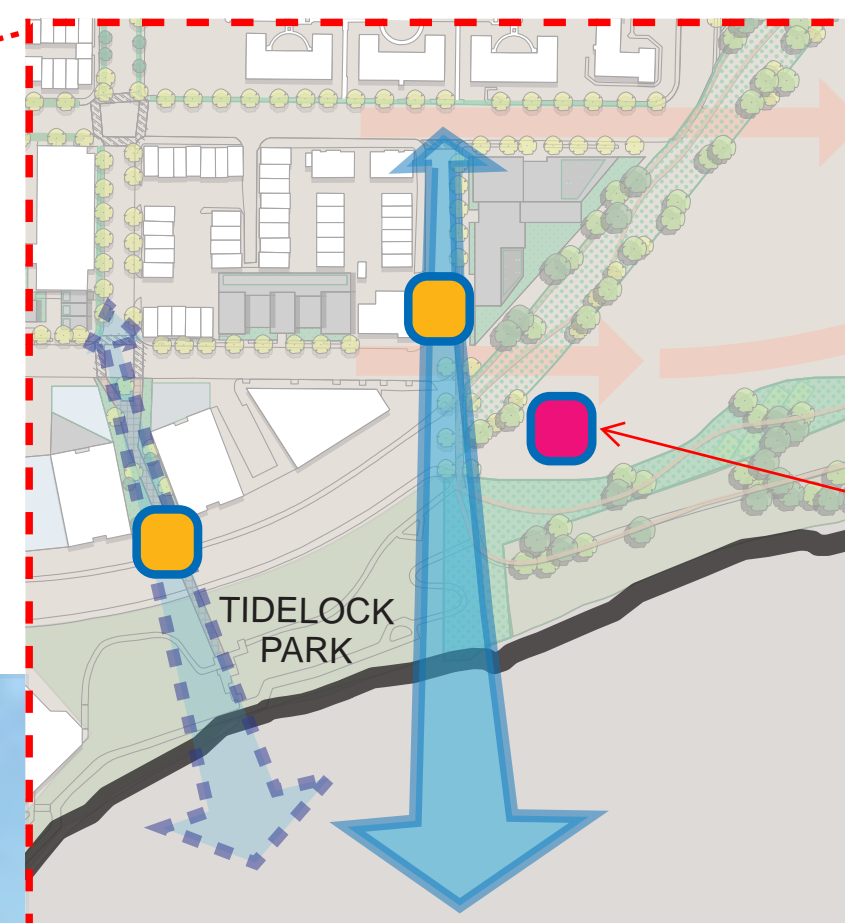
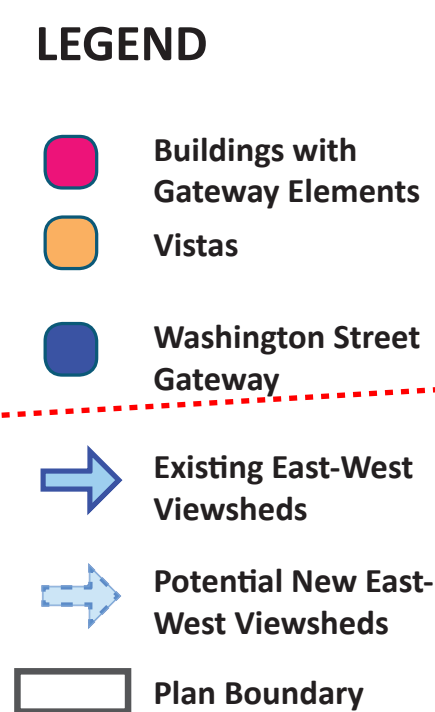
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## KEYPLAN









*Building with Gateway Element* planned for  
East of Future Fairfax Extension



*Note: Perspective images are for illustrative purposes only.*

1 VIEW WEST ON THIRD STREET  
SCALE: 1" = 20'-0"

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OWNER'S PHONE 202-349-1441  
OWNER CONTACT Whitney D.W. Smith

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DATE September 18, 2018

SCALE 1" = 200.0'

A5-06











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DRAWING TITLE  
**Perspective Views**

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DATE September 18, 2018  
 SCALE 1" = 20'-0"

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## Perspective Views

DATE September 18, 2018

SCALE 1" = 20'-0"

A5-08



*Note: Perspective images are for illustrative purposes only.*

## 3

### 3.5 Walls, Fences, and Railings

Walls, fences and railings provide transitions between the private and public realm and contribute to the spatial definition of streets and privacy of yards and courtyards. The Standards require high quality materials and height limits for fences and walls.

**Standards:**

1. The height, length, and visual impact of walls and fences shall be pedestrian scale and in no case shall they exceed 3.0 feet in height in the front or side yards. In the rear yards, 6 feet privacy fences may be provided, if approved as part of the development review process. Additional screening may be permitted if located adjacent to industrial uses.
2. Materials for walls shall be brick and/or stone. Garden screen wall and/or retaining walls should be constructed of brick, stone, architectural precast or other highly finished appropriate material.









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## Perspective Views

DATE September 18, 2018

SCALE  $1" = 20'-0"$

A5-09



*Note: Perspective images are for illustrative purposes only.*

1 VIEW OF MT. VERNON TRAIL FACADE  
SCALE: 1" = 20'-0"







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**Perspective Views**

**DATE**                      September 18, 2018  
**SCALE**                      1" = 20' 0"

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## Perspective Views

DATE September 18, 2018

SCALE 1" = 20'-0"

A5-12



# ARTS WALK

## FLEXIBLE GROUND FLOOR ARTS SPACE

4. The design of retail should take into account:
  - how the storefront fits into the architecture of the building;
  - the relationship to varying grades along the storefronts, and the flexibility to adjust store entries;
  - visibility of storefronts (including clear glass);
  - sidewalk spaces for outdoor retail displays or dining; sign and logo requirements; and
  - the design, materials and colors of awnings or canopies to protect pedestrians and windows.

### B. Arts and Cultural Flexible Ground Floor Spaces

The goal of flexible ground floor spaces is to enable arts and cultural uses as defined in the OTN SAP within the plan area that diversify the City's economy, complement and enhance the neighborhoods, and provide locations for existing and new small businesses and emerging industries.

These uses typically require taller ceiling heights, and deeper bays than typical retail, and work is often showcased with large windows or garage bays at street level. Flexibility in space and design is a key element for these uses.

**Arts and Cultural Use Standards:**

1. The arts and cultural uses shall be subject to all applicable requirements of the Zoning Ordinance and associated policies and regulations.

- The floor to ceiling height shall be at least 10 feet and the depth of each space shall be at least 10 feet.

- depth of each space shall be a minimum of 20 feet, or greater where feasible.
- Arts and Cultural Use Guidelines:**
1. Each ground floor arts and cultural use should provide a minimum of 40% transparency (garage doors, doors and windows) at the street level.
  2. A garage door or comparable sized opening should be provided for each space or approximately every 20-30 feet. Garage doors and/or roll up doors should be glass and metal.
  3. Flexibility may be granted for exhaust fans, and vents on primary building facades that support the building function. Final location and treatment will be determined as part of the development review process.
  4. Adequate loading, access, refuse collection, and noise attenuation should be addressed during the development review process.









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Perspective Views

\_\_\_\_\_

**DATE** \_\_\_\_\_ **September 18, 2018**

**SCALE** \_\_\_\_\_ **1" = 20' 0"**

KEYPLAN



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## Perspective Views

DATE September 18, 2018

SCALE 1" = 20'-0"

A5-13



*Note: Perspective images are for illustrative purposes only.*

1 VIEW FROM CANAL PLACE  
SCALE: 1" = 20'-0"







MATERIAL KEYNOTE LEGEND

1. BRICK - COLOR 1
2. BRICK - COLOR 2
3. CAST STONE - COLOR 1
4. CAST STONE - COLOR 2
5. METAL PANEL 1
6. METAL PANEL 2
7. METAL PANEL 3
8. RAINSCREEN SYSTEM
9. ALUMINUM RAILING SYSTEM
10. ALUMINUM & GLASS RAILING SYSTEM
11. ALUMINUM WINDOW SYSTEM
12. ALUMINUM DOOR SYSTEM
13. ALUMINUM STOREFRONT SYSTEM
14. METAL CANOPY
15. ALUMINUM LOUVER SYSTEM
16. OVERHEAD COMMERCIAL DOOR
17. TRANSFORMER ENCLOSURE









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DRAWING TITLE

Building  
Elevations - Color

DATE September 18, 2018

SCALE As indicated

A3-02

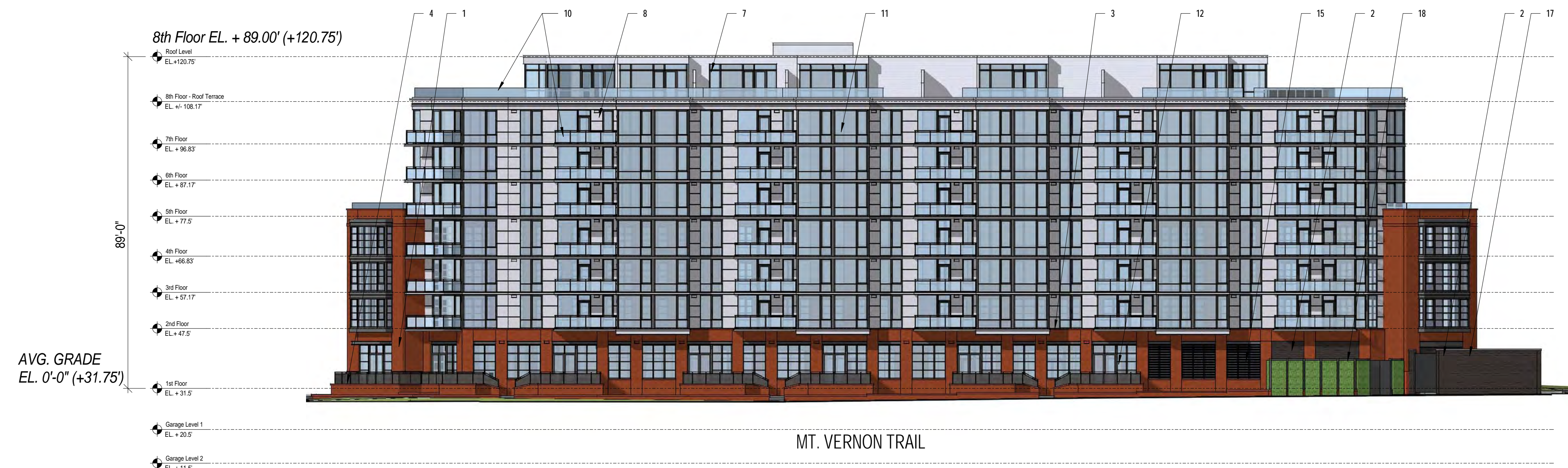
MATERIAL KEYNOTE LEGEND

- |                            |                                     |
|----------------------------|-------------------------------------|
| 1. BRICK - COLOR 1         | 10. ALUMINUM & GLASS RAILING SYSTEM |
| 2. BRICK - COLOR 2         | 11. ALUMINUM WINDOW SYSTEM          |
| 3. CAST STONE - COLOR 1    | 12. ALUMINUM DOOR SYSTEM            |
| 4. CAST STONE - COLOR 2    | 13. ALUMINUM STOREFRONT SYSTEM      |
| 5. METAL PANEL 1           | 14. METAL CANOPY                    |
| 6. METAL PANEL 2           | 15. ALUMINUM LOUVER SYSTEM          |
| 7. METAL PANEL 3           | 16. OVERHEAD COMMERCIAL DOOR        |
| 8. RAINSCREEN SYSTEM       | 17. TRANSFORMER ENCLOSURE           |
| 9. ALUMINUM RAILING SYSTEM | 18. GENERATOR ENCLOSURE             |



1 DSUP - BUILDING ELEVATION - NORTH (COLOR)

SCALE: 1" = 20'-0"



2 DSUP - BUILDING ELEVATION - NORTHEAST (COLOR)

SCALE: 1" = 20'-0"

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Masonry and Metal Panel Base (*Shoulders*)



Glass and Panel Residential (*Above*)

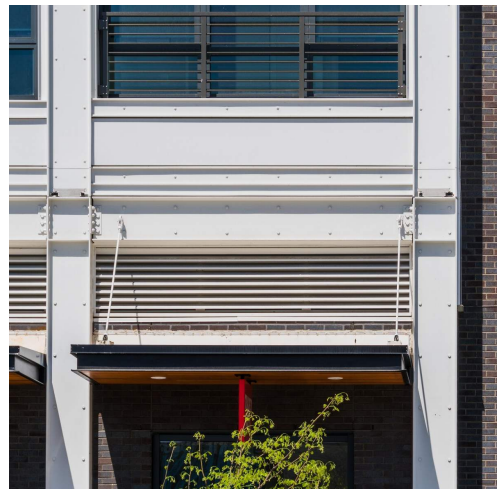




Masonry and Metal Panel Base (*Shoulders*)  
w/ Panel and Glass above



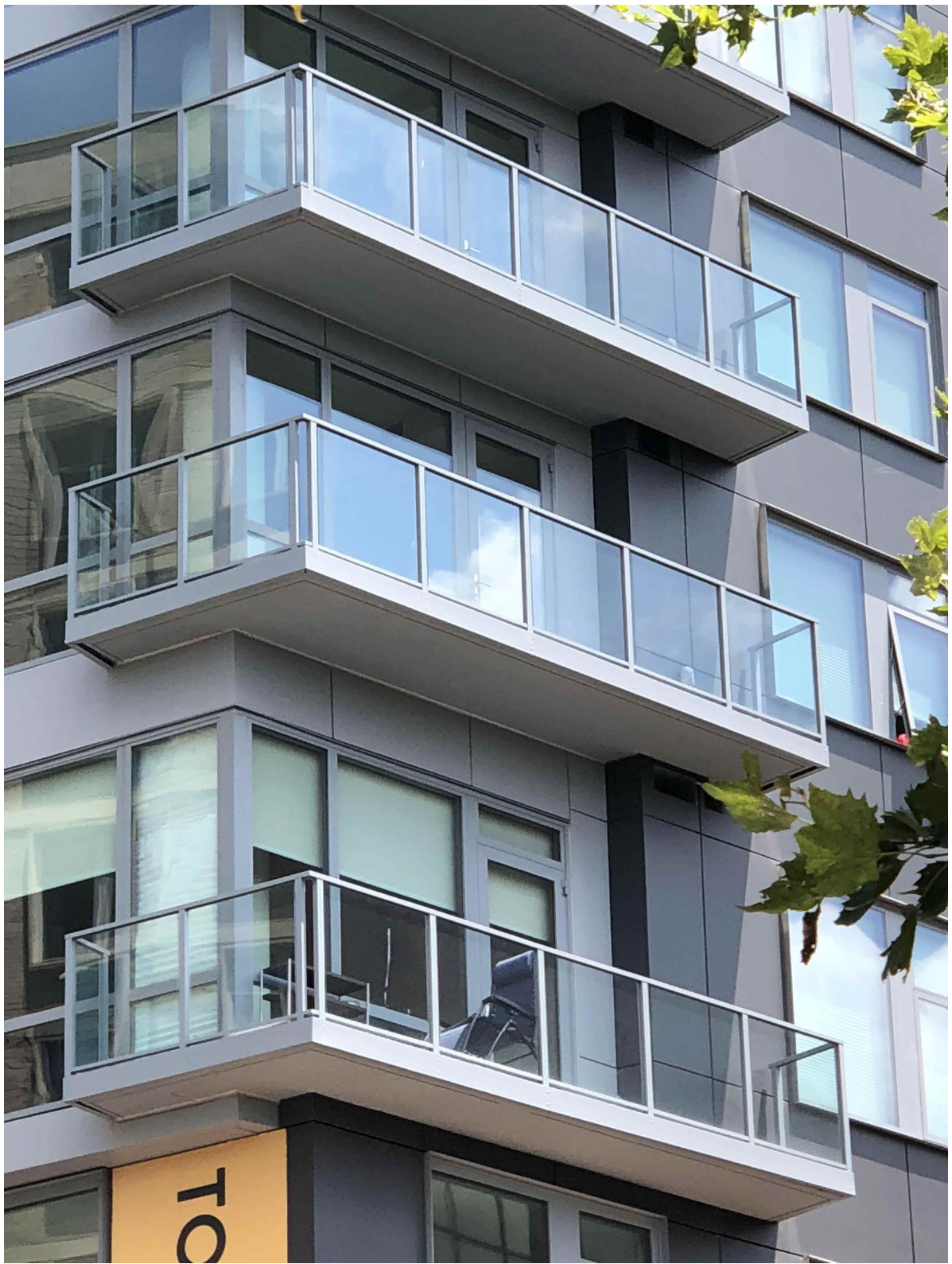
Metal Panel  
examples for  
corner Arts Loft  
Pavillion







Mesh Panel Handrails



Glass Panel Handrails