# CARR CITY CENTERS -1201 North Royal Street

Alexandria, VA **UDAC Submission:** September 18, 2018





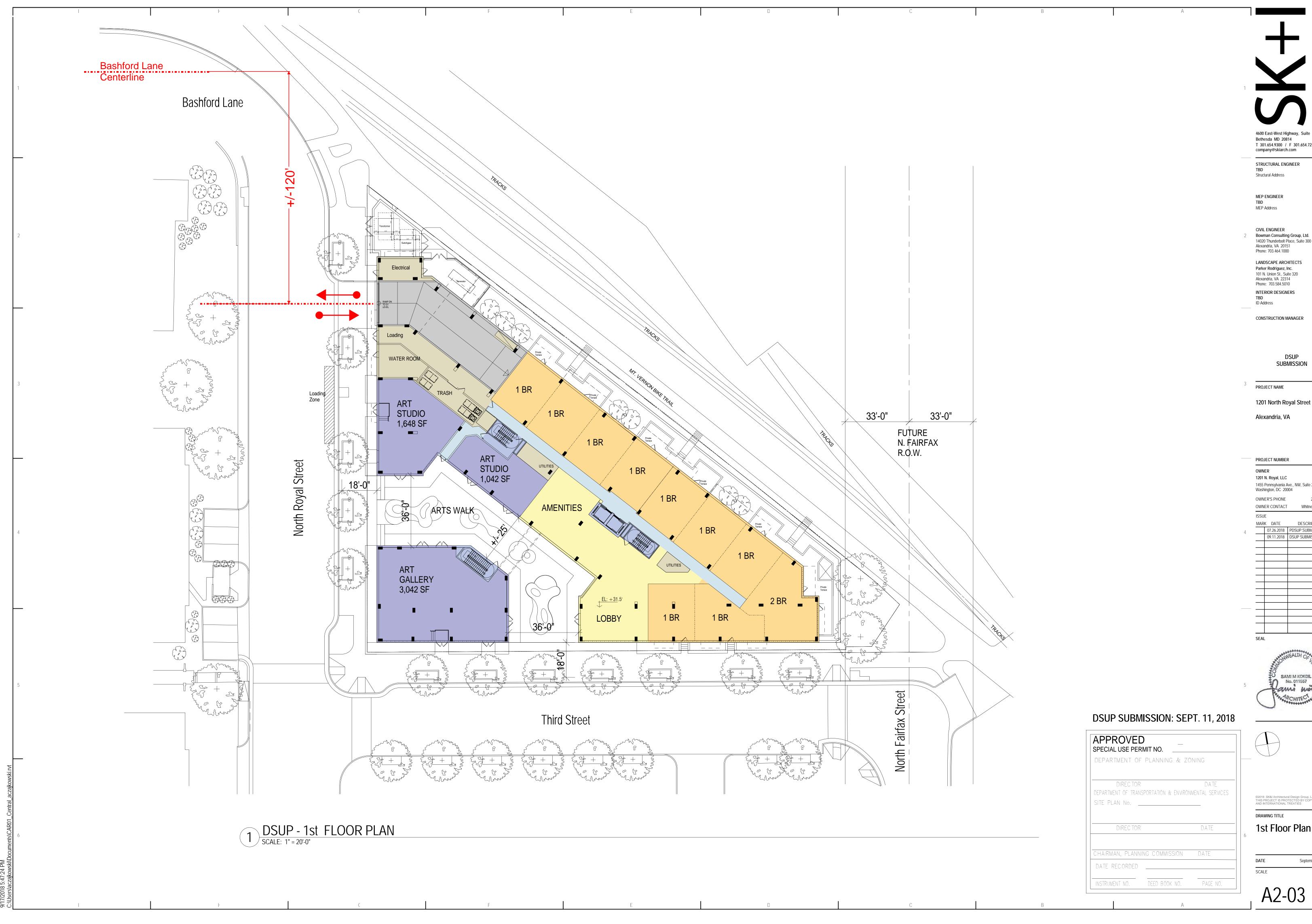
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1201 North Royal Street | Alexandria, VA

September 18, 2018 **A.01** 



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LANDSCAPE ARCHITECTS Parker Rodriguez, Inc. 101 N. Union St., Suite 320 Alexandria, VA 22314 Phone: 703.584.5010 INTERIOR DESIGNERS

CONSTRUCTION MANAGER

DSUP SUBMISSION

Alexandria, VA

PROJECT NUMBER

1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004

OWNER CONTACT

MARK DATE 07.26.2018 PDSUP SUBMISSION



DRAWING TITLE

1st Floor Plan

September 18, 2018

A2-03

# 1201 NORTH ROYAL STREET

1201 N ROYAL ST CITY OF ALEXANDRIA, VIRGINIA

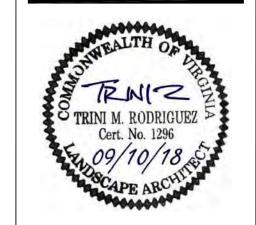
# PARKERRODRIGUEZ, INC. PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE 101 North Union St. #320 Alexandria VA 22314

703.548.5010 OWNER 1201 N. Royal, LLC

1455 Pennsylvania Avenue, NW Suite 200 Washington, DC 2004 202.349.1441 ARCHITECT SK+I Architecture 4600 East-West Highway Suite 700 Bethesda, MD 20814

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 SPECIAL USE PERMIT
 07.26.2018

 SPECIAL USE PERMIT
 09.10.2018

Overall Illustrative Landscape Plan

ORIGINAL ISSUE DATE
07.26.2018

DESIGNED BY
TR

DRAWN BY
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CHECKED BY
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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.



L1.00 OVERALL ILLUSTRATIVE LANDSCAPE PLAN L1.01 LANDSCAPE PLAN

L1.10 HARDSCAPE DETAILS

L2.10 PLANTING DETAILS

- PROPOSED BIKE REST STOP AREA
- INCL. BENCH, REPAIR TOOLS, AND AIR PUMP

TRANSFORMERS (WITH ENCLOSURE)

PARKING

GARAGE

ENTRANCE

ART GALLERY

RESIDENTIAL LOBBY

3rd Street

LOADING ZONE

PROPOSED ART/MURAL



NORTH ROYAL STREET

1201 N ROYAL ST CITY OF ALEXANDRIA, VIRGINIA

GN LANDSCAPE ARCHITECTUR

101 North Union St. #32

Alexandria VA 2231

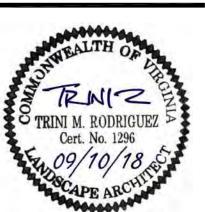
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REVISIONS

SPECIAL USE PERMIT 07.26.2018
SPECIAL USE PERMIT 09.10.2018

Overall Illustrative Landscape

ORIGINAL ISSUE DATE
07.26.2018
DESIGNED BY
TR
DRAWN BY

DESIGNED BY TR DRAWN BY NC CHECKED BY SL / TR

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# 1201 NORTH ROYAL STREET

1201 n royal st City of Alexandria, virginia

# URBAN DESIGN LANDSCAPE ARCHITECTUR 101 North Union St. #320 Alexandria VA 2231

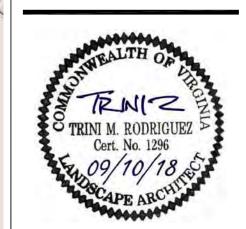
01 North Union St. #320 Alexandria VA 22314 703.548.5010 OWNER

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Overall Illustrative Landscape

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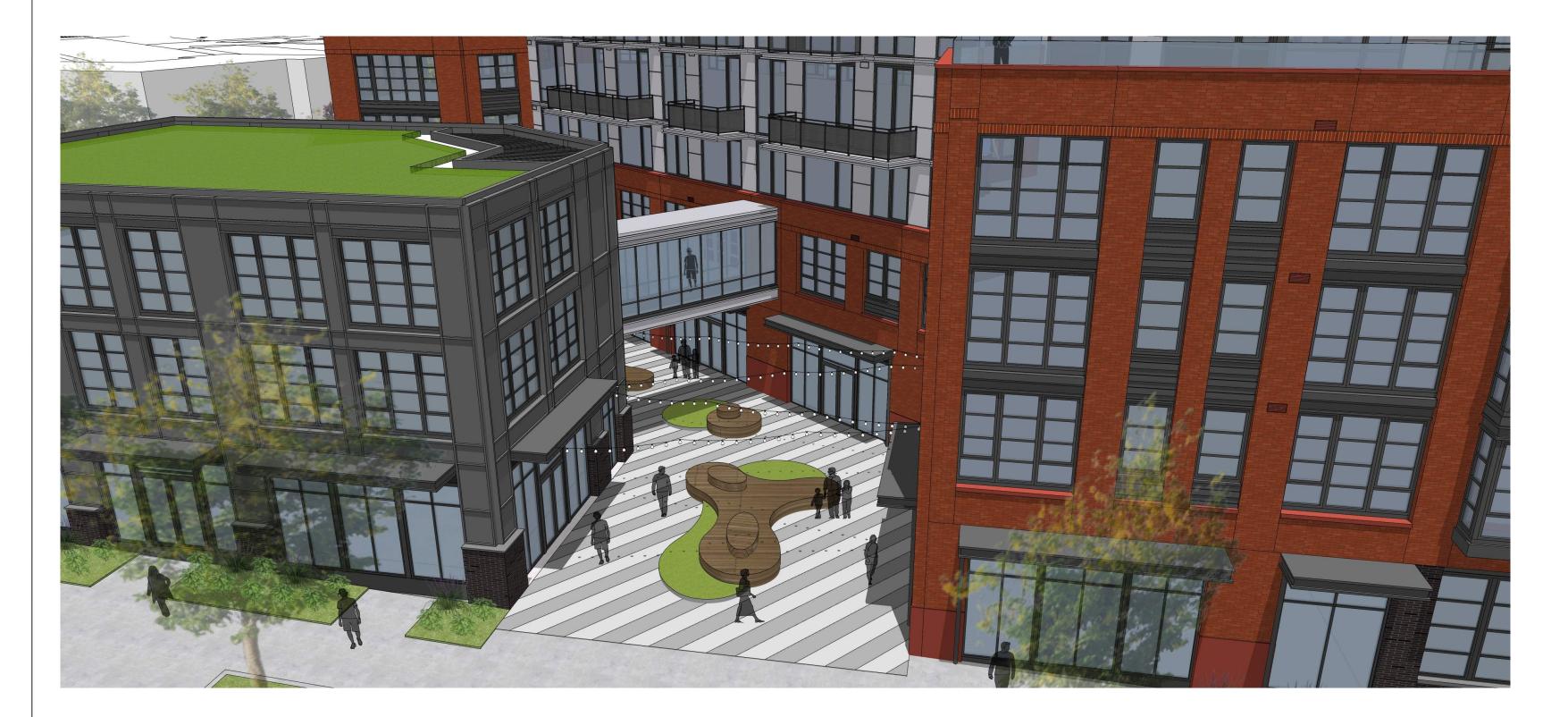
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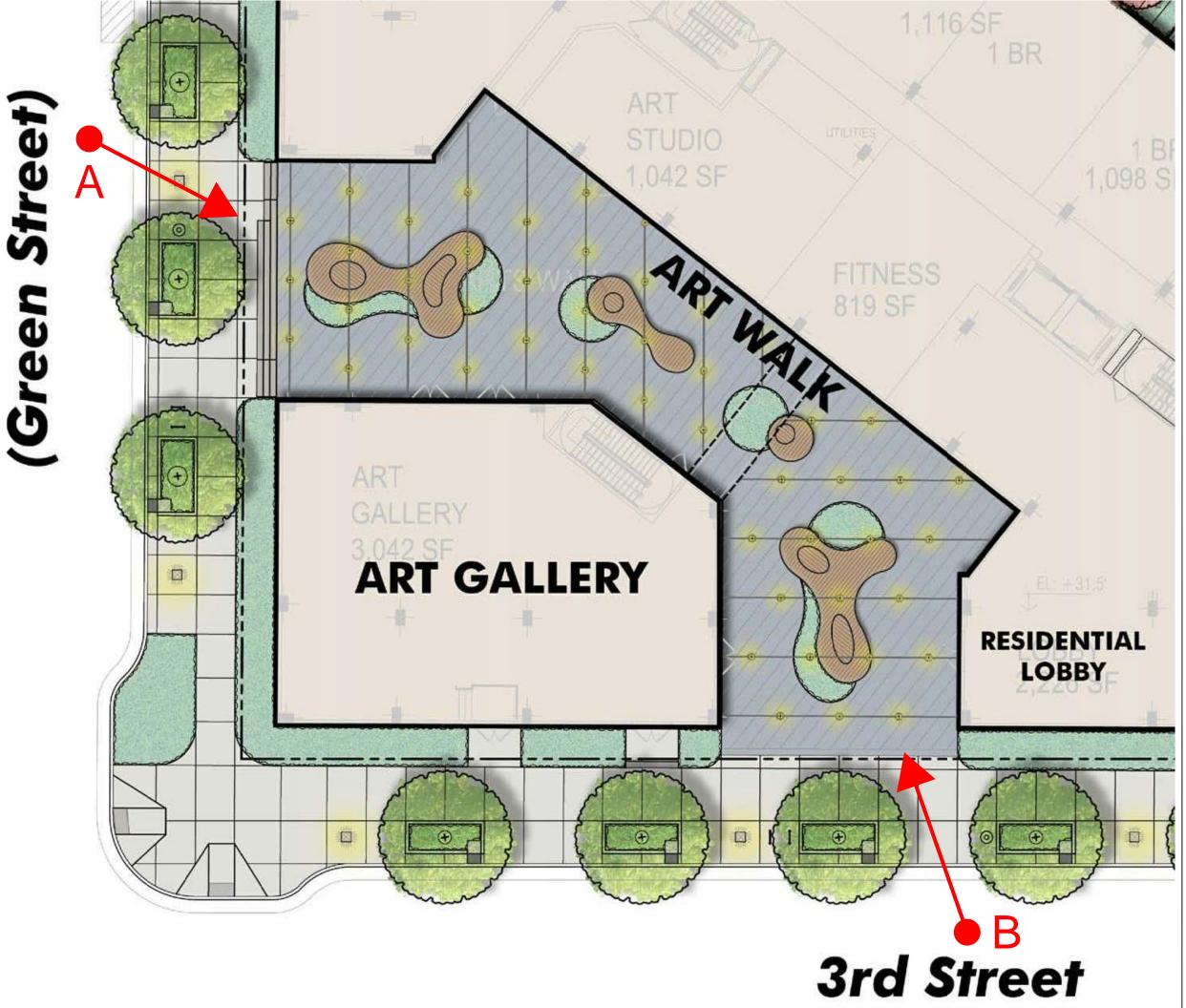
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A - View Art Walk from North Royal Street

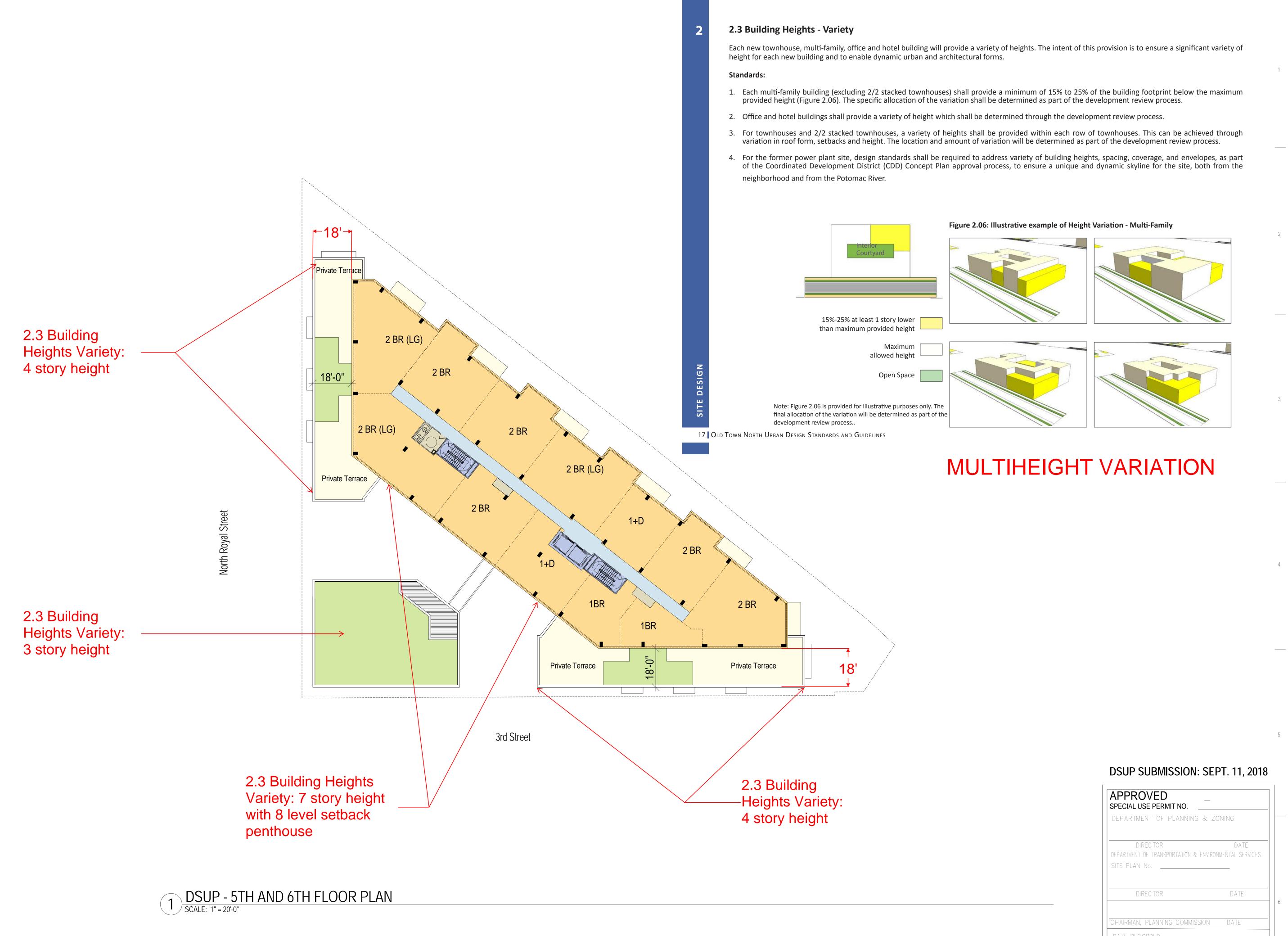


B - View Art Walk from 3rd Street





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PROJECT NAME

1201 North Royal Street

Alexandria, VA

PROJECT NUMBER OWNER 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 MARK DATE



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DIREC TOR		DATE
	NG COMMISSION	37112
DIRECTOR  CHAIRMAN, PLANNIN  DATE RECORDED	NG COMMISSION	



DRAWING TITLE

5th & 6th Floor

A2-06



- Rooftop Terraces
- Rooftop Gardens
- Concealed Mech.

## 3.4 Building Roofs

Private Terraces

The Design Standards and Guidelines for building roofs ensure a consistent and appropriate urban character, and that rooftop open space is provided to achieve the environmental goals of the OTN SAP. Building rooftop design should be aesthetically pleasing, integrated into the overall building design and function to conceal rooftop equipment from view of pedestrians from the adjoining streets and

#### **Guidelines:**

- 1. Buildings with flat roofs should have green rooftops that may be utilized as high quality outdoor open spaces for the building's users and as an extension of the building's common areas.
- 2. The design of rooftop gardens should be integrated within the overall architecture of the building.
- 3. Parapets on flat roofs should be minimum of 2 feet in height above the roof, or as needed to conceal mechanical equipment.
- 4. Rooftop equipment (including elevator equipment, HVAC equipment, etc.) should be concealed in penthouse structures and/or designed as an integral part of the building and/or adequately screened parapet. Mechanical penthouses and roof top equipment should be designed as an extension of the building, employing building materials and design treatments consistent with the exterior of the building when visible from a public street or open space.
- 5. Where visible from the street, roof penetrations such as vents, attic ventilators, flues, etc. should be placed to limit their visibility from the street. The material and color should match the color of the roof, except those made of metal, which may be left natural.
- 6. Sloped roofs should be metal, slate, tile, or other comparable high quality material.





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SITE PLAN No.		
DIREC TOR	DATE	

^ .d Town North Urban Design Standards and Guidelines 34

-Building Amenity Terrace

-Privacy dividers and landscape

3rd Street

Building Amenity Space

18'-0"

1 DSUP - ROOF PLAN SCALE: 1" = 20'-0"

**Private Terrace** 

**Private Terrace** 

Mechanical

screenwall

Equipment behind-

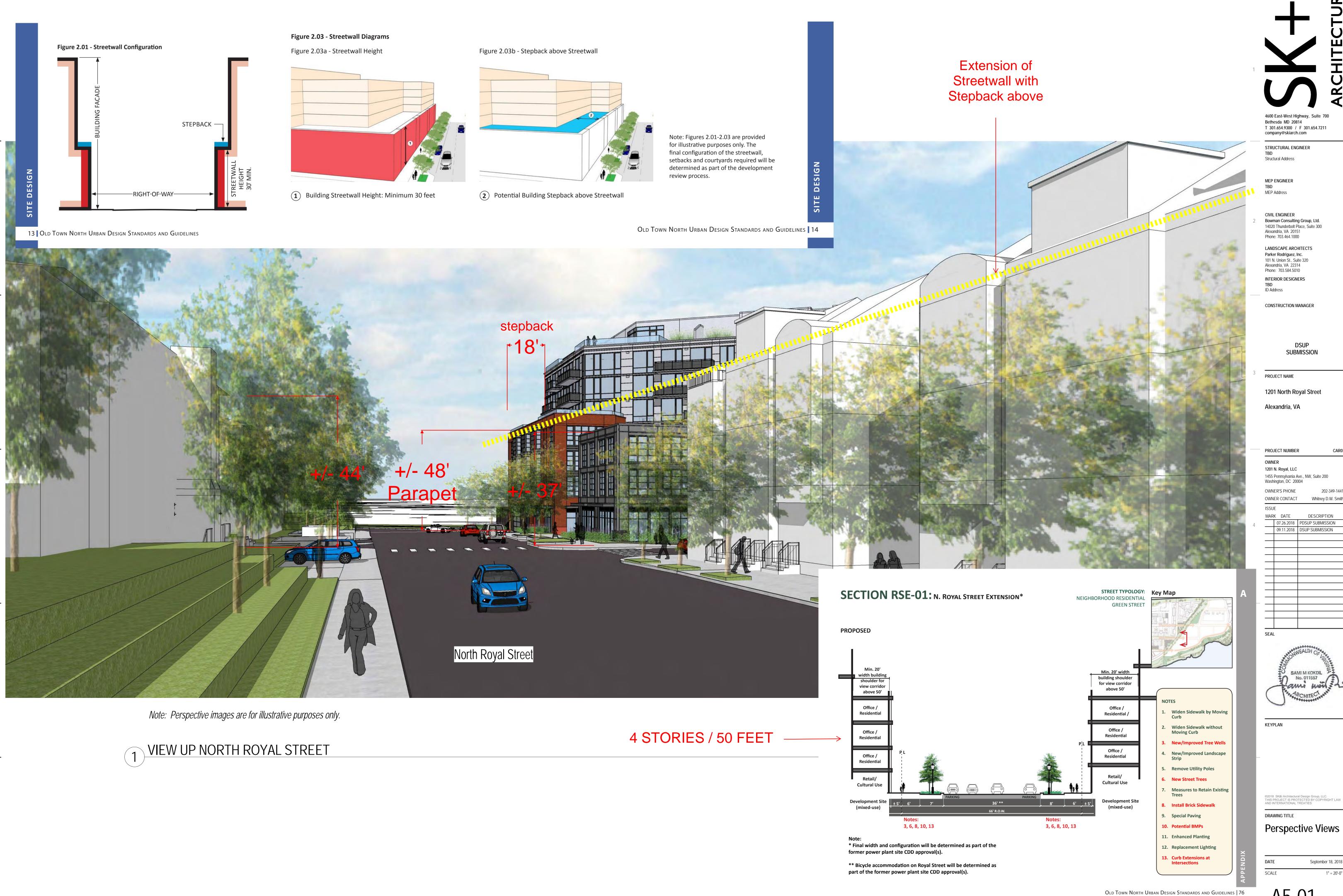
18'-0"

Access

A2-08

DRAWING TITLE

**Roof Plan** 



September 18, 2018

SUBMISSION

Whitney D.W. Smith

SAMI M KOKDIL No. 011557



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OWNER CONTACT

MARK DATE

Note: Perspective images are for illustrative purposes only.

VIEW OF BUILDING FROM CORNER AT NORTH ROYAL AND THIRD STREET

SCALE: 1" = 20'-0"

# DSUP SUBMISSION: SEPT. 11, 2018

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Perspective Views

A5-02

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07.26.2018 PDSUP SUBMISSION 09.11.2018 DSUP SUBMISSION

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2.3 Building Heights - Variety Each new townhouse, multi-family, office and hotel building will provide a variety of heights. The intent of this provision is to ensure a significant variety of height for each new building and to enable dynamic urban and architectural forms.

# APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DIREC TOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No. DIREC TOR DATE CHAIRMAN, PLANNING COMMISSION DATE

DEED BOOK NO.

PAGE NO.

DSUP SUBMISSION: SEPT. 11, 2018

DRAWING TITLE

Perspective Views

September 18, 2018

A5-03

VARIED BUILDING HEIGHTS

1. Each multi-family building (excluding 2/2 stacked townhouses) shall provide a minimum of 15% to 25% of the building footprint below the maximum provided height (Figure 2.06). The specific allocation of the variation shall be determined as part of the development review process. 2. Office and hotel buildings shall provide a variety of height which shall be determined through the development review process. 3. For townhouses and 2/2 stacked townhouses, a variety of heights shall be provided within each row of townhouses. This can be achieved through variation in roof form, setbacks and height. The location and amount of variation will be determined as part of the development review process. 4. For the former power plant site, design standards shall be required to address variety of building heights, spacing, coverage, and envelopes, as part of the Coordinated Development District (CDD) Concept Plan approval process, to ensure a unique and dynamic skyline for the site, both from the neighborhood and from the Potomac River. 15%-25% at least 1 story lower than maximum provided height

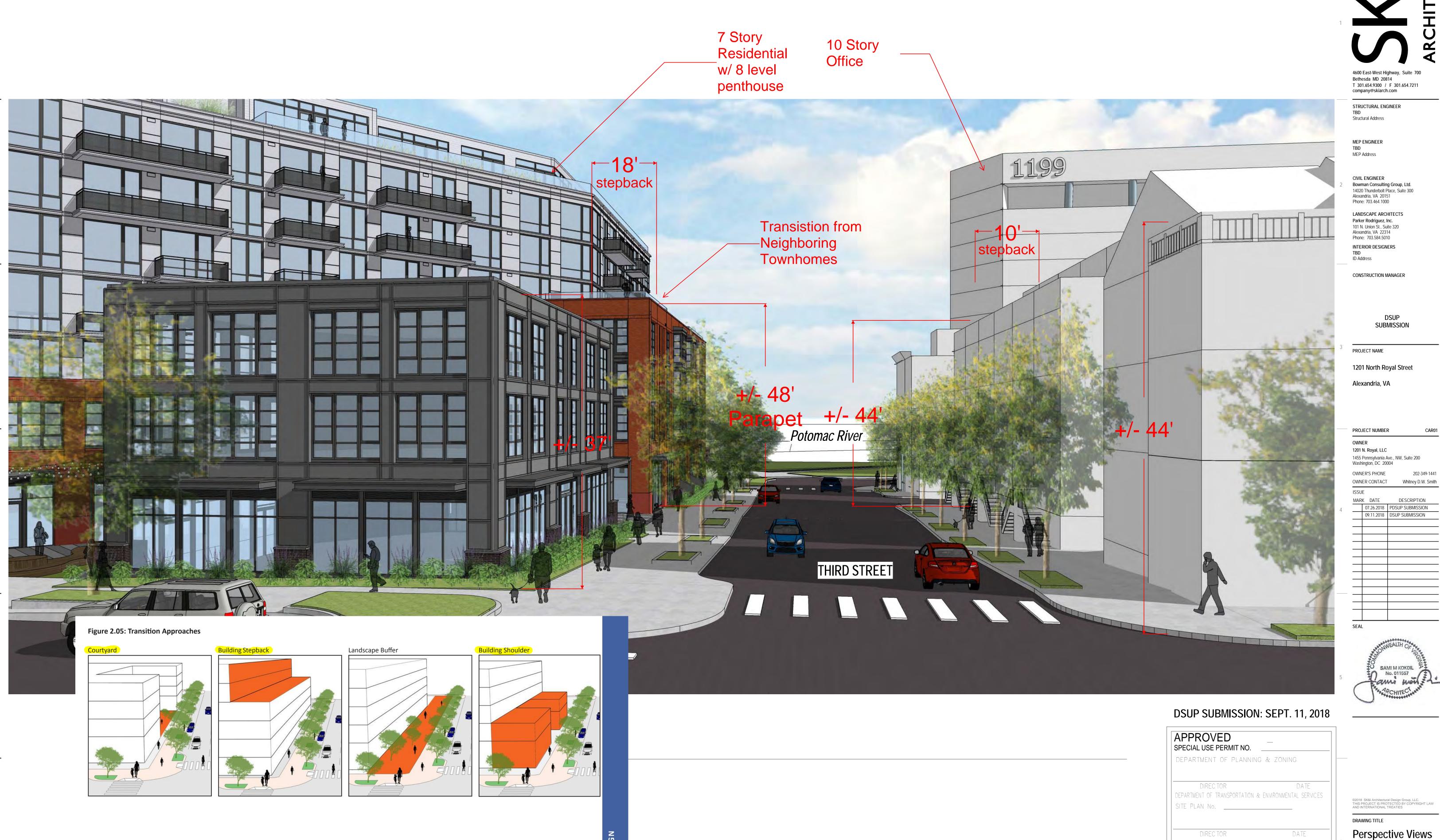
allowed height

Note: Figure 2.06 is provided for illustrative purposes only. The final allocation of the variation will be determined as part of the

development review process..

Figure 2.06: Illustrative example of Height Variation - Multi-Family

17 OLD TOWN NORTH URBAN DESIGN STANDARDS AND GUIDELINES



Old Town North Urban Design Standards and Guidelines | 16

07.26.2018 PDSUP SUBMISSION



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A5-04



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OWNER CONTACT Whitney D.W. Smith ISSUE

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SAMI M KOKDIL

1. The primary pedestrian entrance shall front the adjoining primary public street.

2. Enhanced level of architectural design and treatment are required, and, where appropriate, landscape treatment shall emphasize the primary entrance as focal point.

Building entries enhance the scale, activity and function of each building. This is achieved by requiring building entries at frequent intervals for the street and park frontages. Building entries should also reinforce pedestrian activity and circulation along the street. The building entries are required to be distinctive features and be an integral part of the design of the building, with a size and scale appropriate to the scale of the building. The entries should be easy to locate from the street for

3. For required retail frontages, the width of residential and/or office lobbies shall be the minimum

3.3 Building Entries

pedestrians and motorists.

1. Building entrances should be given prominence on the street frontage. The size and scale of the entrance should be appropriate for the scale of the building and include a change in material, wall plane, and/or color.

Awnings or canopies are encouraged for building entrances or first floor retail uses. These add
color and vibrancy to the streetscape and protection from the weather for the pedestrian.
Awnings and signage should be in compliance with the City's sign regulations under the Zoning
Ordinance.

3. Residential and commercial entrances in mixed-use buildings should be architecturally

4. Entries should provide protection from the elements, with canopies, recesses, or roof overhangs.



DRAWING TITLE Perspective Views

THIRD STREET

1 VIEW OF BUILDING ENTRY ON ARTS WALK
SCALE: 1" = 20'-0"

Note: Perspective images are for illustrative purposes only.

33 OLD TOWN NORTH URBAN DESIGN STANDARDS AND GUIDELINES



1 VIEW WEST ON THIRD STREET
SCALE: 1" = 20'-0"

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Perspective Views

A5-06



THIRD STREET

Note: Perspective images are for illustrative purposes only.

1 VIEW WEST ON THIRD STREET
SCALE: 1" = 20'-0"

DSUP SUBMISSION: SEPT. 11, 2018

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Perspective Views

A5-06

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Perspective Views

September 18, 2018



THIRD STEET

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VIEW OF STOOPS ON THIRD STREET

SCALE: 1" = 20'-0"

To ensure an appropriate relationship between the ground floor residential uses and the adjoining sidewalk, the residential uses are required to provide a transition. This transition between the sidewalk and the residential building is achieved with front setbacks for stoops or landscaping. Elevation of the ground floor enables sufficient privacy for ground floor residents, and an appropriate relationship between the pedestrian and the building.

Residential buildings shall provide a front setback of 2-10 feet from the required sidewalk to provide space for individual front yards, plantings, landscaping, fences, stoops, and similar elements, unless art and/or live work spaces are provided.

2. Where stoops are provided, they shall be designed in a way that does not obstruct the sidewalk and public right-of-way.

# Ground floor levels for all residential uses shall be elevated a minimum of 12 inches and maximum of 4 feet above the adjoining sidewalk. 2-3 feet is desired. Where at-grade accessible units are needed or required, alternatives will be considered as part of the development review process.

For multi-family buildings, where ground floor commercial space is not provided, townhouse-scale elements with individual and functional entries are encouraged.

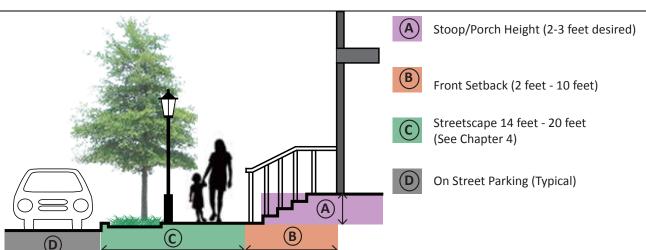


Figure 3.02: Residential Use at Grade

Old Town North Urban Design Standards and Guidelines \$\ 32\$

snaidero THIRD STREET MT. VERNON TRAIL

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SEAL

SAMI M KOKDIL ENO. 011557

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1 VIEW FROM MT. VERNON TRAIL
SCALE: 1" = 20'-0"

# 3.5 Walls, Fences, and Railings

Walls, fences and railings provide transitions between the private and public realm and contribute to the spatial definition of streets and privacy of yards and courtyards. The Standards require high quality materials and height limits for fences and walls.

# Standards:

- 1. The height, length, and visual impact of walls and fences shall be pedestrian scale and in no case shall they exceed 3.0 feet in height in the front or side yards. In the rear yards, 6 feet privacy fences may be provided, if approved as part of the development review process. Additional screening may be permited if located adjacent to industrial uses.
- 2. Materials for walls shall be brick and/or stone. Garden screen wall and/or retaining walls should be constructed of brick, stone, architectural precast or other highly finished appropriate material.



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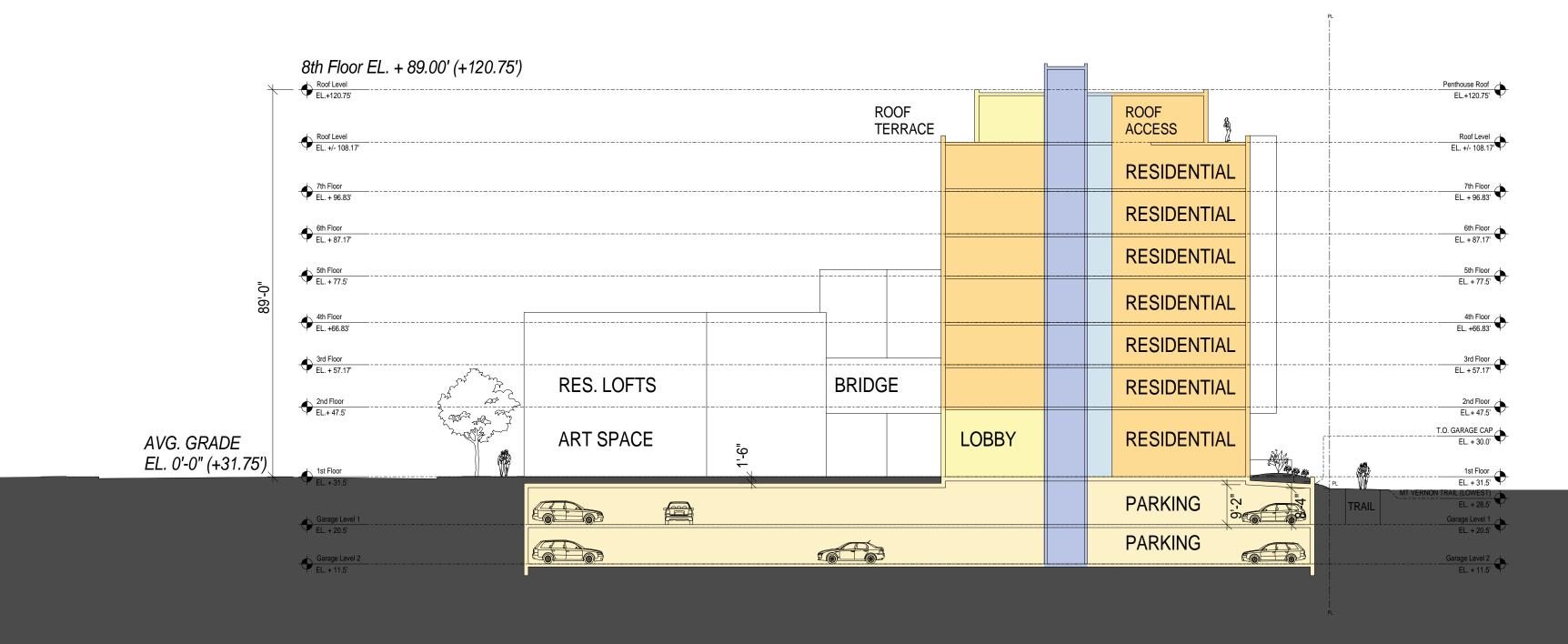
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Perspective Views

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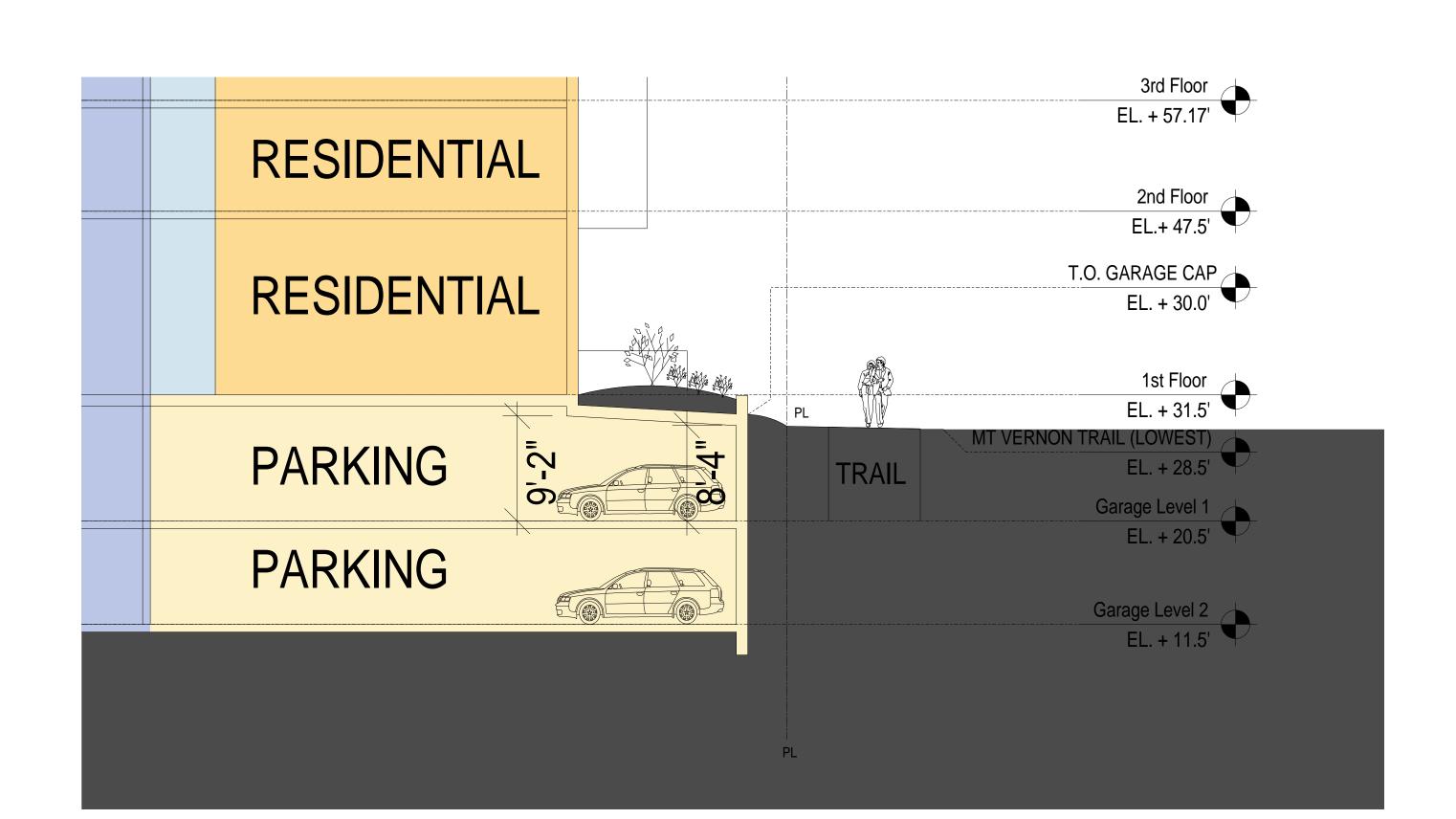
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 1" = 20'-0

A5-08



Mt. Vernon Trail

1 DSUP - BUILDING SECTION NE-SE SCALE: 1" = 20'-0"



2 CONCEPT II - BUILDING SECTION AT MT VERNON TRAIL

SCALE: 1/8" = 1'-0"

SACHITECTURE

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SAMI M KOKDIL

NO. 011557

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CHAIRMAN, PLANNING COMMIS	SSION DATE
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DDAWING TITLE

**Building Sections** 

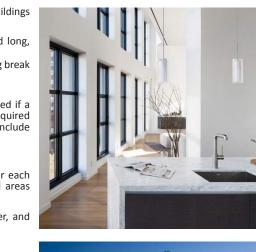
DATE September 18, 2018
SCALE As indicated

A4-02

#### Multi-Family Guidelines

- 1. Individual and functional entries at 20 to 30 feet intervals are desired for the multi-family buildings with "townhouse-scale" elements.
- Reasonable building breaks should be provided for larger multi-family buildings to avoid long, monolithic façades.
   Where retail/commercial use is provided or required on the ground floor a building break should occur above the first floor retail-commercial use.
   There may be a connector between the building break.
  - There may be a connector between the building break.
     As part of the development review process, a building break may not be required if a level of architectural variation is provided comparable to the building break required above. In addition, if a building break is not required, the façade variation shall include
- variation in color and materials

  3. Buildings should generally provide a vertical fenestration pattern.
- Buildings should generally provide a vertical renestration pattern.
   The solid to void ratio (or wall to window) should consist of a minimum of 30% void for each building facade on a primary street which shall exclude ground floor commercial-retail areas where provided. A higher percentage should be provided where feasible.
- building facade on a primary street which shall exclude ground floor commercial-retail areas where provided. A higher percentage should be provided where feasible.5. Windows should be used as an element that helps to articulate the building's character, and
- designed to reveal the thickness/depth of the wall.6. Windows should be well-proportioned and operable, if feasible.
- Windows should be grouped to establish rhythms across the façade and hierarchies at important places on the façade.





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LANDSCAPE ARCHITECTS
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101 N. Union St., Suite 320
Alexandria, VA 22314
Phone: 703.584.5010
INTERIOR DESIGNERS
TBD
ID Address

CONSTRUCTION MANAGER

DSUP SUBMISSION

PROJECT NAME

1201 North Royal Street

Alexandria, VA

PROJECT NUMBER CAR01

OWNER

1201 N. Royal, LLC

1455 Pennsylvania Ave., NW, Suite 200
Washington, DC 20004

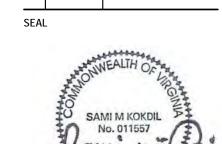
OWNER'S PHONE 202-349-144

OWNER CONTACT Whitney D.W. Smit

MARK DATE DESCRIPTION

07.26.2018 PDSUP SUBMISSION

09.11.2018 DSUP SUBMISSION





DEPARTMENT OF PLANNING & ZONING	
DIRECTOR DEPARTMENT OF TRANSPORTATION & E SITE PLAN No	DATE Environmental services 
DIREC TOR	DATE

DEED BOOK NO.

PAGE NO.

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Perspective Views

DATE September 18, 2018

SCALE 1" = 20'-0"

A5-09



Note: Perspective images are for illustrative purposes only.

VIEW OF MT. VERNON TRAIL FACADE

SCALE: 1" = 20'-0"

company@skiarch.com

STRUCTURAL ENGINEER Structural Address MEP ENGINEER MEP Address CIVIL ENGINEER Bowman Consulting Group, Ltd. 14020 Thunderbolt Place, Suite 300 Alexandria, VA 20151 Phone: 703.464.1000 LANDSCAPE ARCHITECTS Parker Rodriguez, Inc. 101 N. Union St., Suite 320 Alexandria, VA 22314 Phone: 703.584.5010 INTERIOR DESIGNERS ID Address CONSTRUCTION MANAGER DSUP SUBMISSION PROJECT NAME 1201 North Royal Street Alexandria, VA PROJECT NUMBER 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER'S PHONE OWNER CONTACT Whitney D.W. Smith ISSUE MARK DATE DESCRIPTION 07.26.2018 PDSUP SUBMISSION 09.11.2018 DSUP SUBMISSION

SAMI M KOKDIL

DSUP SUBMISSION: SEPT. 11, 2018

APPROVED

Perspective Views

DRAWING TITLE

September 18, 2018

A5-10

2.5 Parking and Service Areas Appropriate parking location and design will support the creation of active, walkable, and transit-oriented development.

5. Bicycle racks shall be provided from the City of Alexandria's pre-approved types.

2. Surface parking lots are prohibited.

Parking garage entrances should be minimized. Garage entrances should be located on secondary streets yet be adequately visible and accessible to the public if public parking is provided.

Parking for each building (excluding townhouses and stacked townhouses) shall be located entirely below grade or entirely screened with an active use. The screening of the parking with active uses shall be provided for each level of the entire perimeter of each street, park, and/or open space frontage.

The parking for each townhouse shall be provided from a rear alley. Front loaded garages for townhouses are prohibited.

Loading service docks should not be accessed from the Retail Corridors (North Saint Asaph and Montgomery Streets) and should be located on secondary streets where feasible.

Loading dock and garage access should be combined where possible but sized to not dominate the building or block frontage. The doors should also be designed to provide architectural interest for the pedestrian and be complementary to the overall building design.

Where alleys are provided, they should be designed to minimize visibility into the alley and the garage doors from the public right-of-way.

Curb cuts for parking access and alleys should be minimized for the demonstrable needs of new development.

Service areas should be out of view or screened from the public right-of-way by adequate landscape or architectural elements. Bicycle parking should be provided in a safe, accessible and convenient location, within 100 feet of the building entrance.

Old Town North Urban Design Standards and Guidelines 20

MT. VERNON TRAIL

poses only.

PARKING AND SERVICE AREAS

NORTH ROYAL STREET

DEPARTMENT OF P	LANNING & ZO	ONING
DIRECTOR DEPARTMENT OF TRANSPO	RTATION & ENVIROI	DATE NMENTAL SERVICES
SITE PLAN No		
DIREC TOR		DATE
CHAIRMAN, PLANNING	COMMISSION	DATE
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CONSTRUCTION MANAGER

DSUP SUBMISSION

PROJECT NAME

1201 North Royal Street

Alexandria, VA

PROJECT NUMBER 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER'S PHONE

OWNER CONTACT Whitney D.W. Smith ISSUE

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**ARTS WALK** 

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Perspective Views

September 18, 2018

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A5-12

STREET STREET 4. The design of retail should take into account:
how the storefront fits into the architecture of the building; how the storefront fits into the architecture of the building;
the relationship to varying grades along the storefronts, and the flexibility to adjust store

visibility of storefronts (including clear glass);
sidewalk spaces for outdoor retail displays or dining; sign and logo requirements; and • the design, materials and colors of awnings or canopies to protect pedestrians and windows.

B. Arts and Cultural Flexible Ground Floor Spaces
The goal of flexible ground floor spaces is to enable arts an cultural uses as defined in the OTN SAP

within the plan area that diversify the City's economy, complement and enhance the neighborhoods, and provide locations for existing and new small businesses and emerging industries. These uses typically require taller ceiling heights, and deeper bays than typical retail, and work is often showcased with large windows or garage bays at street level. Flexibility in space and design is a key element for these uses.

Arts and Cultural Use Standards: 1. The arts and cultural uses shall be subject to all applicable requirements of the Zoning Ordinance 2. The floor to ceiling height shall be a minimum of 15 feet, with 18 feet preferable. The minimum depth of each space shall be a minimum of 20 feet, or greater where feasible.

Arts and Cultural Use Guidelines: Each ground floor arts and cultural use should provide a minimum of 40% transparency (garage doors, doors and windows) at the street level.

A garage door or comparable sized opening should be provided for each space or approximately every 20-30 feet Garage and/or roll up doors should be glass and metal.

3. Flexibility may be granted for exhaust, fans, and vents on primary building façades that support the building function/use. Final location and treatment will be determined as part of the development

4. Adequate loading, access, refuse collection, and noise attenuation should be addressed during the development review process.



FLEXIBLE GROUND FLOOR ARTS SPACE

31 OLD TOWN NORTH URBAN DESIGN STANDARDS AND GUIDELINES



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PROJECT NAME

1201 North Royal Street
Alexandria, VA

OWNER
1201 N. Royal, LLC

1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER'S PHONE 202-349-1

OWNER CONTACT Whitney D.W. Smith

ISSUE

MARK DATE DESCRIPTION

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SEAL

SAMI M KOKDIL No. 011557

Note: Perspective images are for illustrative purposes only.

BIRDSEYE VIEW LOOK EAST DOWN THIRD STREET

SCALE: 1" = 20'-0"

Potomac River

THIRD STREET

# DSUP SUBMISSION: SEPT. 11, 2018

DEPARTMENT OF	PLANNING & Z	ONING
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DEPARTMENT OF TRAN	SPORTATION & ENVIRO	NMENTAL SERVICES
SITE PLAN No		
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DIREC TOR		DATE
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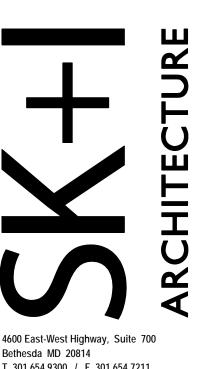
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Perpsective Views

DATE September 18, 2018

SCALE 1" = 20'-0"

A5-11



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CONSTRUCTION MANAGER

DSUP SUBMISSION

PROJECT NAME

1201 North Royal Street Alexandria, VA

PROJECT NUMBER OWNER 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER CONTACT Whitney D.W. Smith

# DSUP SUBMISSION: SEPT. 11, 2018

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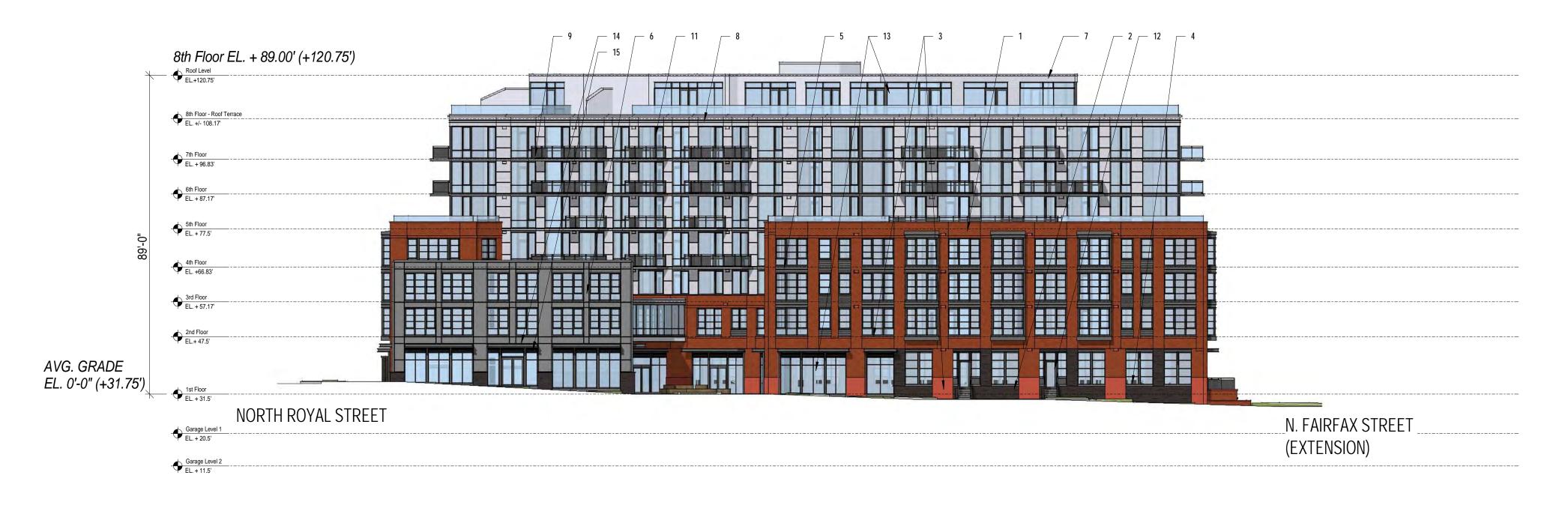
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A5-13



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1 VIEW FROM CANAL PLACE
SCALE: 1" = 20'-0"



DSUP - BUILDING ELEVATION - SOUTH (COLOR)

SCALE: 1" = 20'-0"



2 DSUP - BUILDING ELEVATION - WEST (COLOR)
SCALE: 1" = 20'-0"

MATERIAL KEYNOTE LEGEND

1. BRICK - COLOR 1 2. BRICK - COLOR 2 3. CAST STONE - COLOR 1 4. CAST STONE - COLOR 2 5. METAL PANEL 1 6. METAL PANEL 2 7. METAL PANEL 3

8. RAINSCREEN SYSTEM

11. ALUMINUM WINDOW SYSTEM 12. ALUMINUM DOOR SYSTEM 13. ALUMINUM STOREFRONT SYSTEM 14. METAL CANOPY 15. ALUMINUM LOUVER SYSTEM 16. OVERHEAD COMMERCIAL DOOR 17. TRANSFORMER ENCLOSURE 9. ALUMINUM RAILING SYSTEM 18. GENERATOR ENCLOSSURE

10. ALUMINUM & GLASS RAILING SYSTEM

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PROJECT NAME

1201 North Royal Street

Alexandria, VA

PROJECT NUMBER OWNER 1201 N. Royal, LLC 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER CONTACT Whitney D.W. Smith MARK DATE

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KEYPLAN

Building **Elevations - Color** 

September 18, 2018

A3-01

6. METAL PANEL 2 7. METAL PANEL 3 Elevator Roof EL.+126.17' 9. ALUMINUM RAILING SYSTEM EL. + 77.00' (+108.75') 7th Floor EL. + 96.83' 6th Floor EL. + 87.17 4th Floor EL. +66.83' 3rd Floor EL. + 57.17 AVG. GRADE EL. 0'-0" (+31.75') N. FAIRFAX STREET NORTH ROYAL STREET (EXTENSION)

DSUP - BUILDING ELEVATION - SOUTH (COLOR)

SCALE: 1" = 20'-0"



2 DSUP - BUILDING ELEVATION - WEST (COLOR)
SCALE: 1" = 20'-0"

ELEVATIONS FROM PREVIOUS UDAC MEETING

MATERIAL KEYNOTE LEGEND

1. BRICK - COLOR 1 2. BRICK - COLOR 2 3. CAST STONE - COLOR 1 4. CAST STONE - COLOR 2

5. METAL PANEL 1 8. RAINSCREEN SYSTEM

10. ALUMINUM & GLASS RAILING SYSTEM 11. ALUMINUM WINDOW SYSTEM 12. ALUMINUM DOOR SYSTEM 13. ALUMINUM STOREFRONT SYSTEM 14. METAL CANOPY 15. ALUMINUM LOUVER SYSTEM 16. OVERHEAD COMMERCIAL DOOR 17. TRANSFORMER ENCLOSURE

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PROJECT NAME

1201 North Royal Street

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PROJECT NUMBER

1201 N. Royal, LLC 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004

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DIREC TOR	DATE
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PAGE NO.

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**Building** 

A3-01

Elevator Roof
EL.94'-8" Roof Level
EL.76'-8" EL. + 76.67' 7th Floor EL.65'-4" 6th Floor EL.55'-8' 4th Floor EL.35'-4" 3rd Floor EL.25'-8" NORTH ROYAL STREET N. FAIRFAX STREET (EXTENSION) CONCEPT II - BUILDING

Elevator Roof
EL.94'-8" EL. + 76.67' 7th Floor EL.65'-4" 4th Floor EL.35'-4"

CONCEPT II - BUILDING **ELEVATION - WEST** 

MT. VERNON TRAIL

**ELEVATION - SOUTH** 

(COLOR)
SCALE: 1" = 20'-0"

ELEVATIONS FROM PREVIOUS UDAC MEETING

#### MATERIAL KEYNOTE LEGEND

- 1. BRICK COLOR 1 2. BRICK - COLOR 2
- 3. CAST STONE COLOR 1 4. CAST STONE - COLOR 2 5. METAL PANEL 1

9. ALUMINUM RAILING SYSTEM

- 13. ALUMINUM STOREFRONT SYSTEM 14. METAL CANOPY 6. METAL PANEL 2 7. RAINSCREEN SYSTEM 1
- 15. ALUMINUM LOUVER SYSTEM 8. RAINSCREEN SYSTEM 2

16. OVERHEAD COMMERCIAL DOOR 17. TRANSFORMER ENCLOSURE

10. ALUMINUM & GLASS RAILING SYSTEM

11. ALUMINUM WINDOW SYSTEM 12. ALUMINUM DOOR SYSTEM

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LANDSCAPE ARCHITECTS Landscape Address

INTERIOR DESIGNERS

CONSTRUCTION MANAGER

CONCEPT II SUBMISSION

PROJECT NAME

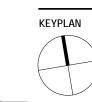
1201 North Royal Street

Alexandria, VA

PROJECT NUMBER 1201 N. Royal, LLC 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004

# **CONCEPT II SUBMISSION**

THIRD STREET



DEPARTMENT OF PLANNING & ZONING	
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SITE PLAN No.	
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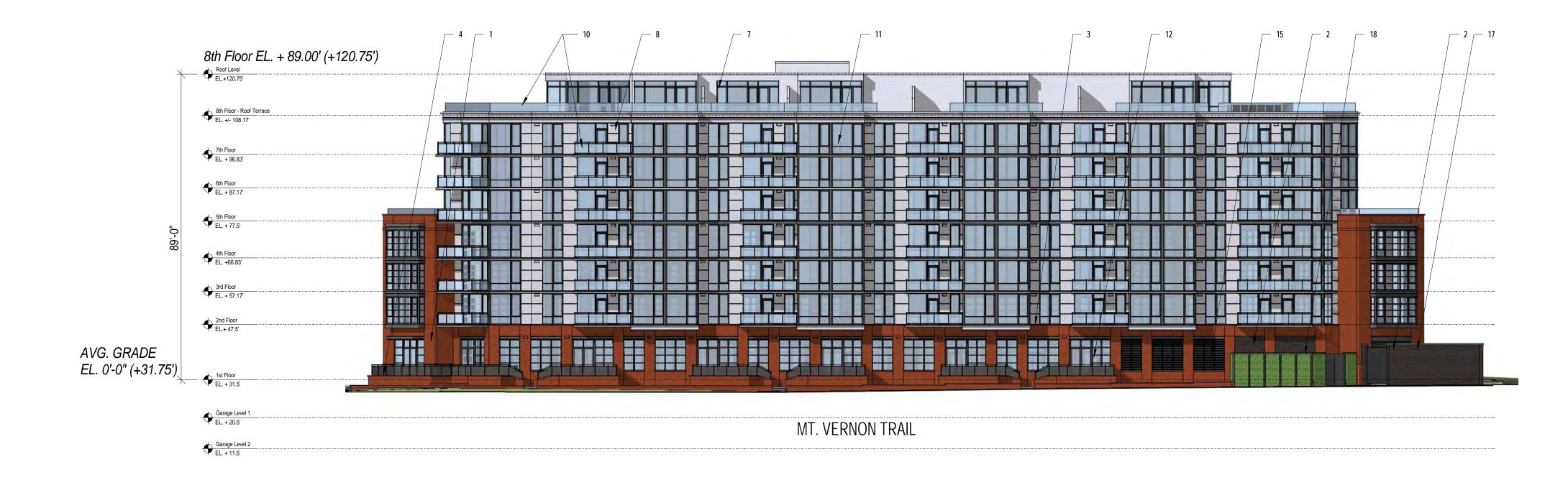
Building **Elevations - Color** 

A3-01c



1 DSUP - BUILDING ELEVATION - NORTH (COLOR)

SCALE: 1" = 20'-0"



2 DSUP - BUILDING ELEVATION - NORTHEAST (COLOR)
SCALE: 1" = 20'-0"

MATERIAL KEYNOTE LEGEND

1. BRICK - COLOR 1 2. BRICK - COLOR 2 3. CAST STONE - COLOR 1 4. CAST STONE - COLOR 2 5. METAL PANEL 1 6. METAL PANEL 2 7. METAL PANEL 3 8. RAINSCREEN SYSTEM

12. ALUMINUM DOOR SYSTEM 13. ALUMINUM STOREFRONT SYSTEM 14. METAL CANOPY 15. ALUMINUM LOUVER SYSTEM 16. OVERHEAD COMMERCIAL DOOR 17. TRANSFORMER ENCLOSURE 9. ALUMINUM RAILING SYSTEM 18. GENERATOR ENCLOSSURE

10. ALUMINUM & GLASS RAILING SYSTEM

11. ALUMINUM WINDOW SYSTEM

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CONSTRUCTION MANAGER

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PROJECT NAME

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Alexandria, VA

PROJECT NUMBER OWNER 1201 N. Royal, LLC 1455 Pennsylvania Ave., NW, Suite 200 Washington, DC 20004 OWNER CONTACT Whitney D.W. Smith MARK DATE 07.26.2018 PDSUP SUBMISSION



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Building

KEYPLAN

**Elevations - Color** September 18, 2018

A3-02



1 DSUP - BUILDING ELEVATION - EAST (COLOR)
SCALE: 1" = 20'-0"

MATERIAL KEYNOTE LEGEND

1. BRICK - COLOR 1 2. BRICK - COLOR 2 3. CAST STONE - COLOR 1 4. CAST STONE - COLOR 2 5. METAL PANEL 1 6. METAL PANEL 2 7. METAL PANEL 3

8. RAINSCREEN SYSTEM

11. ALUMINUM WINDOW SYSTEM 12. ALUMINUM DOOR SYSTEM 13. ALUMINUM STOREFRONT SYSTEM 14. METAL CANOPY 15. ALUMINUM LOUVER SYSTEM 16. OVERHEAD COMMERCIAL DOOR 17. TRANSFORMER ENCLOSURE 9. ALUMINUM RAILING SYSTEM 18. GENERATOR ENCLOSSURE

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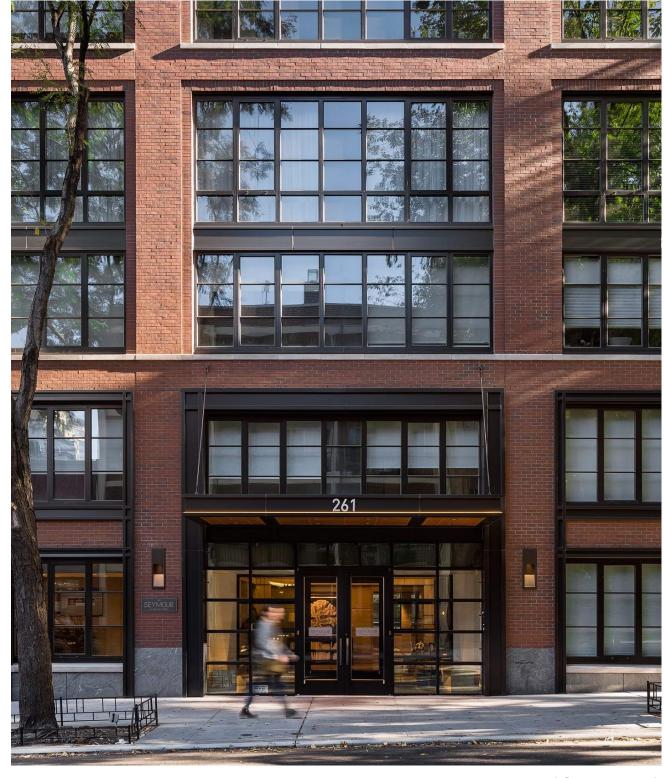
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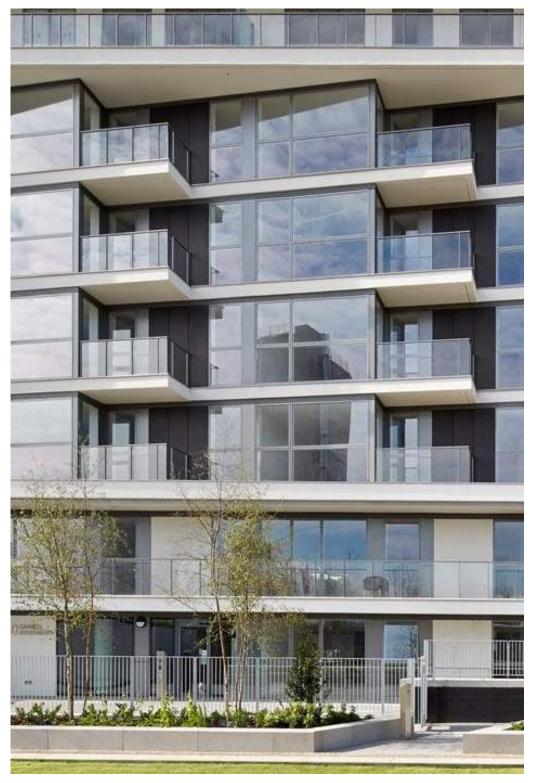
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**Elevations - Color** September 18, 2018

A3-03



Masonry and Metal Panel Base (Shoulders)



Glass and Panel Residential (Above)

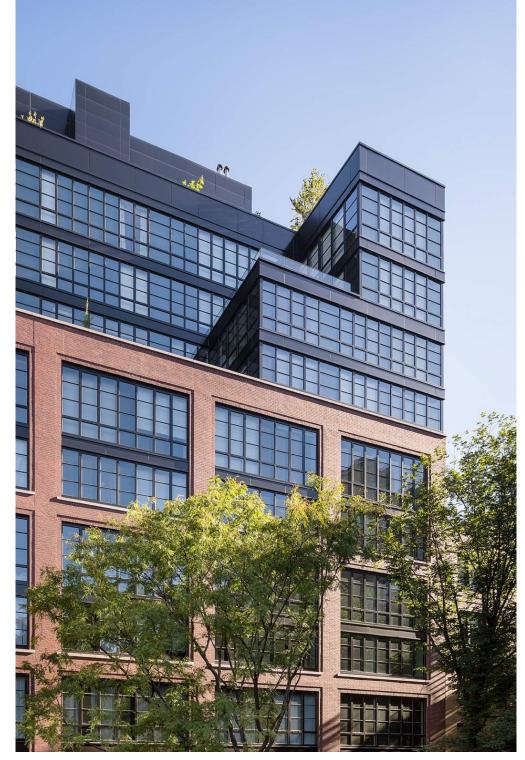


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1201 North Royal Street | Alexandria, VA

September 18, 2018





Masonry and Metal Panel Base (Shoulders) w/ Panel and Glass above



Metal Panel examples for corner Arts Loft Pavillion





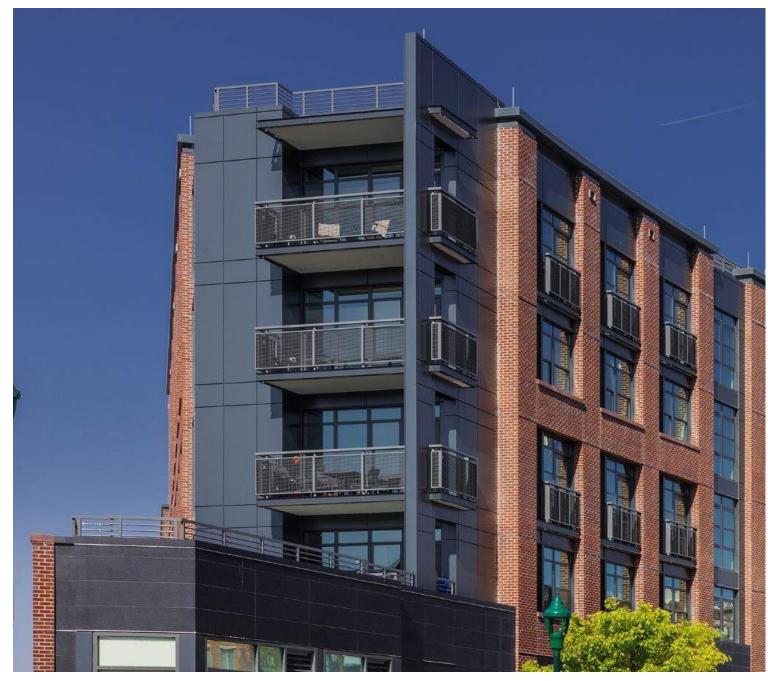


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1201 North Royal Street | Alexandria, VA

September 18, 2018





Mesh Panel Handrails



Glass Panel Handrails

ILLUSTRATIVE - FOR CONCEPTUAL PURPOSES ONLY

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CARR