

**PHASE IB ARCHAEOLOGICAL TRENCHING  
AND ARCHAEOLOGICAL TESTING OF SITES  
44AX0245 AND 44AX0246 WITHIN THE  
1300–1312 KING STREET PROJECT AREA IN  
ALEXANDRIA, VIRGINIA**

*by*

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*Prepared for*

**The Holladay Corporation**

*Prepared by*

**DOVETAIL**  
CULTURAL RESOURCE GROUP

**October 2021**



**Phase IB Archaeological Trenching and  
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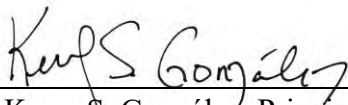
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## ABSTRACT

On behalf of The Holladay Corporation (Holladay), Dovetail Cultural Resource Group (Dovetail) conducted Phase IB-level archival research and archaeological trenching across the approximately 0.35-acre (0.14-ha) 1300–1312 King Street project area located in the Old Town section of Alexandria, Virginia. This work was conducted under Archaeological Protection Code Section 11-411 (City of Alexandria Archaeological Protection Code 1992).

The project area currently contains the buildings addressed at 1300–1302 and 1304 King Street and the parking lots and small building at 1306–1312 King Street. While no archaeological trenching was conducted in the open area behind 1300–1302 King Street due to buried utilities, it remains a part of the overall project area. The current study builds on an initial map review by EHT Tracerics in 2018 and 2019 as well as the Phase IA work conducted by Dovetail in 2020, which included background review and documentary research to determine the history of the parcel and to evaluate its potential to contain intact soils and National Register of Historic Places (NRHP)-eligible archaeological sites. As a result of Dovetail's Phase IA analysis, it was recommended that additional archival research and Phase IB archaeological trenching of the parking lot be conducted prior to any proposed construction.

As part of the Phase IB investigations, Dovetail excavated six trenches across the parking lot associated with 1304–1312 King Street in an effort to identify buried foundations and features associated with the nineteenth-century occupation of the lot. The trenches varied in size as each one was deliberately placed to focus on a specific area based on the prior Phase IA study. The trenching resulted in the identification of several features, including the foundation for the two-story brick building once located at 1310–1312 King Street, a brick pad associated with 1310–1312 King Street, a one-story brick outbuilding in the back of the lot associated with 1310–1312 King Street, and the foundation and interior of the former paint shop located at 1304 King Street.

The Phase IB investigations resulted in the identification of two archaeological sites: 44AX0245 (1310–1312 King Street) and 44AX0246 (1304 King Street) which illustrated the early-nineteenth- through early-twentieth-century use of the lots for various domestic, industrial, and commercial tasks. Given the intact nature of the architectural features across the project area, the potential for both sites to contribute additional data on the early-nineteenth-century built environment of Alexandria, and the overall lack of potentially eligible sites of this nature within 2 miles (3.2 km) of the project area, Dovetail recommended additional work at **site 44AX0245 (1310–1312 King Street) and site 44AX0246 (1304 King Street).**

Upon completion of the Phase IB work, Alexandria city archaeologists requested additional archaeological excavations in specific locations not fully examined during the Phase IB study or locations that had the potential to offer additional data on the use and built environment of the lot. One of the objectives was to determine if there were any clear divisions of space that could be seen archaeologically.

As part of this intensive-level archaeological investigations, Alexandria archaeologist drafted a Resource Management Plan (RMP) detailing the goals of these intensive-level investigations. The stated goals were to: one, examine the western portion of 1304 King Street (44AX0246), a section not excavated during the archaeological trenches, through mechanical excavation to look for subsurface features; two, mechanically strip an approximate 50-foot by 80-foot (15.2-m by 24.3-m) area in the believed side yard of the lot within site 44AX0245 to ensure no significant features, such as wells, were present; and three, mechanically excavate the basement associated with 1300 King Street and complete measured drawings and photographs of the feature.

The results of the intensive-level archaeological investigations further illustrated that sites 44AX0245 and 44AX0246 have the potential to contribute additional data on the early-nineteenth-century built environment of Alexandria. More specifically, the presence of intact architectural and archaeological features offered a wealth of data on the evolution of the lots represented by sites 44AX0245 and 44AX0246, especially the basement explored at site 44AX0245 which makes this site especially significant.

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# INTRODUCTION

On behalf of The Holladay Corporation (Holladay), Dovetail Cultural Resource Group (Dovetail) conducted Phase IB archival research and archaeological trenching across the approximately 0.35-acre (0.14-ha) 1300–1312 King Street project area, followed by intensive-level archaeological testing on select locations at 1300–1312 King Street. This work was conducted under Archaeological Protection Code Section 11-411 and in consultation with Alexandria Archaeology (City of Alexandria Archaeological Protection Code 1992). The project area is located in the Old Town section of Alexandria, Virginia, between Payne and West Streets, and approximately 0.75 miles (1.2 km) from the Potomac River (Figure 1–Figure 2, pp. 2–3). The lots associated with 1300–1312 King Street contain the buildings with the addresses of 1300–1302 and 1304 King Street and the parking lots and small building at 1306–1312 King Street.

The process leading to the Phase IB archaeological fieldwork began in 2018 when EHT Tracerics conducted a historic map evaluation of the project area (Eig et al. 2018, 2019). Based on their study, which was primarily focused on the standing buildings, the City of Alexandria requested additional work on the project area including background review, documentary research, and an aerial-based current condition assessment to determine the history of the parcel and to evaluate its potential to contain intact soils and National Register of Historic Places (NRHP)-eligible archaeological sites. The work was performed by Dovetail in 2020 (Blondino and Tawney 2020). Dovetail also performed a cut-and-fill analysis as part of this study to determine if undisturbed soils or archaeological features might be present. As no on-site investigations were carried out during this phase of work, the cut and fill analysis was designed to digitally assess the potential presence of intact archaeological resources that would require further study. Upon review of the EHT Tracerics and Dovetail documents, the City requested subsurface archaeological survey and additional archival research prior to ground-disturbing activities. Building upon the work completed by EHT Tracerics in 2018 and 2019 and Dovetail in 2020 (Eig et al. 2018, 2019; Blondino and Tawney 2020), the Phase IB work involved archival research and archaeological excavations within the open portions of the project area via the mechanical removal of the parking lot in six selected locations, labeled Trenches 1–6.

Research conducted during the Phase IB identified parcel-specific historic records to support the evaluation of any potential below-ground archaeological resources over 50 years in age. This data was used to determine the locations of the archaeological trenches placed to explore the subsurface deposits across the project area. This information was then used to determine if any identified resources were potentially eligible for inclusion in the NRHP.

Upon completion of the Phase IB work, Alexandria City archaeologists requested additional archaeological excavations in specific locations not fully examined during the Phase IB study or locations that had the potential to offer additional data on the use and built environment of the lot. One of the objectives was to determine if there were any clear divisions of space that could be seen archaeologically.

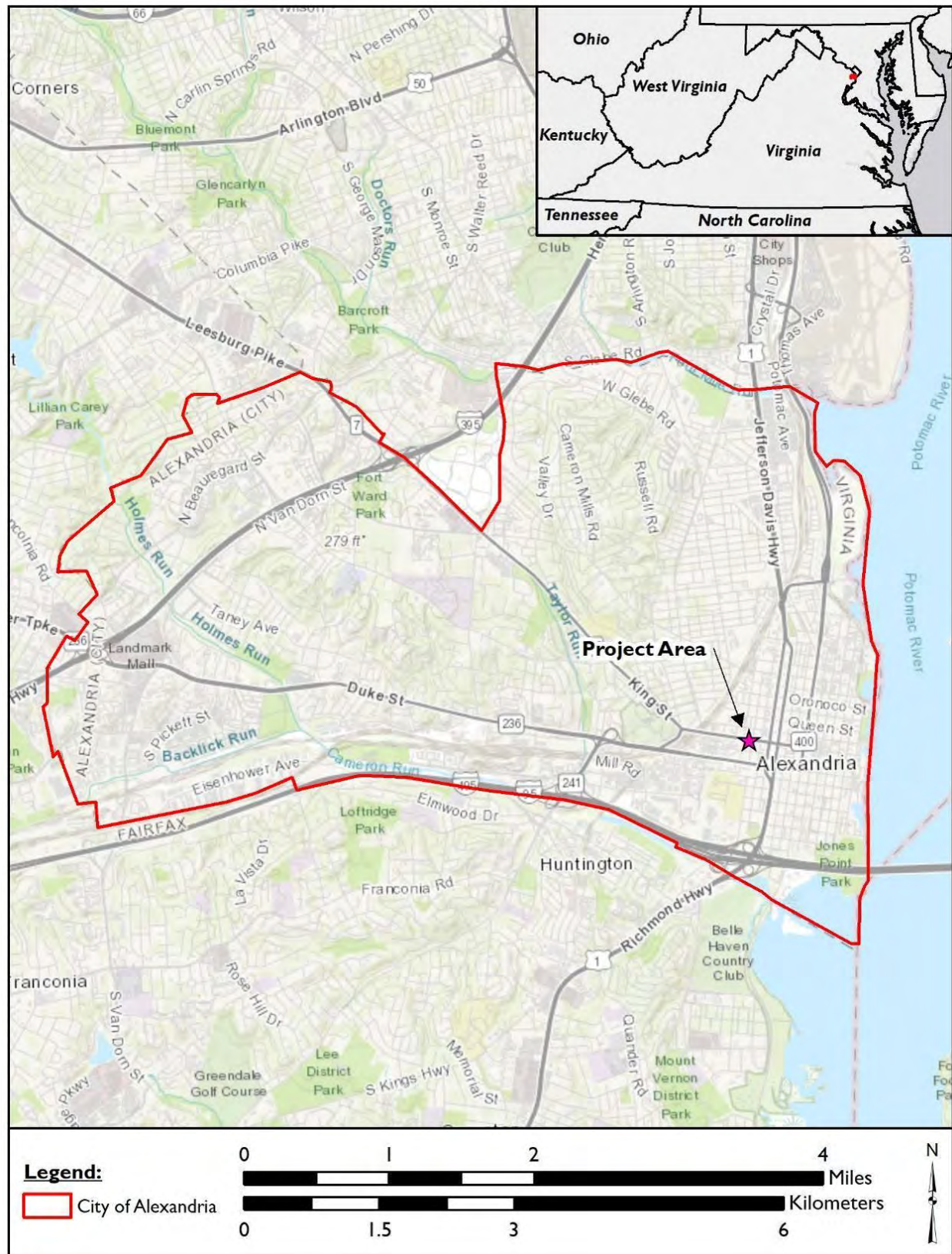


Figure 1: Location of Alexandria and the Project Area (Esri 2020a).

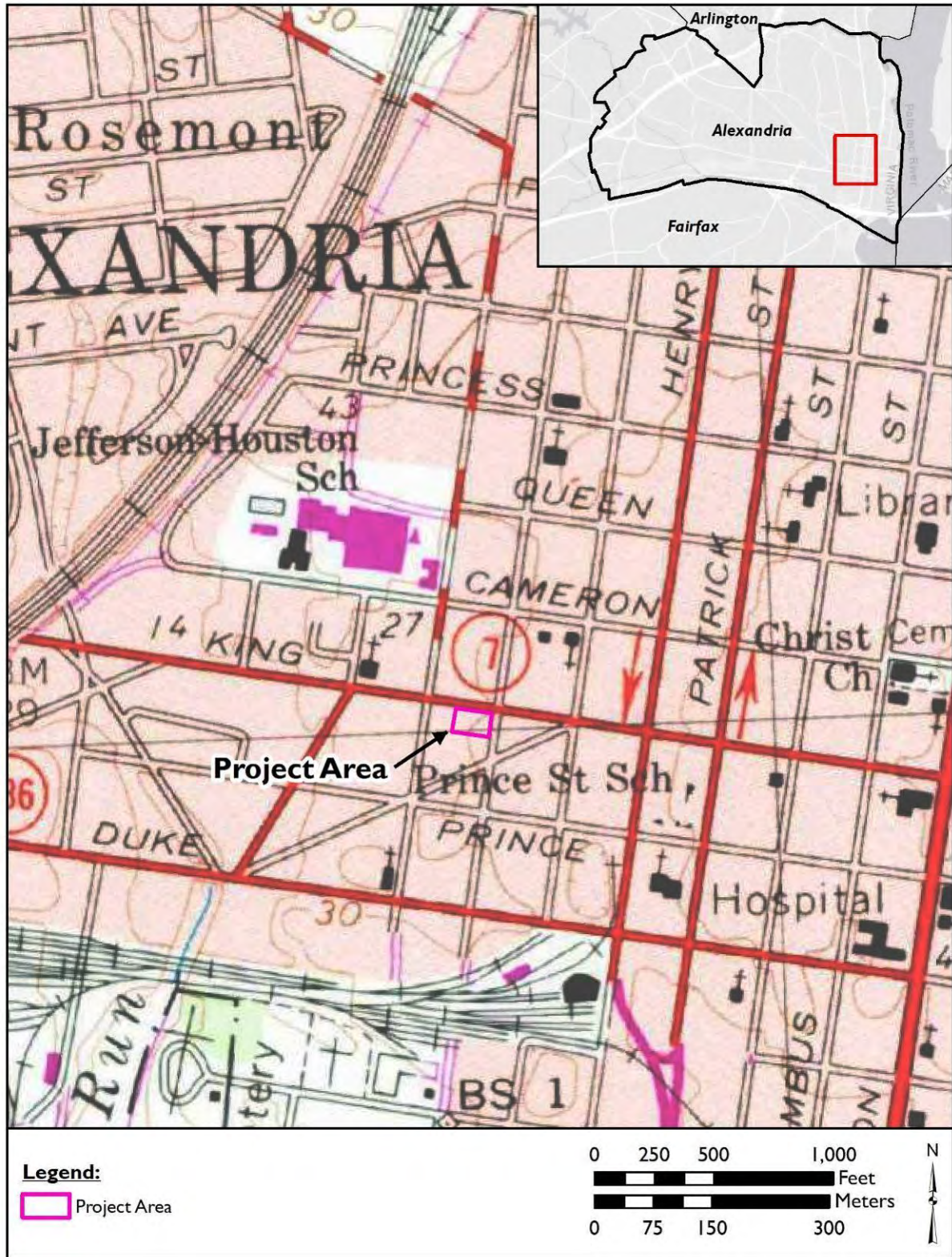


Figure 2: Location of the Project Area on the United States Geological Survey (USGS) Alexandria, Virginia, 7.5-Minute Digital Raster Graphic Mosaic (Esri 2020b).

As part of the intensive-level archaeological investigations, Alexandria archaeologists first drafted a Resource Management Plan (RMP) detailing the tasks required for these intensive-level investigations. The tasks were to: one, examine the western portion of 1304 King Street (44AX0246), a section not excavated during the archaeological trenches, through mechanical excavation to look for subsurface features (Task 1); two, mechanically strip an approximately 50-foot by-80 foot (15.2-m by 24.3-m) area in the believed side yard of the lot within site 44AX0245 to ensure no significant features, such as wells, were present (Task 2); and three, mechanically excavate the basement associated with 1300 King Street and complete measured drawings and photographs of the feature (Task 3).

The archaeological trenching was conducted in October and November 2020 by archaeologists Kerry S. González, Katie Merli, and Julie Chylsta. The intensive-level archaeological testing was conducted in March 2021 by Kerry S. González, Katie Merli, Julie Chylsta, and Alison Cramer. The archival study was performed by Danae Peckler. Kerry S. González served as the Principal Investigator. Ms. González exceeds the Secretary of the Interior's *Professional Qualification Standards* for archaeologist and historian.

As a previous historic map study and Phase IA investigation have been completed for the two lots at 1300–1312 King Street, a full historic context, environmental context, and background review have already been produced. As such, these sections are not included in this report. Eig et al. (2018, 2019) and Blondino and Tawney (2020) should be consulted for information pertaining to the Phase IA study.

## PROJECT AREA DESCRIPTION

The approximately 0.35-acre (0.14-ha) overall project area is located along the south side of King Street in the Old Town section of Alexandria, between Payne and West Streets and approximately 0.75 miles (1.2 km) from the Potomac River. Commerce Street runs diagonally to the south of the project area. For the Phase IB investigations, the project area contained the buildings located at 1300–1302 and 1304 King Street and the parking lots at 1306–1312 King Street (Photo 1; Figure 3, p. 6). The buildings at 1300–1302 and 1304 extend from the sidewalk of King Street approximately two-thirds of the way to the rear of the lots. The parking lot areas are open except for a small modern building at the south end of the lot at 1310–1312 King Street.

The intensive archaeological testing involved the examination of specific locations on the lots at 1300–1312 King Street. These testing locations (Task 1–3) were delineated by the Resource Management Plan (RMP) authored by the City of Alexandria archaeologists (Figure 4, p 7).

In terms of subsurface activity, several utilities traversed the parking lot and impacted the Phase IB testing strategy. Slight modifications were made to avoid all marked utilities. In the western portion of the project area at 1310–1312 King Street, buried electric and water lines ran in the southern and central section of the lot. In the parking area behind 1304 King Street electrical lines associated with the extant building and water lines extended both north-south and east-west in this location.



Photo 1: View of Northwestern Portion of Project Area, Facing Northwest.



Figure 3: Location of the Phase IB Project Area on Aerial Imagery (Virginia Geographic Information Network [VGIN] 2015).



Figure 4: Location of Task 1–3 Examined During the Intensive-Level Archaeological Testing on Aerial Imagery (VGIN 2015).

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## ARCHIVAL AND ARCHAEOLOGICAL METHODOLOGY

As previously discussed, this comprehensive report presents results of the Phase IB and intensive-level testing at sites 44AX0245 and 44AX0246. As such, the methods for each of these phases of work will be outlined within this chapter. The purpose of the Phase IB archaeological trenching was to assess the potential for intact subsurface features through archival research and subsurface exploratory trenching. The intensive-level archaeological testing was conducted to explore additional areas within sites 44AX0245 and 44AX0246. To accomplish these goals, archival and background research was conducted on the lots in an effort to collate detailed information on the history of the properties. Archaeological fieldwork for both phases aimed to better understand site preservation and function. The results of the archival and archaeological work were examined in concert and used to analyze the site within a proposed research framework.

### Phase IB Archival Research

Dovetail researched the historic occupation of the affected parcels, building upon work completed during EHT Tracerics' 2018 and 2019 investigations (Eig et al. 2018, 2019) as well as the February 2020 Dovetail Phase IA investigation (Blondino and Tawney 2020) (Table 1, p. 9). The goal of the first phase of research for this investigation was to identify property-specific information using deeds and other historic land, court, probate, census, newspapers, and tax records to pinpoint the names of individuals who owned and occupied the property over time.

Dovetail reviewed brief historic narratives on the 1300, 1304, and 1310 King Street properties, additional data provided by Deputy City Archaeologist, Dr. Garrett Fesler, of Alexandria Archaeology, and also consulted the findings of the Phase IA study to inform the fieldwork and analysis conducted for the current investigation (Blondino and Tawney 2020; Eig et al. 2018, 2019). Dovetail staff visited local repositories, including the records room at Alexandria Archaeology and the Library of Virginia, to gather various types of primary- and secondary-source records. A plethora of additional sources were obtained from online repositories like Ancestry.com, Newspapers.com, FamilySearch.org, the Library of Congress in Washington, D.C., the Library of Virginia's *Chronicling Virginia* database, and other genealogical websites. COVID restrictions, including long-term closures or greatly reduced hours, impeded the collection of archival data at many local repositories.

Table 1: Description of Phases of Work Conducted on the Project Area.

Phase	Description	Date of Work
Phase IA	Cursory review of occupation of lot, previous cultural resource studies, and assessment of archaeological potential	2018–2020
Phase IB	Additional archival research on occupation of lot and people who resided in the no longer extant buildings augmented by the excavation of mechanically excavated trenches	2021

Phase	Description	Date of Work
Intensive-Level Testing	Large-scale excavation of selected areas determined by Alexandria Archaeology	2021

## Intensive-Level Archival Research

Dovetail augmented existing research, gathering additional information on the occupational history of the project area, to provide a larger context for its interpretation. This supplementary research was conducted in association with previous investigations on the lots, which identified owners of the property from the early-nineteenth century to the early-twentieth century, and included a review of a number of primary and secondary historic sources with an emphasis on gathering details about the physical contents, occupants, uses, and evolution of the parcels within the project area.

Dovetail staff again visited the records room at Alexandria Archaeology and collected a wealth of primary-source materials from online repositories like Ancestry.com, FamilySearch.org, Newspapers.com, the Library of Congress in Washington, D.C., the D.C. Public Library's research databases, the Library of Virginia's *Chronicling Virginia* database, and other genealogical websites. However, COVID restrictions continued to limit the availability of archival data throughout this supplemental phase of work, as many local repositories remained closed or substantially reduced operations from March 2020–June 2021.

COVID restrictions on archival repositories and the limited availability of historic records online created gaps within the research conducted for this project. These gaps illustrate the difficulty of obtaining data during the pandemic and the challenge of intensively researching and clearly presenting the history of a project area comprising one half of an urban block in the City of Alexandria over the course of more than 220 years. Throughout this project, Dovetail's research identified nearly 150 names of different property owners and tenants historically associated with Lots 1, 2, and 3. A table presenting this complex dataset is included as an Appendix to this report, highlighting information from primary sources like historic land, court, probate, census, newspapers, and tax records, as well as secondary sources like local history publications and previous cultural historic resource studies.

## Phase IB Archaeological Trenching Methodology

The goals of the archaeological trenching were to assess the presence of potentially significant intact archaeological resources. The survey methodology employed was chosen with regard to the project's scope and local field conditions. Based on the previous work conducted on the project area, it was determined to have a high potential for archaeological sites over 50 years in age (Blondino and Tawney 2020; Eig et al. 2018, 2019).

Based on the Phase IA results, which included a cut and fill analysis as well as the archival research on historic development of this portion of Alexandria, the project area was judged to have a high potential for historic archaeological resources in particular. A cut and fill

analysis is often used to compare historic ground levels to modern to help determine if soil and fill have been brought in or removed from an area. To assess the potential for the project area to contain archaeological deposits, a total of six backhoe trenches were excavated to investigate for archaeological deposits. Each trench measured between 5 feet (1.5 m) and 9 feet (2.7 m) in width, with length varying due to buried utilities and extant buildings. Excavation of each trench ceased when intact deposits were encountered or when Occupational Safety and Health Administration (OSHA) limitations were reached. The side walls of each trench were scraped and carefully examined for artifacts and evidence of archaeological features. Following this inspection, each trench was recorded through written records and photographs, and the trench location was documented on project maps. The matrix from each trench was not systematically screened but was examined for artifacts during excavation.

One test unit (TU 1) and four shovel test pits (STPs) were excavated during the course of these investigations. TU 1 was located in Trench 1 and was excavated to further explore potential deposits within and around the extant foundations. TU 1 measured 3 by 3 feet (0.9 by 0.9 m) and was excavated in natural levels. STPs 1–3 were excavated in Trenches 2, 3, and 6. All soils from the TUs and STPs were screened through 0.25-in (0.6-cm) mesh. Artifacts recovered during the investigation were collected and bagged according to provenience. Profile photographs were taken and scaled drawings made of one wall. Each STP measured approximately 1.5 feet (0.5 m) in diameter and was excavated to a depth of 3 feet (0.9 m). All soil excavated from STPs was passed through 0.25-inch (0.6-cm) hardware mesh cloth. The stratigraphy of each STP was recorded. Trench, TU, and STP locations were recorded with GPS and plotted on topographic maps and aerial imagery.

## **Intensive Archaeological Testing Methodology**

The tasks associated with the intensive archaeological testing were to: one, examine the western portion of 1304 King Street (44AX0246), a section not excavated during the archaeological trenches, through mechanical excavation to look for subsurface features (Task 1); two, mechanically strip an approximate 50 foot by 80 foot (15.2 m by 24.3 m) area in what was the side yard of the lot to ensure no significant features such as wells were present (Task 2); and three, mechanically excavate the basement associated with 1300 King Street (44AX0245) and complete measured drawings and photographs of the feature (Task 3).

The modern overburden was first removed from selected areas across the site through the use of a backhoe provided by the client. Using a smooth-edged bucket and under the supervision of Dovetail staff, the backhoe driver scraped the earth until features and/or subsoil were exposed. Soil removed during the backhoe excavation was not screened, although a sample of artifacts noted during the excavation was retained. Work ceased once the area was sufficiently explored and all exposed features were fully uncovered in plan. Concurrent with the stripping, Dovetail used shovels and trowels to clean all exposed surfaces and record subsurface remains. All exposed archaeological deposits and boundaries of stripped areas were mapped using a total station. All features were mapped, photographed, and recorded during and after the mechanical stripping of the site.

Two features were selected for formal excavation. These were bisected and excavated in natural levels due to the fact that most strata were less than 0.4 feet (0.1 m) in depth. Those strata that were greater than 0.4 feet (0.1 m) in depth showed evidence of rapid deposition, thereby making the excavation of arbitrary layers a less time-efficient excavation method that would not yield interpretively significant results. All feature soil was screened through 0.25-inch (0.6-cm) mesh.

All cultural material recovered during the investigation was collected and bagged according to provenience. Profile photographs were taken and scaled drawings were made of all features. Overview photos were also taken of each site to document the sites in plan. The locations of all features, including detailed points of the basement, were plotted using a total station.

## **Lab Methods**

Archaeological specimens collected during the excavations were transported to the Dovetail laboratory in Fredericksburg, Virginia for processing and analysis. Prior to washing, each bag was cross-referenced with the field log to confirm provenience information and contents. Stable objects were washed with tap water and a soft brush with special attention paid to edges of ceramics and glass to better aid in identification. After washing, the artifacts were grouped by provenience and placed on a drying rack. Once dry, the artifacts were cataloged for analysis. Specific characteristics were described using currently accepted terminology and were entered into an Access database.

Following the cataloging, all artifacts were prepared for final curation. This was completed according to the City of Alexandria Collections Management Standards. This process included: one, labeling all artifacts using acryloid B-72 clear lacquer 25 percent solution and archival, acid-free ink pens; two, bagging all artifacts in 4-mil plastic ziplock bags; and three, organizing and labeling each Hollinger box.

As part of the cataloging process historic artifacts were divided into material type (Architectural [ARC], Arms and Ammunition [ARM], Ceramic [CER], Glass [GLS], Metal [MET], Organic [ORG], Other [OTH], and Personal [PER]) for basic analysis. The artifacts were then identified as to specific wares or manufacturing techniques. Architectural artifacts generally included any item that was used in the construction of a building such as nails, window glass, brick, cut stone, mortar, plaster, roofing slate, etc. Specifically, nails were recorded as hand-wrought, machine cut with wrought heads, machine cut with machine cut heads, and wire (galvanized and ungalvanized) (Adams 2002; Nelson 1968). Window glass was identified by color (i.e., green, aqua, clear), and brick was defined as either hand-made or machine-made. The Arms and Ammunition category included flints, bullets, bayonets, sabers, mortar shells, etc. that were used during battle activity or for personal use such as hunting.

Ceramics were subdivided into refined and coarse earthenware, refined and coarse stoneware, and porcelain. Decoration, such as applied paint, transfer print, and molding, were also noted, and each fragment was examined to determine specific vessel aspect (i.e., body, base, handle, rim). Specific ware types and manufacture dates were identified using

Bartoviks (1980), the Digital Archaeological Archive of Comparative Slavery (DAACS) (2006), Florida Museum of Natural History (2019), Greer (1970), Maryland Archaeological Conservation (MAC) Lab (2015), Noël Hume (1991), Pittman et al. (1987), and South (1977). Glass included all domestic glass fragments, which were catalogued by manufacturing techniques, as well as color, use, attribute, and decoration (Jones and Sullivan 1985; Madden and Hardison 2002). This category was broken down by vessel and bottle glass distinctions to help identify their possible use without seeing the actual artifact (e.g., a piece of glass representing a candy dish versus a wine bottle).

Metals were categorized by function, if possible, shape or form, and type of metal. Organic included shell, bone, and any other culturally but naturally occurring object. The Other category included items that did not fit into a more specific category, such as slag, ceramic insulators, and porcelain toilet fragments. Personal items consist of buttons, pipe fragments, military accoutrements, jewelry, etc.

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## RESULTS OF ARCHIVAL RESEARCH

Archival research has been part of all phases of work. This includes the first Tracer studies (Eig et al. 2018, 2019), the Dovetail Phase IA (Blondino and Tawny 2020), the Phase IB survey, and the Phase II testing. Because the histories overlap, with each set of research adding to the knowledge base, a single history chapter is presented here to set the stage for the archaeological results and to present a holistic context for feature identification and analysis. This chapter is divided into three sections. First, a discussion of the block as a whole is presented to understand the overall development and change in the landscape. Second, a history of site 44AX0245 is described. This is followed by a history of site 44AX0246.

### Development of the 1300 Block of King Street

The general introductory research included collecting data on property owners, tenants, and the known contents of lots on the south side of the 1300 block of King Street between Payne and West Streets to gain greater contextual understanding of the block's historical development. This section highlights the general nineteenth-century history of the block, including a chronological discussion of its evolution. To clarify the findings of research conducted for this project, these three divisions will be generally referred to as Lot 1 (1300), 2 (1304), and 3 (1310) as graphically depicted in (Figure 5 and Figure 6, p. 16).

The south side of the 1300 block of King Street was annexed into the city limits of Alexandria in 1790 and developed slowly in the early-nineteenth century. Lots on this block were created by prominent local merchants, John Dundas and Colonel Francis Peyton, in the 1790s and first quarter of the nineteenth century. Peyton, Dundas, and some of their heirs were the first to develop its lots, retaining ownership of several parcels for generations into the mid-nineteenth century. Early deeds and tax records from the 1800s and 1810s suggest that lots therein were generally 24–25 feet (7.3–7.6 m) wide and 100 feet (30.4 m) long, extending south from King Street to a 12-foot-wide (3.6-m) alleyway (Alexandria City Deed Book [ACDB] C:6; Alexandria Tax Records [ATR] n.d.). However, clear dividing lines were not established in this early period of development and remained a matter of dispute for some lots into the 1850s. Today, the block contains just six parcels ranging between 16.9 feet (5.15 m) and 79.1 feet (24.1 m) wide; no two lots share the same width (City of Alexandria 2021).

At the beginning of the nineteenth century, Alexandria's "west end" was increasingly used for industrial purposes with tanneries, slaughterhouses, factories, blacksmiths, and other businesses occupying land at the periphery (Mullen et al. 2009:22). In 1803, a local ordinance passed that banned such activities within the city limits, pushing industry further west while "the people involved in these industries often established their homes nearby" (Mullen et al. 2009:22). Archaeological and historical work in this area was conducted and synthesized by Schweigert (1988).

One of the block's earliest occupants is believed to have been a free Black "shopkeeper and oysterman" named Peter Paris (ATR n.d.; Miller 1992:346). In 1801, Paris (also spelled

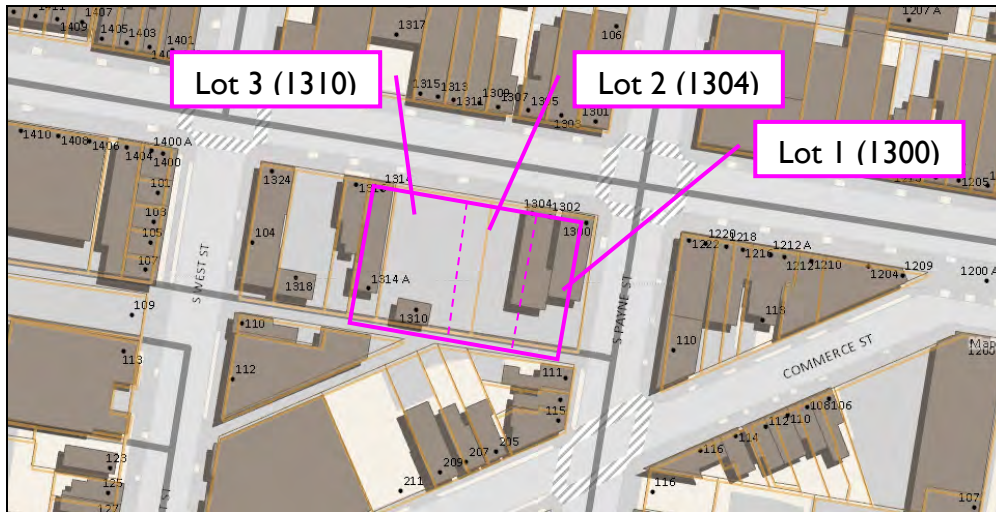


Figure 5: Detail of City of Alexandria GIS Parcel Viewer Map Showing Recent Building Footprints, Property Boundaries, and Street Numbers in the Project Area (City of Alexandria 2021). Pink boxes denote divisions of project area into Lots 1, 2, and 3 to clarify the findings of this investigation. Image not to scale.

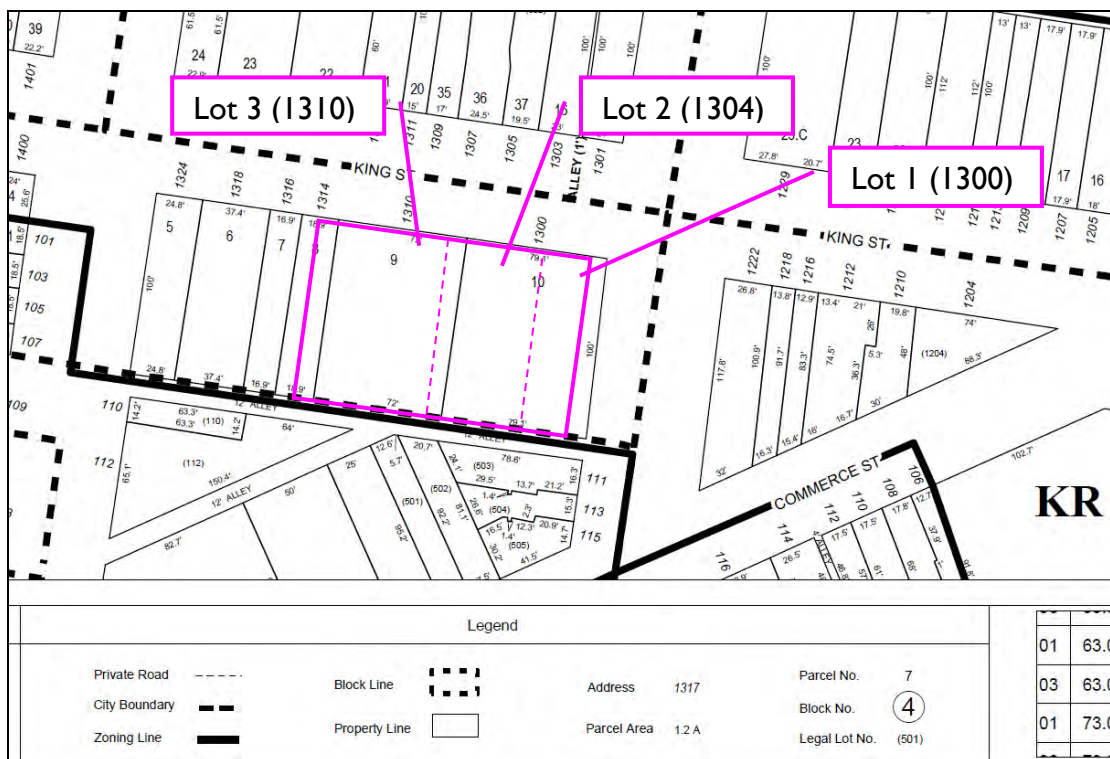


Figure 6: Detail of Alexandria, Virginia, Assessment Map (Sheet 63.04) Showing Map Legend, Parcel Boundaries, Street Numbers, and Lot Sizes in the Project Area (City of Alexandria 2021). Magenta boxes denote divisions of project area into Lots 1, 2, and 3 to clarify the findings of this investigation. Image not to scale.

Parris) purchased a 24-foot (7.6-m) 8-inch (0.2-m) by 100-foot (30-m) lot of land from John Dundas, Francis Peyton, and their wives, that began at a point 49.5 feet (15 m) east of the West Street intersection—land within the lots currently addressed as 1316 and 1318 King Street (ACDB C:6). By 1804, local tax records reported Paris as residing thereon in what was likely a small frame dwelling valued at \$150, which he appears to have expanded or improved the following year when its value increased to \$450 (ATR 1804, 1805). Just west of Peter Paris' dwelling, Francis Peyton had erected a two-story building at the corner of King and West Street. This is likely the extant building currently addressed as 1322 King Street that was valued at \$1,500 for which Peyton assessed in 1813 (ATR 1813). See Appendix F (p. 151) for more details about Peter Paris.

Within the project area, the oldest extant architectural resource is the two-story brick building on Lot 2, now addressed as 1304 King Street, that was constructed for Ann Eliza Peyton on land she purchased from Peyton and Dundas between 1800 and 1805 when she sold the property to John McKinney (Eig et al. 2018:5; Miller 1992:30). Tax records indicate that McKinney (also spelled McKenney) owned and occupied the 70-foot-wide (21.3-m) lot extending west from the corner of King and Payne Street from 1805 until around 1807. The local 1808 census identified "John McKenney" in the third ward as a "U.S. Officer," and a "John McKinney" as the same in the second ward, suggesting that he may have occupied more than one dwelling at that time (Miller 1992:344, 345). From 1809 to 1815, McKinney also served as a director of the Domestic Manufacturing Company, an association headquartered along King Street that promoted the production and sale of various textiles, initially establishing the organization along with Clerk of the Court of Alexandria, George Deneale, merchant Hugh Smith, John Longdon, and James Irwin (Miller 1992:109–110; Miller 1992:344, 345).

McKinney was renting the property in 1813 when he subdivided it, selling a 24-foot-wide (7.3-m) parcel at the corner of King and Payne to Benjamin Baden (ACDB W:468; ATR n.d.). Within a year of purchasing the corner property that is now Lot 1, Benjamin Baden erected the extant two-story brick building, then valued at \$1,800, currently addressed as 1300 King Street (ATR 1814; Eig et al. 2018:5). The 1808 local census identified Baden as a brickmaker and, although he does not appear to have resided at the dwelling and store he had built on Lot 1, it is likely that he supplied the materials, if not the design and labor as well, for its construction (Miller 1992:345).

In 1813 and 1814, Baden's corner building in Lot 1 and McKinney's property in Lot 2 was rented to a young man named David Lupton and his family (ATR n.d.). Described as "a respectable merchant of this town" when he died at the age of 29 in November 1814, Lupton's widow and minor children continued to reside in the dwelling on Lot 2 for another year (ATR 1815; Pippenger 2005:62; Wardell 1986:76). Tax records indicate that Lupton's widow also rented three undeveloped parcels west of Lot 2 in 1815, extending roughly 75 feet (22.9 m) to the center of the block and encompassing Lot 3, then owned by two executors of John Dundas' estate, James H. and William H. Dundas (ATR n.d.). No other individuals are known to have occupied or made use of all three lots in the project area at the same time.

The land in Lot 3 remained vacant into the second decade of the nineteenth century and was clouded by financial, legal, and kinship matters between the Peyton and Dundas families after the deaths of John and Agnes Dundas in 1813 and 1815, respectively (ATR n.d.; Wardell 1986:35). The administration of both Dundas' estates included various heirs, executors, creditors, and debtors, likely slowing any efforts to develop or sale any real estate. Furthermore, Peyton and Dundas' use of annual "ground rent" payments—providing individuals like Peter Paris with a deed and legal right to occupy their land and own any buildings thereon, while retaining ownership of the lot itself—added complications and delayed the development of some lots (ACDB C:6; Arlington County Chancery Causes 1846). With various parties holding an interest in these lots, conflicting distances and disputed boundary lines persisted in historic records into the 1850s.

Conflicting property lines and overlapping ground rent rights impacted the initial development of Lot 3, where local grocer John Lanham contracted with John Cohagen in 1817 to purchase a 24-foot, 8-inch-wide (7.55-m) lot that had recently been subdivided and sold by James H. Dundas (ACDB M2:515). In 1819, John Lanham began building a two-story brick dwelling and store on the property valued at \$2,500 when it was completed in 1820 (ACDB M2:515; ATR n.d.). Lanham relocated his business from Royal Street to the new building and began advertising liquor, gunpowder, tobacco, salt, sugar, butter, and other commodities for sale (Alexandria Gazette 1820:3). He possibly moved due to the increased factories and mills at the edge of town.

Financial booms and busts in the first and second quarter of the nineteenth century further shaped the block's development, exhibited by the high turnover rate of building tenants and frequent property sales (ATR n.d.). Between 1820 and 1850, more than 18 different tenants occupied Lots 1 and 2, while the properties changed ownership six times according to local tax records. In this same period, at least eight different tenants occupied Lot 3 while it was bought, sold, expanded, and consolidated into a single parcel with four different owners by 1851 (ATR n.d.).

Growth and development at the west end of town accelerated in the decade leading up to the Civil War, particularly after the Orange and Alexandria Railroad was constructed in the early 1850s (Mullen et al. 2009:31). Smaller houses like that of Peter Paris and Mary Hayes, and a two-story, brick dwelling constructed circa 1817 for Francis Peyton on land overlapping with the western edge of Lot 3, were demolished in the early 1850s and soon replaced by larger, modern buildings (ATR n.d.). Two such buildings constructed for R.G. Violett, each three-story, brick residences on what would now be 1316–1318 King Street, were advertised for rent in 1853 with gas fixtures and a cistern in the yard (Figure 7, p. 19) (Alexandria Gazette 1853:2).

During this period of prosperity, nearly every lot on the 1300 block was owned by absentee landlords, including wealthy Alexandria merchants like William Gregory, R.G. Violett, and Hugh Smith, who held onto these properties into the 1870s as many converted solely to residential use (ATR n.d.). Wheelwright Josiah Ford was an exception to this trend as he transitioned from renting to owning Lots 1 and 2 in the early 1860s (ATR n.d.). Ford also became a landlord, renting space to young tradesmen and entrepreneurs like Joseph Drifus

who started a “hoop skirt manufactory” in the corner building of Lot 1 during the winter of 1863–1864 (Figure 8, p. 19) (Alexandria Gazette 1863a:4, 1864:3).

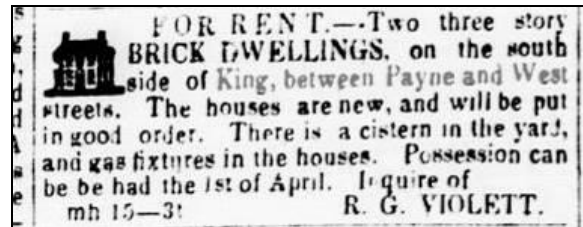


Figure 7: Advertisement Placed by R.G. Violet for Newly Constructed Dwellings Immediately West of the Project Area (Alexandria Gazette 1853:2).

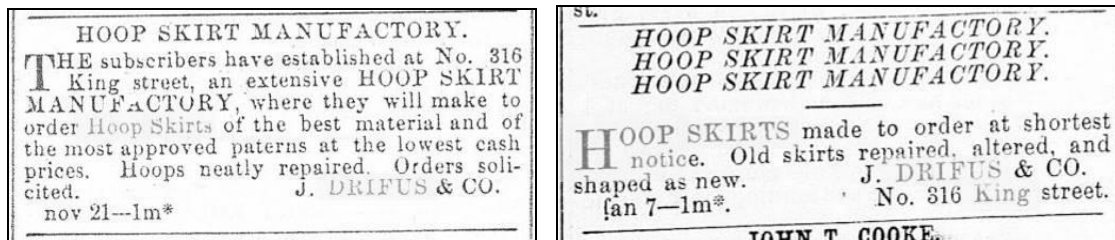


Figure 8: Advertisements Placed by Joseph Drifus for Hoop Skirt Manufactory on Lot 1 in 1863 (Left) and 1864 (Right) (Alexandria Gazette 1863a:4, 1864:3).

At either end of the 1300 block, the corner buildings and lots were used for a mix of residential, commercial, and light-industrial purposes throughout the second half of the nineteenth century and into the early-twentieth century. Ford’s wheelwright and blacksmith business transitioned into a tin shop and grocery before becoming the pharmacy of William D. Hudson shortly after the turn of the twentieth century (Figure 9, p. 20) (ATR n.d.; Alexandria City Directory n.d.). Residential use persisted throughout the block as various late-nineteenth and early-twentieth-century records noting that many households also included boarders (ATR 1891; U.S. Census 1900, 1910, 1920).

By the second decade of the twentieth century, properties across the block were being readapted by an increasingly number of commercial businesses. During this period, a new commercial store was constructed at 1314 King Street that was initially occupied by Yiddish-speaking Russian grocer Max Berman, before it became the Temple Shoe Shop (ATR 1910; Sanborn Fire Insurance Company 1907, 1912; U.S. Census 1920). Other commercial enterprises along the street in the 1920s included the Baker Motor Company and Howard’s Barber Shop at 1300 King Street, Randolph Ramer’s restaurant at 1316 King Street, and Sylvester Breen’s printing shop that soon became the Cardinal Athletic Club at 1322 King Street (Hill Directory Company 1920, 1924, 1926). Sometime between 1928 and 1930, the Aero Automobile Company demolished the 1820 dwelling on Lot 3 to create a used car lot (Figure 10, p. 20) (ATR n.d.; Hill Directory Company 1928, 1930).

During the second half of the twentieth century, selective demolition impacted some properties on the block while most all of the buildings were reallocated solely to commercial uses. Sometime after 1959, the western end of the 1300 King Street building on Lot 1 was

removed, including the area previously identified as an automotive repair shop, and the entire property readapted into a restaurant along with that at 1304 King Street on Lot 2 (Figure 11, p. 21) (Sanborn Fire Insurance Company 1959).

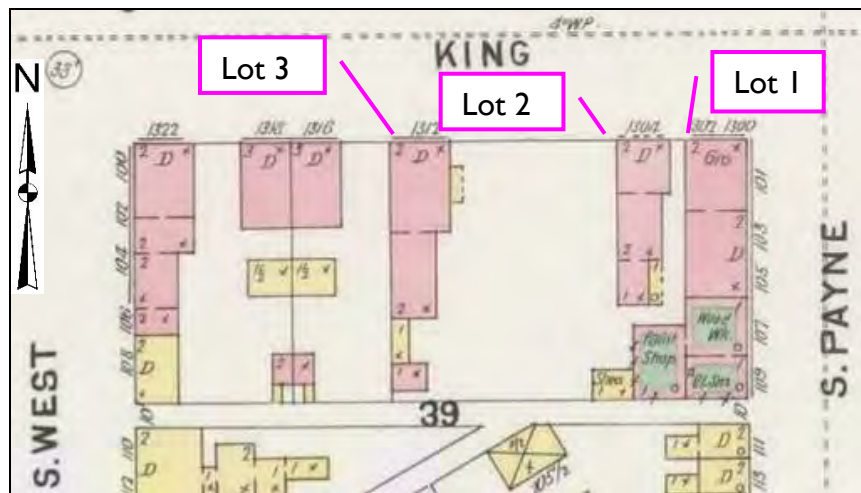


Figure 9: Detail of South Side 1300 Block of King Street in 1896 Showing Buildings on Lots 1, 2, and 3 (Sanborn Fire Insurance Company 1896). Map not to scale.



Figure 10: Detail of 1941 Fire Insurance Map of Alexandria Showing Lots 1, 2, and 3 (Sanborn Fire Insurance Company 1941). Map not to scale.



Figure 11: Detail of 1959 Fire Insurance Map of Alexandria Showing Lots 1, 2, and 3 (Sanborn Fire Insurance Company 1959). Map not to scale.

The information on the general landscape and overall block changes to this area aids in the understanding of the archaeological remains found during this study. The next two sections take the data that was just outlined and focus in on the two recorded sites. To best illustrate the historic development, occupants, and uses of Lots 1, 2, and 3 over the course of the nineteenth century and into the early-twentieth century, data gathered from various tax assessments, newspapers, city directories, census, court, probate, and land records has been compiled in a table presented in Appendix A. Additional historic details may also be found in previous project area studies (Blondino and Tawney 2020; Eig et al. 2018, 2019).

## History of Site 44AX0245

Site 44AX0245 is situated within what has been referred to as Lot 3 for the purpose of the archival section (see Figure 5 and Figure 6, p. 16), and contains remnants of John Lanham's 1820, two-story, brick dwelling and store. This building has been assigned various street numbers over time and was identified as 326 King Street as early as 1863 (Alexandria Gazette 1863a). By 1891, the property's address had changed, appearing as 1310 or 1312 King Street into and throughout the twentieth century (ATR 1891).

The size of the parcel associated with Lanham's dwelling also changed over time. Initially, lots across the block were designed with widths between 24 and 25 feet (7.3 and 7.6 m); however, much confusion surrounded parcel boundaries within Lot 3 as the land was rented, divided, inherited, and sold by Francis Peyton, John Dundas, and their heirs in the first quarter of the nineteenth century. Conflicting distances appeared in various land records associated with the parcel(s) in Lot 3 into the 1850s.

Over the course of more than 100 years, Lot 3 was owned and occupied by many different people and used for a variety of purposes. To summarize this wealth of information, a chronological listing of individuals associated with the property was compiled into a table along with minor details from tax records, census records, and city directories (Table 2, p. 23).

Land in Lot 3 was clouded by financial, legal, and kinship matters between the Peyton and Dundas families after the deaths of John and Agnes Dundas in 1813 and 1815, respectively (ATR n.d.; Wardell 1986:35). John Lanham, the first known occupant of Lot 3, erected a building thereon shortly after purchasing a 24-foot, 8-inch-wide (7.55-m) lot from John Cohagen in 1817 (ACDB M2:515; ATR n.d.). Cohagen was a Director of the Mechanics Bank of Alexandria at that time whose name does not appear in conjunction with this property in local tax records; therein, John McCobb was listed in association with this undeveloped 24-foot, 8-inch (7.55-m) parcel from 1815–1817 (ATR n.d.). It is unclear how, or if, John McCobb or John Cohagen used the “vacant” lot between lands of James and William Dundas and Francis Peyton. Tax records reveal that a small two-story brick building was constructed on Peyton's land between 1816 and 1817 just west of Landon's property, while construction of Landon's building began in 1819 and was completed by 1820 (ATR n.d.).

John Lanham placed a notice in August 1820 announcing his relocation to “the upper end of King Street, opposite the ware-house of Mr. James Sanderson,” and plans to sell his former shop and residence on Royal Street (Figure 12, p. 25) (ACDB S2:575; Alexandria Gazette 1820:3). Census records indicate that Lanham was a white male between 26 and 45 years of age, who resided in the house with his wife (over 45 years old) and three girls (between 10 and 16 years old) in January 1821 (U.S. Census 1820). One free Black female, 10 to 26 years old, also lived with the family at this time (U.S. Census 1820).

A few years after construction was completed, John Lanham sold his property in Lot 3. The reason for this sale remains unclear, but likely stemmed from a mortgage or other type of debt. Given the timing of this transaction, an advertisement by auctioneer S.A. Marsteller on January 20, 1823 is believed to describe Lanham's property (Figure 13, p. 25) (Alexandria Gazette 1823:3). The deed describing this sale was written in late February 1823 and likely delayed by the challenge of establishing a clear title to Lanham's lot. Within the month between this advertisement and the official transaction, Lanham obtained an additional 3 feet (0.9 m) of land along the west side of his property from Francis Peyton and John C. Vowell—creating a 27-foot, 8-inch-wide (8.4-m) parcel that began 122 feet, 11 inches (37.2 m) from the west side of Payne Street and extended to a point 150 feet, 7 inches (45.9 m) from the same (ACDB M2:515).

Table 2: Consolidated List of Lot 3 Tenants and Owners. Note individuals that simultaneously owned and occupied the property are in bold type.

Time	Lot 3 Tenants			Lot 3 Owners		
General Period	1306–1308 King	1310 King	1312–1314 King	1306–1308 King	1310 King	1312 King (historically overlapped with 1314 King)
1 <sup>st</sup> quarter 19 <sup>th</sup> century	Francis Peyton/ Peyton & Dundas			Francis Peyton/Peyton & Dundas/Heirs of John Dundas		
	vacant	vacant	vacant			
	David Lupton/Mrs. Lupton 1813–1815			Wm H. Dundas/John H. Dundas/Estate 1813–1830	James H. Dundas 1807–1815	
	vacant	Lanham 1817-1823, grocer	Robt A. Mills 1817		John McCobb 1816–1817	John Lanham 1817–1823
	vacant		Wm Phillips 1818			
	vacant		Jeremiah Fugate 1819			
	vacant		James Boyd 1821			
	vacant		Caroline Butler & Mr. Jones 1822		John C. Mandell 1823	
	vacant	Capt. Turpin 1824	Nelly Goddard 1824		Jacob Douglas 1823–1846	Francis Peyton/Estate 1815–1851
	vacant/"Wagon lot"	John Wren 1826	Widow Boyd 1824			
Thos Chinz/Ching 1827–1830, grocer		John Rumney 1827				
Kurtz & Barton/Richard C. Barton/Barton & Henry Burton 1830–1833, grocer		Millie Page 1829-1830, "colored"				
2 <sup>nd</sup> quarter 19 <sup>th</sup> century			Quintin Barker 1831-1832			
	Quintin Barker 1834–1843, grocer		Elijah Waller 1836			
			Henry Bright 1837–1838			
2 <sup>nd</sup> quarter 19 <sup>th</sup> century	Jacob Douglas, self-occupied 1843		Ann Zimmerman 1843–1846			
2 <sup>nd</sup> quarter 19 <sup>th</sup> century	Joseph Grigg/Jos. Grigg Sr. 1846–1851, "merchant"		Jonathan Tippet 1847	William Gregory/Estate 1846–c.1877		
				Francis Peyton/Estate 1815–1851		

Time century	Lot 3 Tenants		Lot 3 Owners	
		Jacob Zimmerman 1848		William Gregory/Estate 1851–c.1877
3 <sup>rd</sup> quarter 19 <sup>th</sup> century	Joseph Grigg Sr. & Samuel Grigg 1852–c.1854 (2 lots)			
	John M. Johnson 1855			
	S.H. Martin c.1870–1871			
	Ethel Melburn 1873			
	Eli H. Janney/Major E. Janney 1875–1877, "patentee"			
4 <sup>th</sup> quarter 19 <sup>th</sup> century	John Turner, C. Moss, Thos Parsons, Mack Perryner, James Griffith, Edward Smith c. 1891		Mrs. E.G. Ashby 1877–1895	
	George Hall 1895			
	Ernest C. Lyles 1898, "cigarmaker"			
	Lambert Lyles 1899–1902, "Clerk of the Market" and "Market Master," with two boarders in 1900 Census (Phillip & Jane Parks)		Owen G. Newgent 1895–1903	
1 <sup>st</sup> Quarter 20 <sup>th</sup> century	Henry Cheshire "carpenter," Andrew Cheshire [Sr.] "express," and Andrew Cheshire, Jr. "laborer" 1904–1905		Andrew Cheshire/Estate 1903–1919	
	Andrew Cheshire 1907-c.1914, "expressman, City Wagon"			
	Mollie H. Maupin/Edward A. Maupin (son, "machinist at torpedo plant") 1916–1920		Graham & Ogden 1919	
			Ralph A. Steele & Alexandria Amusement Co. 1919–	
2 <sup>nd</sup> quarter 20 <sup>th</sup> century	E.H. Magruder "Upholsterer" 1926 (h Dick, Rosemont Pk)			
	Aero Auto Co used car lot [building demolished between 1928–1930]			

**Removal.**

**JOHN LANHAM** has removed to the upper end of King-street, opposite the ware-house of Mr. James Sanderson, where he offers for sale the following articles:

- 3 pipes 4th proof Cogniac brandy
- Jamaica spirits
- Holland gin
- West India rum
- Gunpowder, imperial, and young hyson

Also

- Ground allum and blown salt
- Leaf and brown sugar
- Chewing tobacco
- Pickling vinegar
- Fresh butter

And a variety of other articles in the grocery line.

7t      august 16


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**Public Sale.**

**ON TUESDAY** next, the 22d inst. at 12 o'clock, I will offer for sale, on the premises, that two story frame house now occupied by Charles Pascoe, on Royal street, opposite the Gazette office. It is one of the best stands in town for a shop, and has been occupied for a number of years as such.—  
Terms made known at the place of sale.

**JOHN LANHAM.**  
7t      august 16

Figure 12: August 1820 Advertisements of John Lanham (Alexandria Gazette 1820:3).



**AUCTION SALES.**

**Sale without reserve.**

**ON WEDNESDAY** the 29th inst. at 12 M. will be sold, on the premises, on a liberal credit, that excellent new brick dwelling and store, at the upper end of King street, on the south side of King street, between Payne and West street. The house is built of the best materials, in good style, is large and commodious with extensive back buildings. The store is large and already fitted up with cellars under the whole. jan20 S. A. MARSTELLER, auc.

Figure 13: January 1823 Advertisement Describing John Lanham's House on Lot 3 (Alexandria Gazette 1823:3). Only one other property on the block changed owners this same year and did not match this description: the circa-1805 house in Lot 2 (ATR n.d.).

The purchaser of Lanham's building and lot, John C. Mandell, promptly resold the property in February 1823 to Jacob Douglas, an enterprising grocer-merchant in the firm Douglas & Douglas with his brother, James (ACDB S2:575; ATR n.d.; Miller 1992:111). Lanham's building became one of many properties Jacob Douglas owned and rented in Alexandria, but also within the region. Jacob Douglas may have maintained a place of residence in the city, but he appears to have primarily resided on a farm in Fauquier County where 25 enslaved people were listed in addition to his family (U.S. Census 1830). Jacob and James Douglas operated "J & J Douglas" and "Douglas & Douglas" from the 1810s until 1838, when their partnership was dissolved and personal financial problems began to impact Jacob Douglas' real estate holdings (Alexandria Gazette 1838:3).

Douglas let the building on Lot 3 to a series of tenants in the late 1820s and early 1830s, including grocers Thomas Chinz, Richard Barton, and Quintin Barker (ATR n.d.). In January 1830, Douglas added to his holdings on the south side of the block in Lot 3, purchasing two 24-foot, 8-inch-wide (7.55-m) lots from James H. Dundas described by deed to begin at a point 74 feet, 1 inch (22.6 m) from the west side of Payne Street (ACDB S2:87). The deed's measurements line up with earlier tax records that described this land as being the 49-foot, 4-

inch-wide (15.1-m) vacant property of William H. Dundas, which by 1829 had gained the label of “wagon lot” (ATR n.d.). Thus, by this purchase, Jacob Douglas seemingly consolidated land within Lot 3 as a single 77-foot-wide (23.5-m) parcel.

From 1830 until 1833, Richard Barton and his family resided there with two enslaved individuals, a man (age 36–55) and a young woman (age 10–24) (ATR 1830; U.S. Census 1830). It is unknown what role these individuals played in the household. Barton ran a grocery and liquor store out of the building, but it is unclear how the undeveloped lot just east of it was used at that time. An 1834 advertisement announced that Barton’s “Grocery and Liquor Store” had transitioned into the grocery and coopery of Quintin Barker, who kept “a general assortment of ware, such as TUBS, BUCKETS, CHURNS, and every article in the business, made by a first rate workman” (Figure 14) (ATR n.d.; Genius of Liberty 1834).

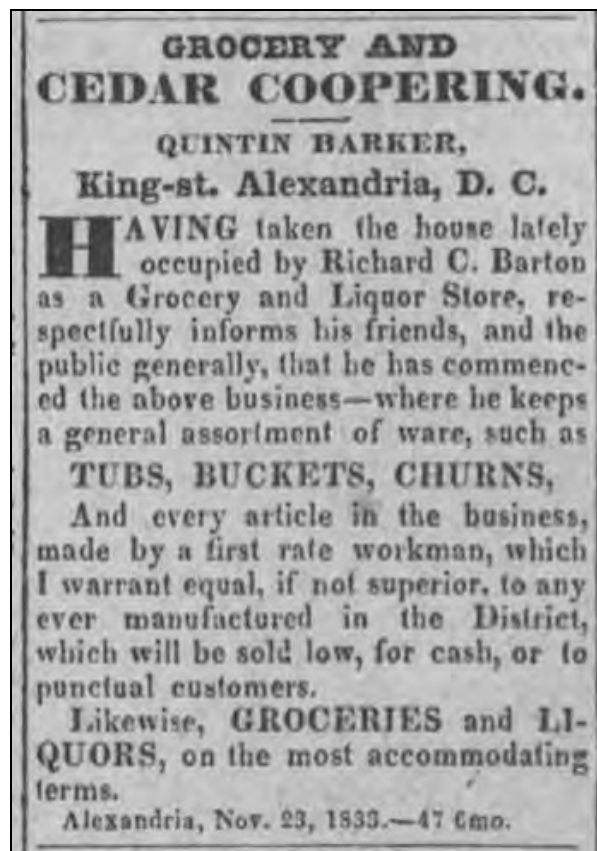


Figure 14: Newspaper Advertisement Placed by Quintin Barker (Genius of Liberty 1834).

Quintin Barker relocated to the building on Lot 3 from what is now 1322 King Street in the fall of 1833, then 30 years old with a young wife and continued to occupy the lot until 1843 (ATR n.d.; U.S. Census 1840). In 1840, Quintin Barker’s household included himself and his wife, Lucretia, along with their four children and two enslaved females, one of whom was less than 16 years old and the other between 20 and 24 (U.S. Census 1840).

In the late 1830s through the mid-1840s, Jacob Douglas mortgaged and sold various properties, including portions of large farms in Fauquier County and several lots in

Warrenton (Alexandria Gazette 1838:3; ACDB C3:134; Arlington County Deed Book 4:277, 294). He first mortgaged Lot 3 in December 1839 to cover a debt owed to wealthy dry-goods merchant, William Gregory (Arlington County Deed Book 4:277). Gregory had served with Jacob Douglas as one of the “Alexandria Blues” during the 1814 Battle of the White House and likely conducted business with Douglas as an importer of woolen goods from his father’s factory in Scotland (Office of Historic Alexandria 2014). Douglas paid the debt detailed in the 1839 mortgage, but used the same property to secure another debt in June 1841 to Gregory through a trust agreement with James Stewart (ACDB C3:134). In 1843, local tax records suggest that Jacob Douglas briefly resided on Lot 3, but he soon defaulted on the mortgage and the property went to auction in April 1845 (ATR 1843). An advertisement described the property in advance of this sale (Figure 15).

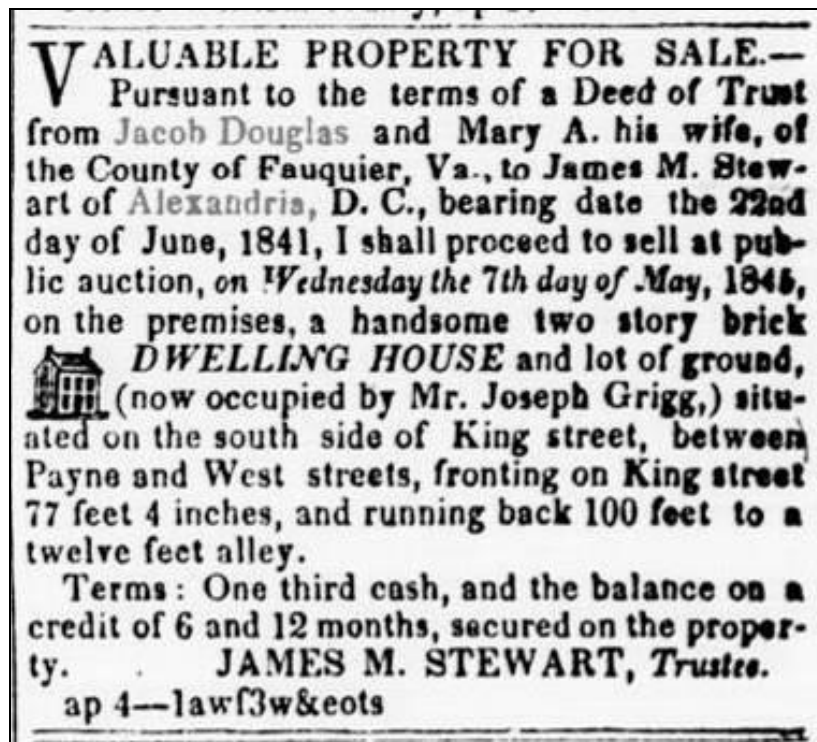


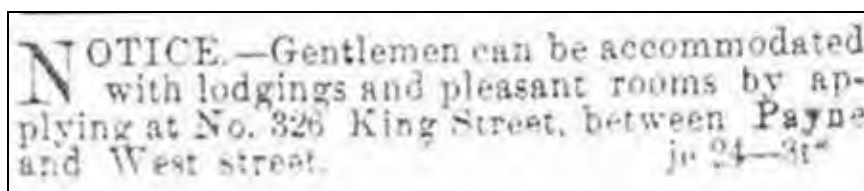
Figure 15: 1845 Advertisement for the Sale of Jacob Douglas’ Property on Lot 3 (Alexandria Gazette 1845:3).

By 1845, William Gregory had become increasingly successful in business having inheriting his father’s wool factory in Scotland. After retiring in 1847, Gregory was elected to serve as president of the Alexandria branch of the Farmer’s Bank of Virginia in 1848, holding the position until 1866 (Office of Historic Alexandria 2014). Throughout Gregory’s tenure of Lot 3, the property appears to have been used solely for residential purposes, initially serving as the dwelling of English-born merchant, Joseph Grigg [Sr.], and his family from 1845 until around 1854 (ATR n.d.; U.S. Census 1850).

Joseph Grigg was listed as a 56-year-old merchant in the 1850 Census, living with his wife, Caroline, two adult sons, and what appears to be two older female relatives and a 17-year-old white laborer in the house on Lot 3 (U.S. Census 1850). Tax records also include Joseph

Grigg Sr.'s son, Samuel, in the lot's assessment in the early 1850s, around the same time that advertisements were placed for Joseph Grigg's grocery, located nearby "at the corner of King and West" Streets (Alexandria Gazette 1852:3; ATR n.d.).

During the Civil War, the house on Lot 3 was advertised as a boarding house for gentlemen, but appears to have largely served as a single-family residence throughout the 1870s. Gregory regularly placed advertisements detailing the house for rent in local newspapers and occasionally for auctions to dispose of its contents (Alexandria Gazette 1863b, 1871a, 1871b; Eig et al. 2019:4) (Figure 16–Figure 18, pp. 28–29). In the spring and summer of 1871, several advertisements linked the property to a prominent, New-York-born, brewer named H.S. Martin who was recorded along with wife and three children at the property in the 1870s (Alexandria Gazette 1871b; U.S. Census 1870). Thus, it is likely that the March 1871 advertisement for the auction of the "large and extensive" sale at 326 King Street included items previously belonging to Mr. Martin's family, although the reason for his removal from the property remains unclear (Alexandria Gazette 1871b).



NOTICE.—Gentlemen can be accommodated with lodgings and pleasant rooms by applying at No. 326 King Street, between Payne and West street. ju 24—31

Figure 16: Advertisement Noting Rooms to Let on Lot 3 (Alexandria Gazette 1863b).



**AUCTION SALES.**  
**By L. D. Harrison, Auctioneer.**  
**L**ARGE AND EXTENSIVE SALE OF No. 1 Household and Kitchen Furniture—the effects of a gentleman about to leave the city. Will be sold on **TUESDAY, March 14th**, if fair, if not, the next fair day, at 10 o'clock a. m., at No. 326 King street, between Payne and West streets, a large lot of No. 1 Household and Kitchen Furniture, embracing in part several No. 1 Brussels and Tapestry Carpets, Ingrain and other Carpets; No. 1 Black Walnut and Mahogany Bedroom Sets, Cottage Sets, Marble Top Washstands and Bureaus, Mirrors, Sofas, Tete-a-Tetes, Mahogany Dining, Extension and Marble Top Centre, Card and other Tables, Mattrasses, What-nots, Sewing Machine, No. 1 Rosewood Piano and Melodeon, 1 French 21 day Time Piece, 1 splendid Side Saddle, complete Kitchen Furniture, Cooking, Parlor and other Stoves, No. 1 Chairs. Sale without reserve.  
 mar 8—5t

Figure 17: Advertisement for Auction of Household Property Likely Belonging to H.S. Martin at Lot 3 (Alexandria Gazette 1871a).

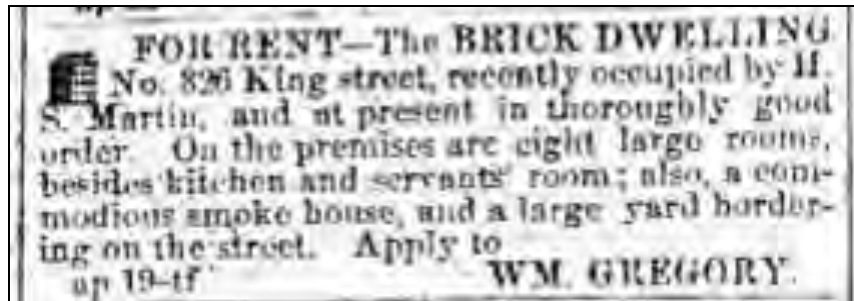


Figure 18: Advertisement Placed by William Gregory Describing the Property in Lot 3 (Alexandria Gazette 1871b).

After William Gregory's death in 1875, Lot 3 was one of three properties bequeathed to his daughter, Mrs. E. G. (Elizabeth G.) Ashby (Alexandria City Chancery Causes 1884). Mrs. Ashby maintained ownership though she resided elsewhere and left its management to her brother, Dr. W.B. Gregory, until her death in 1892 (Figure 19). After her tenure, the property sold to Owen J. Nugent, a grocer with a store and dwelling at 1301 King Street who appears to have rented out Lot 3 for several years before "express man" Andrew Cheshire purchased it in 1903 (ACDB 50:189; ATR n.d.; Richmond & Company 1902, 1904).



Figure 19: Advertisements of Residences for Rent in Alexandria (Alexandria Gazette 1877). Magenta rectangle highlights description of property in Lot 3, managed by Elizabeth Ashby's brother, Dr. W. B. Gregory; below Lot 3 is a description of Col. and Elizabeth Ashby's former personal residence on Cameron Street.

Members of Andrew Cheshire's family resided at what was then 1312 King Street for another decade before his death in 1914 (Alexandria Gazette 1914). The house was occupied by Mollie Maupin and her son, Edward, from 1916 until shortly after her death a few years later. Mrs. Maupin's funeral took place in the house at 1312 King Street on October 2, 1919 (Alexandria Gazette 1919b; Hill Directory Company 1916). In December 1919, special commissioner on behalf of Andrew Cheshire's estate conveyed Lot 3 to a local insurance

company, Graham & Ogden, who promptly resold it to Ralph Steele and others acting on behalf of the Alexandria Amusement Company (Alexandria Gazette 1919c).

Edward Maupin continued to reside at 1312 King Street in January 1920 with his wife, Ada, both 32 years old (U.S. Census 1920). At that time, Maupin worked as a “machinist at torpedo plant” along with the couple’s single boarder, a 52-year-old white “laborer” named William Rollins (U.S. Census 1920). City directories indicate that Edward H. Magruder later rented the property for his upholstery business in 1926, while he resided in Rosemont Park (Hill Directory Company 1926). Sometime between 1928 and 1930, the 1820 dwelling and outbuildings on Lot 3 were demolished and the property was redeveloped into the Aero Automobile Company’s used car sales lot (ATR n.d.; Eig et al. 2019:4; Hill Directory Company 1928, 1930).

## **History of Site 44AX0246**

Site 44AX0246 is predominantly situated within the southern end of what has been referred to in this report as Lot 2 but extends slightly into the southwest corner of Lot 1. Both contain buildings constructed in the first quarter of the nineteenth century and continually in use since that time, but only briefly owned and occupied by the same individuals. Initially Lots 1 and 2 were part of the 70-foot (21.3-m) wide by 100-foot (30.5-m) long parcel Ann Peyton secured from Peyton and Dundas around 1800 that she later sold to John McKinney in 1805 with the extant two-story building on Lot 2, currently addressed as 1304 King Street (ATR n.d.; Eig et al. 2018:5; Miller 1992:30). Between 1813 and 1814, McKinney sold off a 24-foot-wide (7.3-m) parcel at the corner of King and Payne to Benjamin Baden who promptly constructed the extant two-story brick building on Lot 1, currently addressed as 1300 King Street (ACDB W:468; ATR n.d.).

Both buildings were assigned various street numbers over time; Lot 1 was identified as 316 King Street as early as 1863 (Alexandria Gazette 1863b). An 1876 city directory identified the building on Lot 2 as 318 King Street, but by 1888 the address of both properties had changed; Lot 1 became 1300–1302 King Street with additional addresses 105 and 107–109 S. Payne Street, while Lot 2 became 1304 King Street (Chataigne 1876, 1888). The size of Lot 1 remained consistently 24 feet (7.3 m) wide from its creation by John McKinney. Land within Lot 2 fluctuated over the course of the nineteenth century, ranging from 46 feet (14 m.) to 54 feet, 8 inches (16.7 m.) in width (Alexandria City Chancery Court 1891; ATR n.d.; City of Alexandria 2021).

For nearly 150 years, Lots 1 and 2 were owned and occupied by many different people and used for a variety of purposes. To summarize this data, a chronological listing of individuals associated with the property was compiled into a table along with minor details from tax records, census records, and city directories (Table 3, p. 31).

Land in Lot 1 and 2 was initially sold to Ann Peyton in 1800 and onto John McKinney in 1805, who later divided it into two parcels. Most owners of these lots did not reside on the property and, thus, this narrative focuses on its tenants. Between 1813 and 1815, a merchant named David Lupton and his family briefly occupied both lots (ATR n.d.). After Lupton’s

Table 3: Consolidated List of Lots 1 and 2 Tenants and Owners. Note individuals that simultaneously owned and occupied the property are in bold type.

Time	Lot 1 Tenants	Lot 2 Tenants	Lot 1 Owners	Lot 2 Owners	
General Period	1300–1302 King & Payne	1304 King	1300–1302 King & Payne	1304 King	
1 <sup>st</sup> quarter 19 <sup>th</sup> century	Widow Peyton 1800–1805		Widow Peyton 1800–1805		
	John McKinney 1805–1813		John McKinney 1805–1813	John McKinney 1805–1816	
	David Lupton 1813–1814	David Lupton/ Mrs. Lupton 1813–1815	Benjamin Baden 1813–1814		
	Benjamin Plummer 1816–1817	Benjamin Plummer 1816–1817	Bernard Bryan 1815–1819	James S. Scott 1817–1822	
	S. Harper 1818	John Somers 1818			
	Thos. Swann Jr. 1819–1820	Wm & H. Somers 1819	William Herbert Jr. 1820–1824	Hugh Smith 1823–c.1855	
	Wm H Avery 1822	Mrs. Fulsome & Mr. Tharp 1822			
	2 <sup>nd</sup> quarter 19 <sup>th</sup> century	Gerard Plummer 1823–1830, "agent"	John Von Reizen 1824		Edward Hall 1825–1835
			Richard Gallaway 1826–1827		
			Richard Windsor/ Windsor & Lord/Richard Windsor, Jr. 1828–1833		
Wm McCormick 1831					
Mark Batts/Butts Jr. 1832–1836, "Flour Merchant"		Wesley Summers 1834			
Dean 1837		Hezekiah Smoot 1835–1838	William D. Nutt 1836–1851		
Dean & Cropper 1838–1839					
vacant 1840–1851		Hester Dorsey 1846			
	Wm W. Tyler 1847				
3 <sup>rd</sup> quarter 19 <sup>th</sup> century	Dedridge Smith 1852, "Wheat & Fan Maker"	Richard House 1851–c.1860	James Green 1852–1863	James Green c.1856–1863	
	Wm A. Sisson 1854–1855				

Time	Lot 1 Tenants	Lot 2 Tenants	Lot 1 Owners	Lot 2 Owners
3 <sup>rd</sup> quarter 19 <sup>th</sup> century	<b>Josiah Ford/Josiah Ford &amp; Sons (Orlando &amp; Stephen Ford) c.1860–c.1880, "wheelwrights &amp; blacksmiths"</b>	Richard House 1851–c.1860	James Green 1852–1863	James Green c.1856–1863
		Peter Ford & Joseph Driefus 1863–1864	Josiah Ford c.1864–1880	
		Samuel Brown 1871		
		James R. Smoot 1872		
		Peter David & J.L. Peyton 1873		
		Stephen H. Ford 1875–c.1880		
4 <sup>th</sup> quarter 19 <sup>th</sup> century	Mrs. Joseph Reynolds' Grocery 1888; Joseph & Charles Reynolds 1888–1891; J.B. Sampson 1891	D.R. Stansbury 1891–1900, "tinner"	James F. Carlin/Estate 1880–c.1909	
	Joseph & Charles Reynolds 1895–1898; Walter Brawner 1895			
	George Reynolds 1898–1899, "tinner"; Joseph Reynolds 1898–1899, "freight agent"			
	Joseph Reynolds 1900, "receiver of freight" with son, George "tinner," son Joseph Jr. "grocery clerk," two daughters, and son, Charles "Brakeman RR" & family in Census	John Harvey 1900, "conductor (RR)" in Census		
	Willie D. Hudson's Pharmacy 1904–1917; Willie D. Hudson's residence c.1910–c.1917, "druggist"	Lucien F. Cheshire 1904, "clerk"		
1 <sup>st</sup> quarter 20 <sup>th</sup> century		Frederick Ayers 1907–c.1912, "gunsmith"; William Posey 1905–1911	Willie D. Hudson 1909–1917	

Time	Lot 1 Tenants	Lot 2 Tenants	Lot 1 Owners	Lot 2 Owners
<b>1<sup>st</sup> quarter 20<sup>th</sup> century</b>	Willie D. Hudson's Pharmacy 1904–1917; Willie D. Hudson's residence c.1910–c.1917, "druggist"	Leon L. Anderson c.1914– 1924 "conductor"	Willie D. Hudson 1909–1917	
	C.E. Williams 1919–1920 "merchant"			
	Baker Motor Co. 1923–1924		B.F. Purdham 1922–1923	
<b>2<sup>nd</sup> quarter 20<sup>th</sup> century</b>	Howard's Barber Shop 1925– c.1930; Wm R. Draper "plasterer" 1925–1926 & Mrs. Matilda Minter 1929–1930	John R. Howard "barber" 1925–1934		
	The Copper Stein (restaurant) 1934			

death in late 1814, his widow reportedly rented three undeveloped parcels west of Lot 2 from the Dundas heirs, extending roughly 75 feet (22.9 m) and encompassing Lot 3, though the family's use of this land remains unclear (ATR 1815).

Subsequently, different tenants occupied Lots 1 and 2 into the mid- to late-nineteenth century. Tax and census records indicate that many of these individuals were dry goods or general merchants, likely selling commodities and residing in the extant buildings thereon. The pattern was disrupted around 1860, however, when wheelwright Josiah Ford rented the property from James Green (ATR n.d.; U.S. Census 1860). In 1860, Josiah Ford was reported to be 36 years old and living with his wife Mary, aged 34 years, two teenage daughters, two sons under 10 years of age, and two tradesmen: a 29-year-old wheelwright named Simon Peter and a 24-year-old blacksmith named Benjamin Davis (U.S. Census 1860). Ford soon purchased Lot 1 and Lot 2, residing on the premises for nearly three decades (ATR n.d.; U.S. Census 1860, 1870; Chataigne 1876). Ford appears to have used Lot 1 primarily for his wheelwright and wagon shop, but also rented space to individuals like Joseph Drifus who ran a "hoop skirt factory" on Lot 1 in the mid-1860s (see Figure 5 and Figure 6, p. 16). In 1870, the blacksmith Davis, along with his wife and son, rented the house on Lot 2 while Ford and his family lived next door (U.S. Census 1870).

Josiah Ford became a respected tradesman in the community; in 1868, the local newspaper praised his work for the Hydraulion Steam Fire Company in producing a new fire wagon (Figure 20). He was also a public servant, noted as Ward 3's representative on the local Board of Health in the early- to mid-1870s and elected to the city's Common Council in 1876 (Alexandria Gazette 1876a:4, 1876b:3).

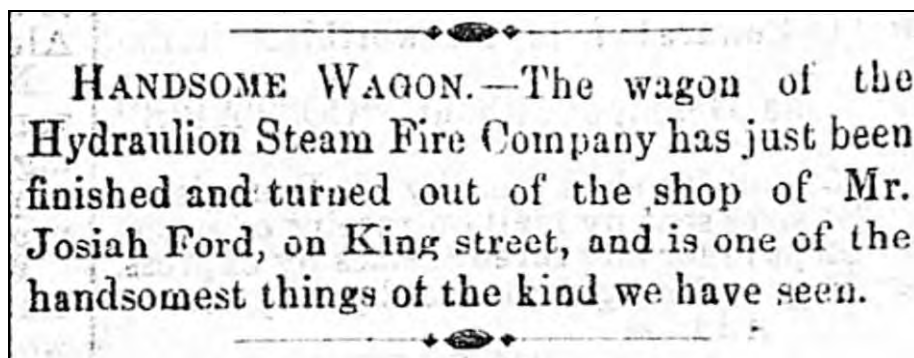


Figure 20: Detail of August 1868 Newspaper Article Noting Ford's "Handsome Wagon" (Alexandria Gazette 1868:3).

In 1876, his business appeared as "Josiah Ford & Sons, wheelwrights and blacksmiths" in the local city directory and identified Orlando and Stephen Ford as working in the family business on Lot 1 (Chataigne 1876). The same directory identified Stephen Ford's residence next door at 318 King Street on Lot 2 (Chataigne 1876). In May 1878, Josiah Ford died of tuberculosis and his property was sold about a year later for delinquent taxes (Alexandria Gazette 1878, 1879). In April 1880, both lots were sold at public auction to James F. Carlin (Alexandria City Chancery Causes 1891; Alexandria Gazette 1880:3). His widow Mary Ford continued to live in the building on Lot 1 with her sons, blacksmiths Orlando and Frederick, while Mr. Davis resided next door, working as a "helper in the foundry" (U.S. Census 1880).

Beginning in the late 1880s, Joseph Reynolds' family rented much of the building on Lot 1, operating a grocery store and workshop on the property into the early 1900s (ATR n.d.; Chataigne 1888). Joseph Reynolds worked for the railroad and was identified as a freight agent in 1900, while his son, Joseph Jr., was a grocery clerk and son, George, was a tinner (U.S. Census 1900). His eldest son, Charles, is also believed to have worked as a tinner, perhaps with George and Daniel R. Stansbury, a tinner who rented the house on Lot 2 as early as 1888 (Chataigne 1888).

The 1880 Census identified Daniel Stansbury as a 28-year-old, "stove and tin dealer" living with his mother, siblings, wife Margaret, and their young daughter on Washington Street in Alexandria (U.S. Census 1880). In July 1895, his wife Margaret died, leaving him with three young children: Edith, Herbert, and Blanche—all of whom left their mark on the dwelling at 1304 King Street just prior to their relocation to Columbus Street in 1900 (Photo 2) (Alexandria Gazette 1895; U.S. Census 1900).



Photo 2: Photograph of Graffiti Noting Former Residents' Daniel R. Stansbury's Children, Edith, Herbert, and Blanche, Dated May 9, 1900 (Photo courtesy of Holladay Corp 2021).

As early as 1905, the corner building on Lot 1 was let to “druggist” Willie D. Hudson for his pharmacy, though his residence was located on Cameron Street (Richmond & Company 1905). By 1908, Hudson had relocated to live and work at 1300 King Street, operating a pharmacy and soda shop out of the building until 1917 (Barrett 1908; Hill 1917). Local city directories indicate that the building on Lot 1 later housed the store of merchant C.E. Williams, the Baker Motor Company, and Howard’s Barber Shop (Hill Directory Company 1920, 1924, 1926).

Lot 2 had been primarily used as a residence since Josiah Ford purchased it in the early 1860s until the second-quarter of the twentieth century. In the first decades of the 1900s, it was occupied by several men who worked in association with the railroad, including conductors John Harvey and Leon Anderson (Hill Directory Company 1915; U.S. Census 1900). From the mid-1920s to the mid-1930s, the proprietor of Howard’s Barber Shop, John Howard, resided at 1304 King Street while working next door (Hill Directory Company 1926, 1934).

By 1934, the building at 1300 King Street on Lot 1 had been converted to serve as a restaurant initially known as the Copper Stein (Hill Directory Company 1934). In the 1940s, it was known as Al’s Club Garden restaurant, managed by Jerry Kroutie (Hill Directory Company 1940, 1945). By 1950, the restaurant became Kroutlis Sea Grill restaurant and had expanded to include the building at 1304 King Street on Lot 2 under the management of Mrs. Wilhelmine Rodelstab (Hill Directory Company 1950). The buildings on Lot 1 and 2 remained in use as a restaurant until the early-twenty-first century (Eig et al. 2018).

## RESULTS OF THE PHASE IB INVESTIGATIONS

Building upon the findings of the Phase IA, Dovetail conducted Phase IB-level investigations on the properties to be impacted by the proposed project. This work included subsurface investigations across the open portions of the project area located at 1300–1302 and 1304 King Street. A total of six trenches (Trench 1–6) was excavated which exposed a total of five features. These features, which aided in the delineation of sites 44AX0245 and 44AX0246, consisted of a brick foundation, a brick addition, an outbuilding, a brick floor and foundation, and a post. The archaeological findings are presented in more detail in the following section.

### Results of Archaeological Investigations

The Phase IB-level studies involved subsurface investigations across the open portions of the project area. A total of six trenches (Trench 1–6) was excavated which exposed a total of five features (Table 4). An additional test unit and four exploratory STPs were also excavated to further examine the stratigraphy and nature of the deposits located within the trenches (Figure 21, p. 38). Trenches 1, 2, 3, and 6 were within the parking lot associated with 1312 King Street and Trenches 4 and 5 were at 1304 King Street, behind the extant building, formerly the Pines of Florence Italian restaurant. Excavations within the project area revealed foundations, or partial foundations, of four buildings dating from the early-nineteenth to the early-twentieth century and illustrated on historic maps (Figure 22, p. 39). This ultimately aided in the delineation of two archaeological sites, 44AX0245 and 44AX0246. This section details the excavation of each location as well as the stratigraphy, function, and overall analysis of each site.

Table 4: Features Identified During Archaeological Trenching.

Feature Number	Trench	Type	Time Period	Association
1	1	Brick foundation	Early-nineteenth century	44AX0245; Outbuilding associated with 1312 King Street
2	2 and 3	Brick foundation basement/relieving arch	Early-nineteenth century	44AX0245; Main building associated with 1312 King Street
3	2	Brick foundation and work pad	Early-nineteenth century	44AX0245; Brick addition associated with 1312 King Street
4	4	Driven Post	Late-nineteenth century	44AX0246; Outbuilding associated with 1304 King Street
5	5	Brick foundation and brick floor	Nineteenth century	44AX0246; Paint shop associated with 1304 King Street

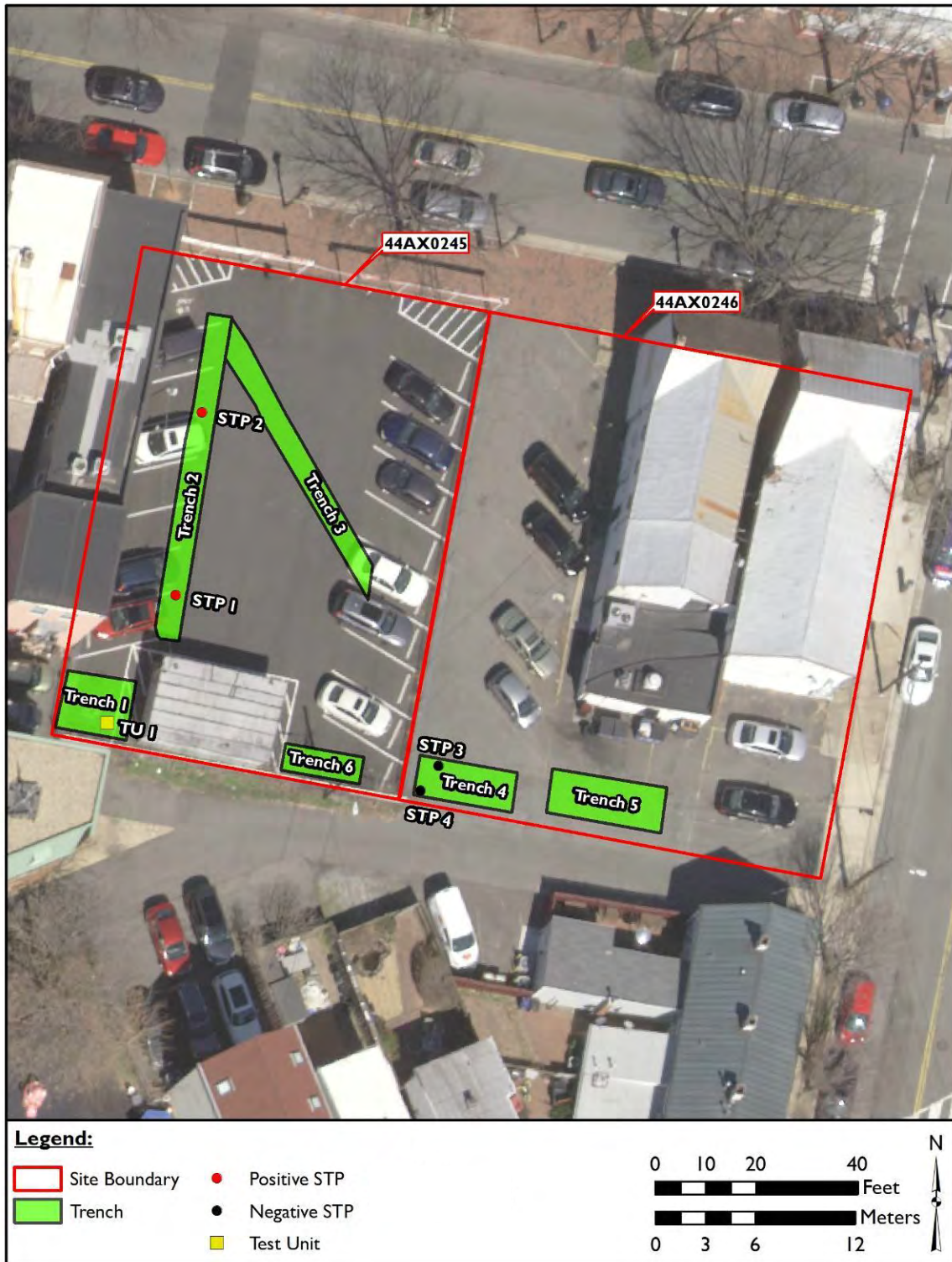


Figure 21: Overview of Project Area Showing Site Boundaries and Trench, Test Unit, and STP Locations (VGIN 2015).

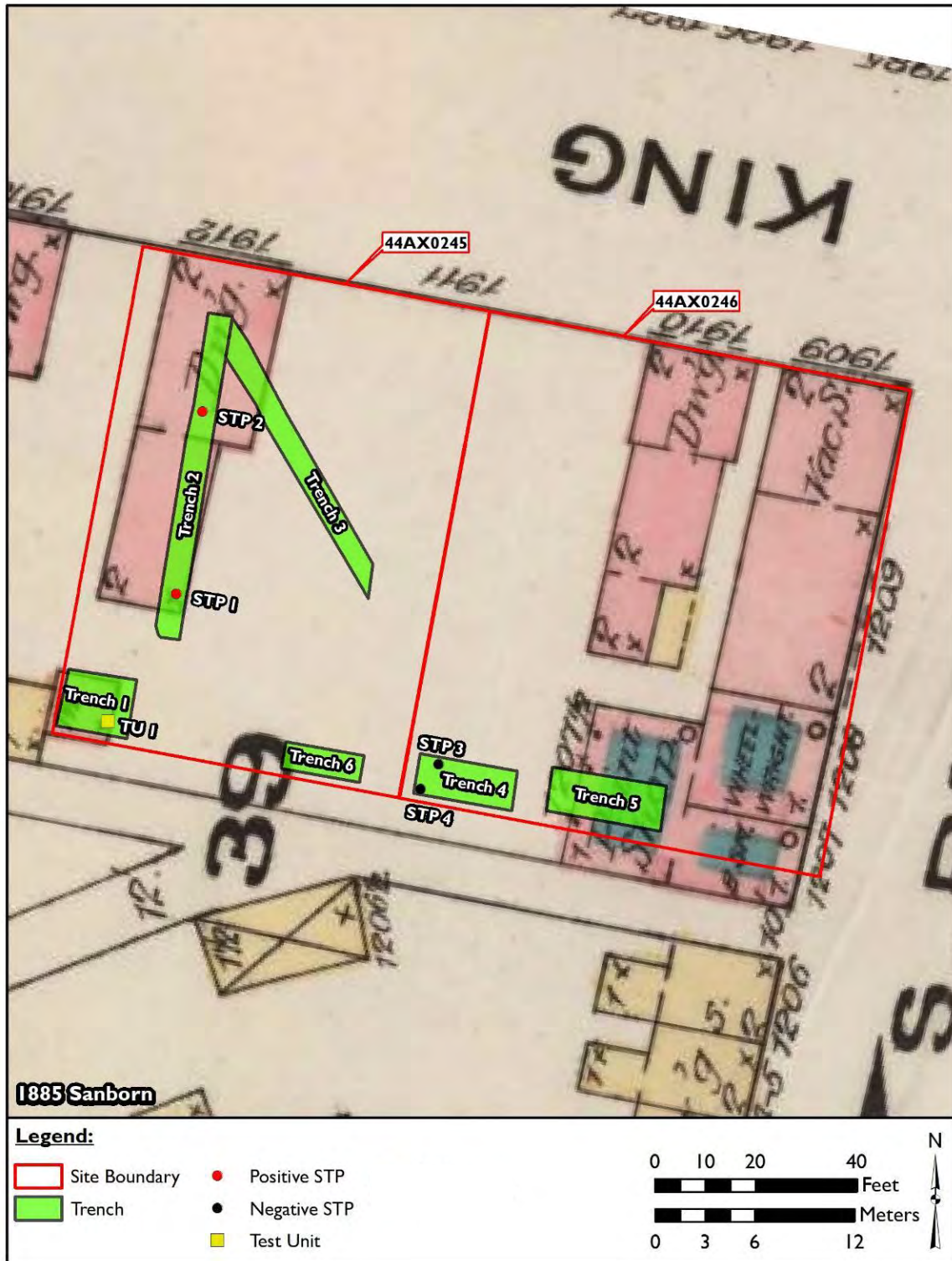


Figure 22: 1885 Sanborn Map Showing Trench, Test Unit, and STP Locations (Sanborn Fire Insurance Company 1885).

### ***Trench 1***

Trench 1 was placed in the southwest corner of 1312 King Street in an effort to explore potential building foundations noted on several historic maps and to look for potential features such as a cistern or privy (see Figure 21 and Figure 22, pp. 38–39; Photo 3). This trench measured 12 feet by 13 feet (3.6 m by 3.9 m) and extended to a depth of approximately 1.3 feet (0.4 m) below pavement. The dimensions for this trench were restricted by utilities and an extant building.

Soils within the trench consisted of two layers of pavement overlying a yellowish brown (10YR 5/4) clay sand with 85 percent pea gravel. Beneath this fill layer was a very dark grayish brown (10YR 3/2) sandy clay historic fill. This fill was composed of a mix of materials spanning the occupation of the early-nineteenth through early-twentieth century (Figure 23, p. 41; Photo 4, p. 41).



Photo 3: Overview of Location of Trench 1, Facing South. Red paint marks utilities and orange paint marks proposed trench location.

Excavations in Trench 1 revealed a brick foundation, the same represented on the 1885 Sanborn map shown in Figure 22. While not fully exposed, this foundation likely measured 15.5 feet by 10 feet (4.7 m by 3 m) and was substantial, as it extended into the ground at least an additional 1.5 feet (0.4 m) below pavement. Given the size and location on the lot, it was likely a workshop or storage shed; however, at this time the function of this building is

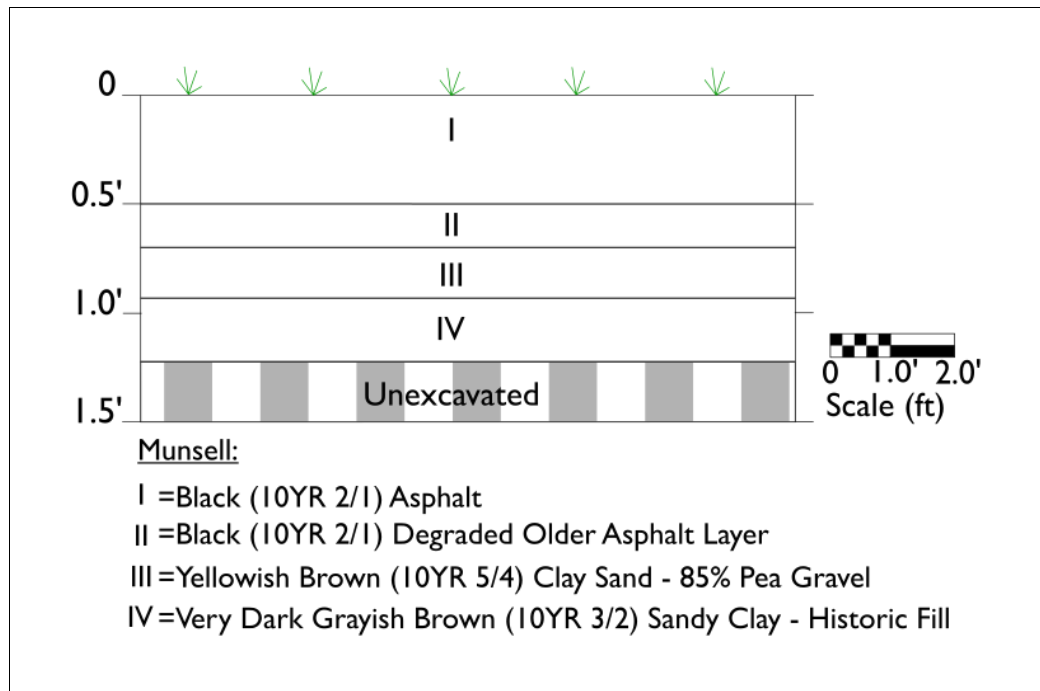


Figure 23: Profile of South Wall of Trench 1.



Photo 4: View of South Wall of Trench 1 with TU 1 in View, Facing South.

unclear. Identification of this feature (Feature 1) (Photo 5, p. 42), combined with other building features found in Trenches 2 and 3, resulted in the identification of site 44AX0245. Site discussions and eligibility recommendations can be found in the following section.

To further investigate the foundation, a 3-foot by 3-foot (0.9-m by 0.9-m) test unit (TU 1) was excavated along the south wall. This exploratory unit extended to a depth of 1 foot (0.3 m) below pavement and not only exposed more of the foundation but also a twentieth-



Photo 5: View of Brick Foundation (Feature 1) Identified in Trench 1, Facing South.

century utility trench which runs northwest-southeast through the corner of the foundation. The stratigraphy of TU 1 consisted of a thin brown (10YR 4/3) sandy-silt fill which overlaid pockets of a yellowish red (5YR 5/8) silty clay and a yellowish brown (10YR 5/6) clay fill. These soils were intruded on by a utility trench that was filled with a very dark brown (10YR 2/2) silty-loam backfill that contained plastic and other modern materials that were not collected (Figure 24; Photo 6 and Figure 25, p. 43; Photo 7, p. 44).

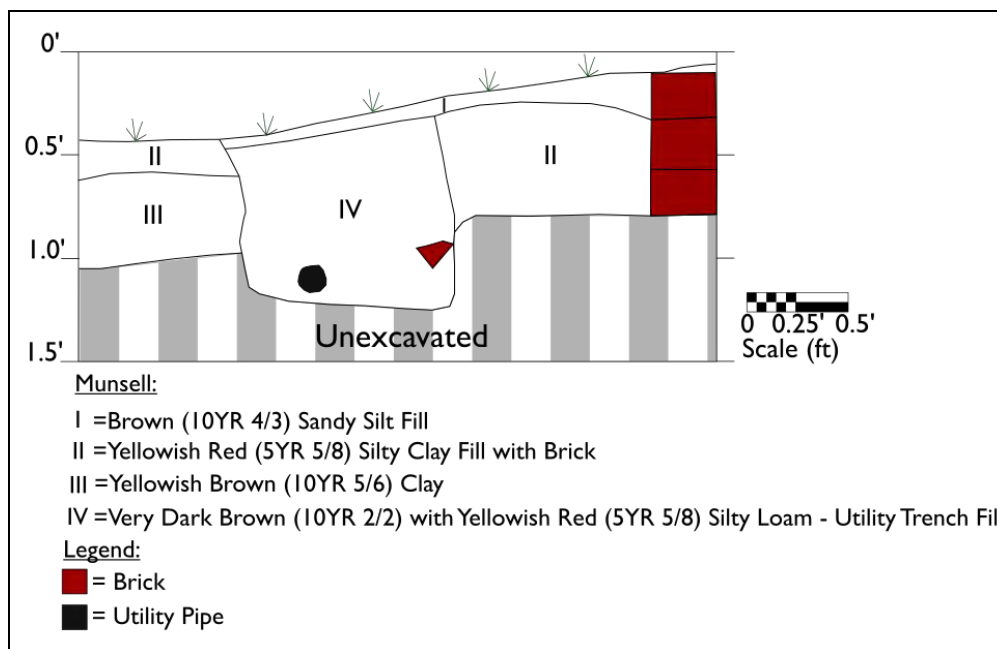


Figure 24: Profile of North Wall of TU 1.



Photo 6: Profile of North Wall of TU 1 Showing Utility Trench, Facing North.

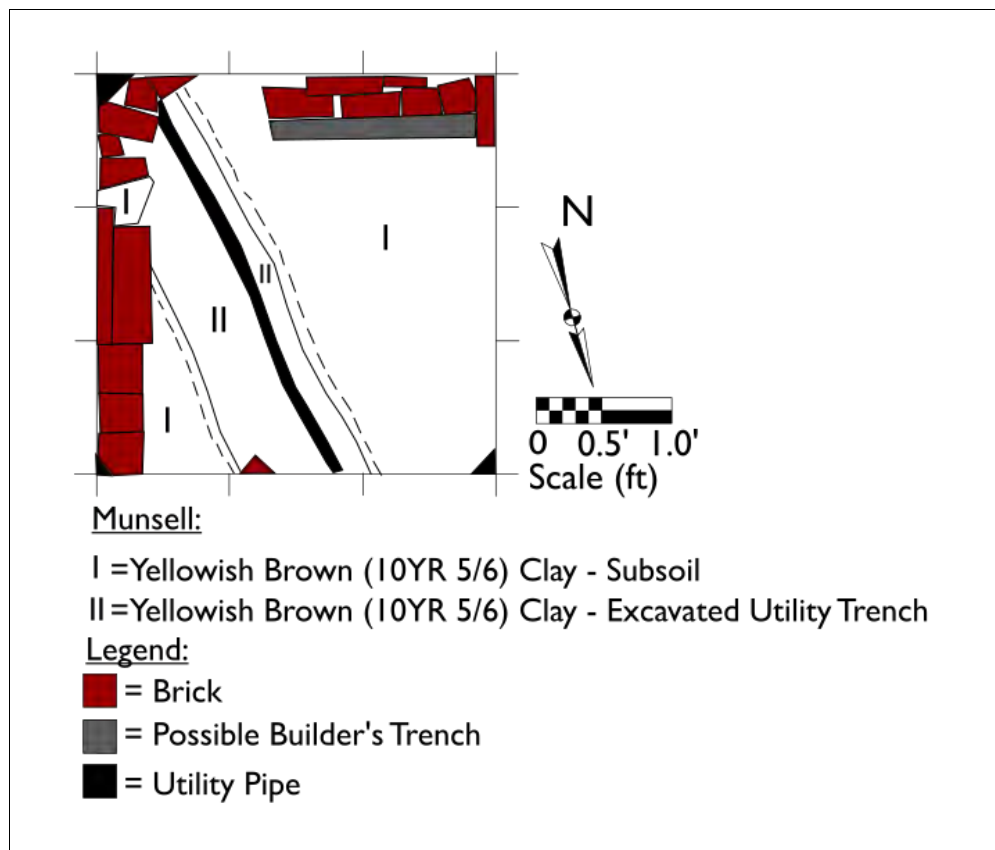


Figure 25: Plan View of TU 1.



Photo 7: Overview of Test Unit 1, Facing South.

A total of 46 artifacts was recovered from TU 1 with ceramics and glass being found in the highest quantities. The ceramics within the assemblage unsurprisingly span the period of occupation for the lot, with creamware, pearlware, and whiteware all being recovered from the same context. Bottle and vessel glass also crossed several time periods, with fragments ranging from dark green wine bottle glass to clear and brown machine-made glass. Overall, this assemblage is characteristic and representative of the demolition and filling of this outbuilding, with mixed materials from early in the occupation of the lot to when the homes were no longer in use and torn down.

### ***Trench 2***

Trench 2 measured 65 feet by 5 feet (19.8 m by 1.5 m) and extended in a north-south direction through the west side of the 1312 King Street lot (see Figure 21, p. 38; Photo 8, p. 45). The placement of this trench was also dictated by the mapped buildings on the 1885 Sanborn map (see Figure 22, p. 39). Excavation of this trench began on the northern end, closest to King Street, and terminated adjacent to the extant building in the back of the lot. Trench 2 varied in depth due to the nature of the excavation and archaeological findings. At its deepest, it extended to a depth of 6.7 feet (2 m) and at its shallowest it was 1.2 feet (0.3 m) below pavement. It should be stated that the depth of 6.7 feet (2 m) was hand dug in a small section (STP 2) of the trench and was done to determine if cultural deposits were present above a basement floor. All OSHA guidelines were followed.



Photo 8: Overview of Location of Trench 2, Facing South. Orange paint marks proposed trench location.

Soil within Trench 2 consisted of two layers of pavement which overlaid fill composed of brick rubble and degraded mortar. Beneath this was a thick layer of dark yellowish brown (10YR 4/6) sandy-clay fill. This layer sat atop a very dark grayish brown (10YR 3/2) coal deposit which sealed the basement floor (Figure 26 and Photo 9, p. 46). The section of the floor examined during this investigation had a drain, used to divert water away from a building's foundation.

Eleven artifacts were collected as a sample from Trench 2, all from the demolition fill, and include two marbles, three buttons, a Bakelite comb fragment, a slate pencil, two bone fragments, the antiphon and crucifix portion of a rosary inscribed with the name J.W. Comeau, and a complete grape shot, likely associated with Naval artillery.

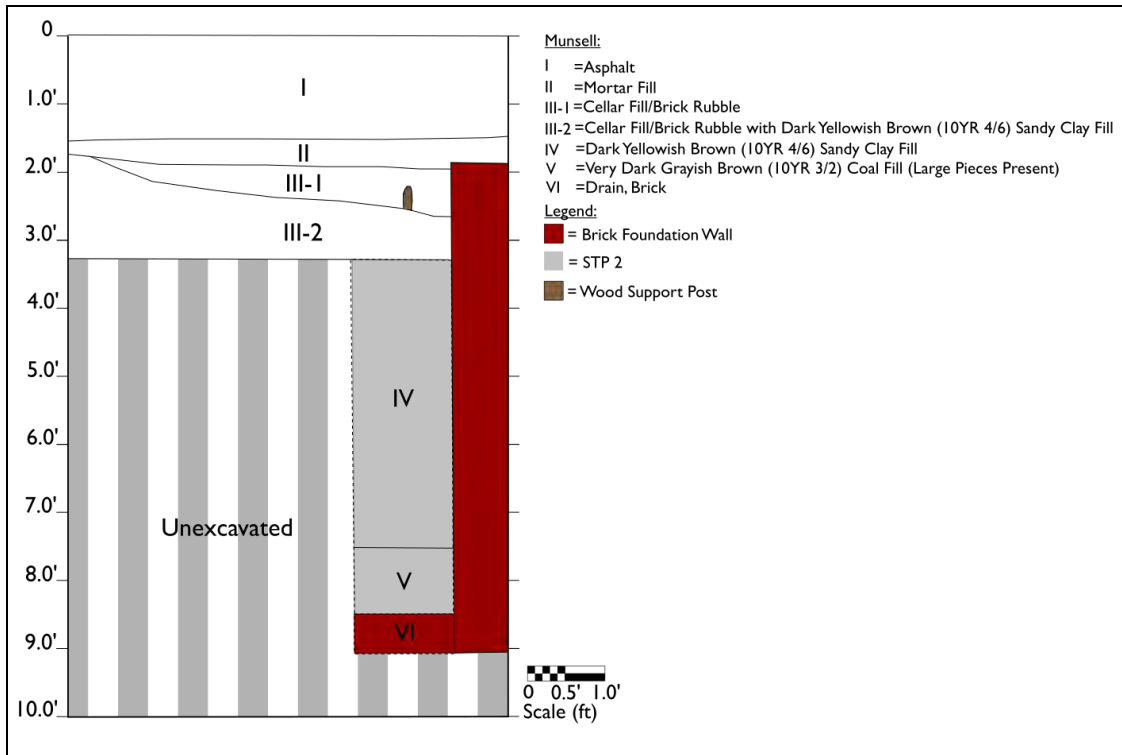


Figure 26: Profile of East Wall of Trench 2.



Photo 9: Profile of Trench 2, Facing East. Brick foundation wall on right with exploratory STP 2 in view.

Cultural features encountered in Trench 2 include the back wall of the building foundation at 1312 King Street (Feature 2), the back wall of the brick addition at the same address (Feature 3), and a work pad in the open space in the back of the lot (Feature 3) (Photo 10; Photo 11, p. 48). Identification of these features (2 and 3), combined with the building remains in Trench 1, which are associated with 1312 King Street, resulted in the identification of this lot as site 44AX0245. Site discussions and eligibility recommendations can be found in the following section.



Photo 10: View of Northern End of Trench 2 Showing Foundation Remains (Feature 2), Facing North.

To further examine the stratigraphic profile of this area, as well as to ensure that no buried intact cultural deposits were present beneath the fill, two STPs were excavated, one at the southern end (STP 1) of Trench 2 and one at the northern end (STP 2) within the basement fill (see Figure 21, p. 38).

STP 1 was excavated adjacent to the brick work pad and extended to a depth of 0.9 feet (0.27 m). Two strata were identified in the floor of Trench 2, a dark brown (10YR 3/3) sandy silt fill and a brown (10YR 4/3) sandy clay (Figure 27, p. 49). Forty artifacts were recovered from the upper stratum. These items include ceramics (n=15) such as pearlware, whiteware, and American stoneware, nine machine-cut nails, 10 animal bone fragments, three pipe stems, and one 4-hole button.



Photo 11: View of Southern End of Trench 2 Showing Partial Foundation and Brick Pad (Feature 3), Facing South.

STP 2 was excavated along the south wall of the foundation for 1312 King Street and extended to a depth of 5 feet (1.5 m) below the base of the trench (see Figure 26 and Photo 9, p. 46). The profile for this STP reflects the basement fill previously discussed. The first layer encountered consisted of a dark yellowish brown (10YR 4/6) sandy clay fill. This layer sat atop a very dark grayish brown (10YR 3/2) coal deposit which was the layer that sealed the basement floor and drain (Figure 28, p. 49). Only seven artifacts were recovered from STP 2 and include two pearlware fragments, four locally-made stoneware sherds, and one piece of painted American stoneware.

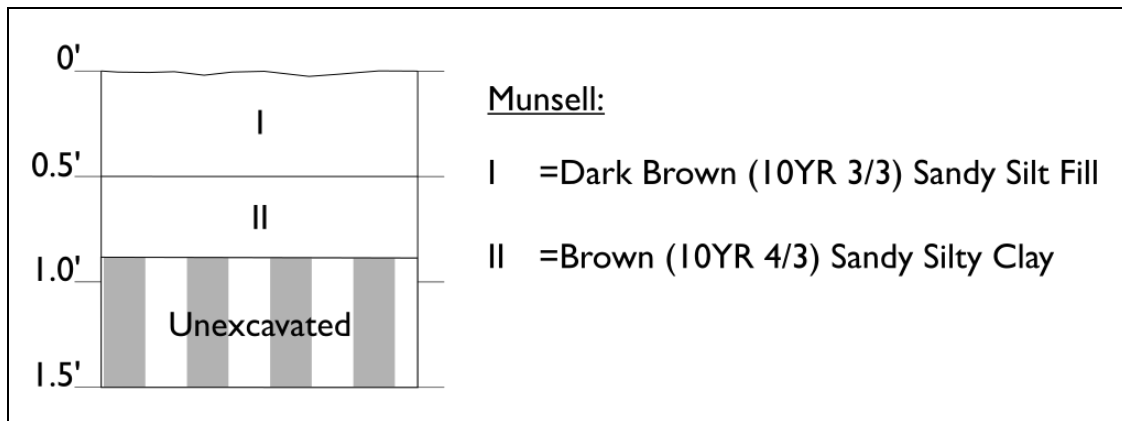


Figure 27: Profile of STP 1 Excavated Within Trench 2.

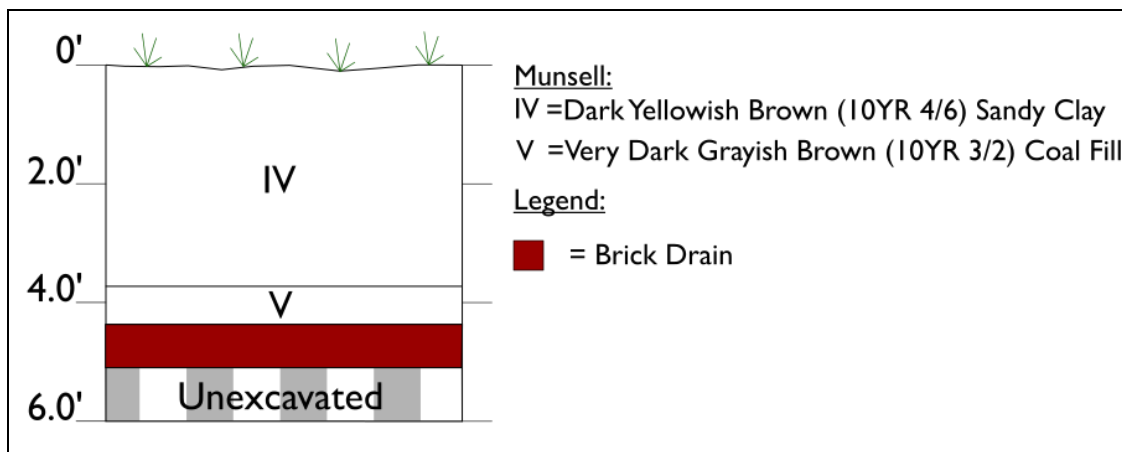


Figure 28: Profile of STP 2 Excavated within Trench 2.

### Trench 3

Trench 3 was placed to identify the eastern wall of the foundation associated with 1312 King Street and to investigate for potential ‘yard’ features that may have been present in the open yard east of 1312 King Street. This yard space is somewhat unique in an urban setting and was a selling point in 1871 when an advertisement was placed for rooms for rent “...and a large yard bordering on the street” (*Alexandria Gazette* 1871a).

Trench 3 measured 65.5 feet by 6 feet (19.8 m by 1.8 m) and was oriented at 340 degrees south through the parking lot (see Figure 21, p. 38). Like Trench 1, excavation of this trench was limited by a buried waterline which resulted in slightly segmented excavation. To avoid the marked utility, a 5-foot (1.5-m) section of the trench was left unexcavated.

The depth of Trench 3 varied, with the deepest excavation extending to 3.9 feet (1.1 m) below pavement and the shallowest being 1.5 feet (0.4 m). Soils within the trench consisted of two layers of pavement which overlaid fill composed of brick rubble and degraded mortar. Beneath this was a thick layer of dark yellowish brown (10YR 5/6) clay with a pale yellow (2.5Y 7/4) clay fill (Figure 29 and Photo 12, p. 50).

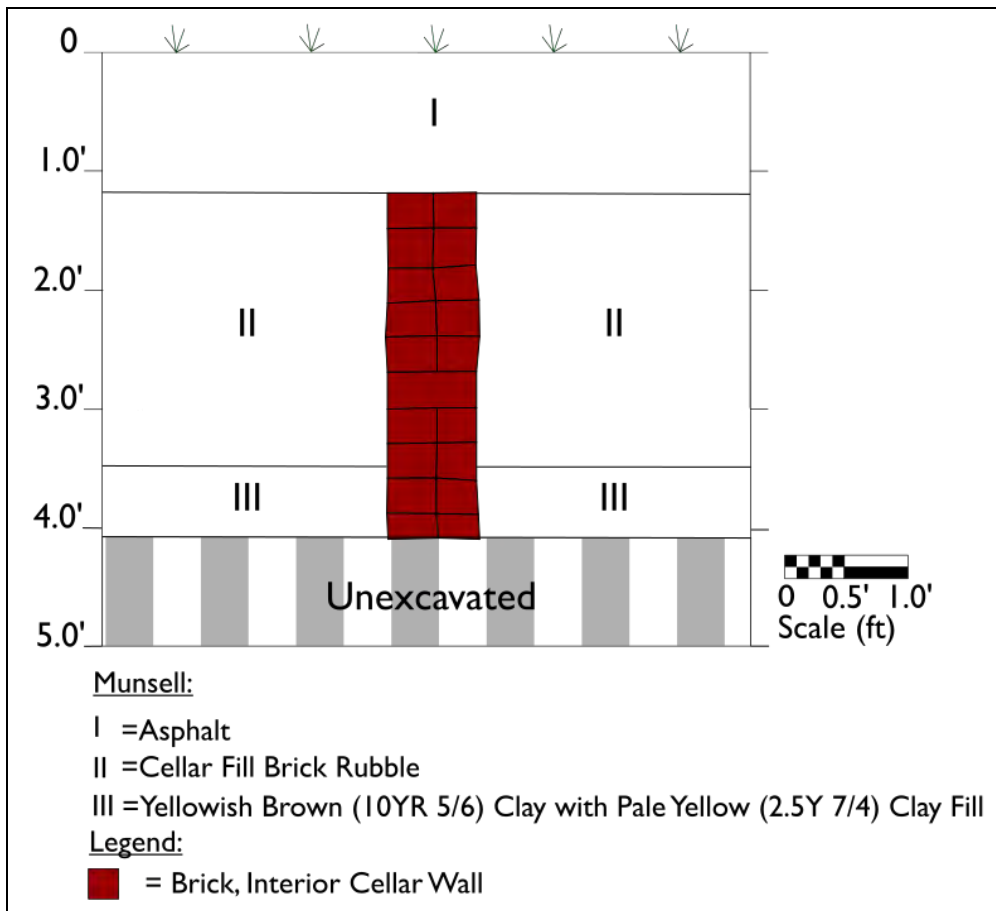


Figure 29: Profile of East Wall of Trench 3.



Photo 12: Profile of East Wall of Trench 3, Facing East.

In addition to locating the east wall associated with the former 1312 King Street (Feature 2), an interior wall of the basement and a relieving arch (Feature 2), which likely held the weight of a brick chimney above, was also identified in Trench 3 (Photo 13; Photo 14, p. 52).



Photo 13: Overview of Trench 3, Facing Southeast, Showing Foundation Remains and Relieving Arch (Feature 2).



Photo 14: Detail of Relieving Arch and Portion of Interior Basement Wall (Feature 2), Facing Southeast. Red arrow marking section of interior wall.

No yard or garden features were found. Identification of these features (2 and 3), combined with the building remains in Trench 1 and 2, resulted in the identification of this lot as 44AX0245. Site discussions and eligibility recommendations can be found in the following section.

As with Trench 2, only a sample of artifacts were collected from this location, primarily with the intention of documenting the filling episode of this lot. Of the six artifacts collected, one provides a date, or at least the earliest date, for potential demolition and filling of the lot. This object is an embossed Chero-Cola bottle which dates from 1914 to the early-1920s. Additional materials collected from Trench 3 include a .58 caliber Minié ball, an I.R. Comb Company comb, a machine-made condiment bottle, and two clay marbles.

#### ***Trench 4***

Trench 4 was excavated to determine if subsurface features, specifically privies or cisterns, associated with 1302 King Street were present. As with previous trenches, the excavation of Trench 4 was limited by buried utilities. Trench 4 measured 18 feet by 7.5 feet (5.4 m by 2.2 m) and ran east-west from the southwest corner of the lot at 1302 King Street (see Figure 21, p. 38; Photo 15).



Photo 15: Overview of Locations of Trench 4 and 5, Facing West. Green paint marks utilities and orange paint marks proposed trench location.

The depth of Trench 4 was consistent across its length at 2.2 feet (0.6 m) and soils within the trench consisted of a layer of pavement over a light olive brown (2.5Y 5/6) clay pavement base. Beneath this was a dark grayish brown (10YR 4/2) sandy clay fill which contained small fragments of brick and oyster shell (Figure 30 and Photo 16). To further investigate this layer, two exploratory STPs (STP 3 and 4) were excavated to sterile soils. The profile for these STPs consisted of a dark grayish brown (10YR 4/2) sandy clay fill over a light yellowish brown (10YR 6/4) sandy clay (Figure 31, p. 55). No artifacts were recovered from either STP.

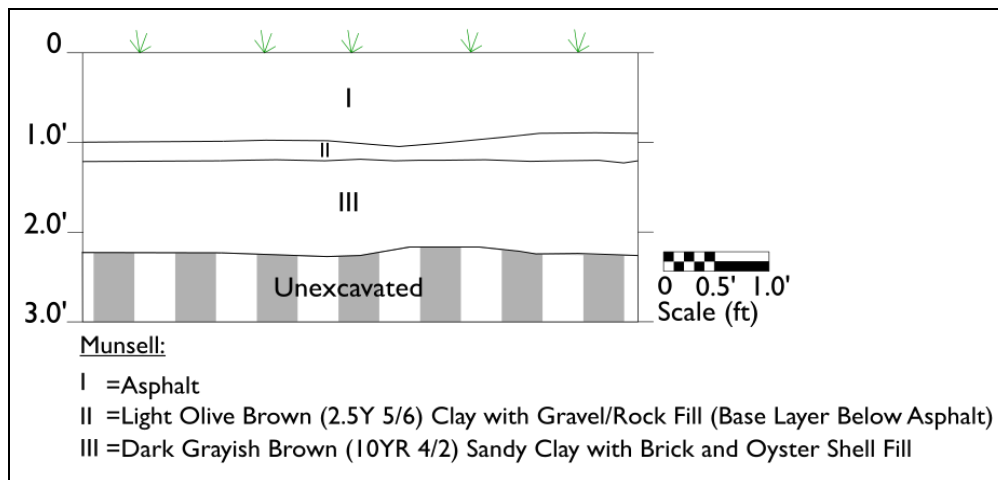


Figure 30: Profile of West Wall of Trench 4.



Photo 16: Profile of West Wall of Trench 4, Facing West.

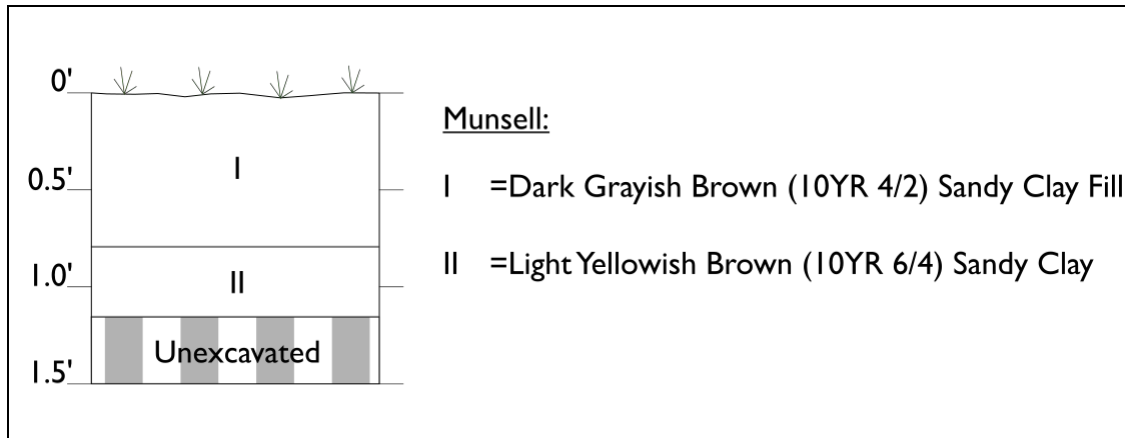


Figure 31: Profile of STP 3 Excavated within Trench 4.

One archaeological feature (Feature 4) was observed in Trench 4 and likely represents a structural post associated with the shed once located on the lot (Figure 32; Photo 17, p. 56). In addition to the post feature, three artifacts were retained from Trench 4, primarily to illustrate the lack of intact early-nineteenth-century deposits. These items are one cobalt Bromo Seltzer bottle (1905–1916), an embossed beer bottle marked “Robert Portner Brewing Co” (1870–1916) (Madden and Hardison 2002), and a stage 3 quartz biface fragment.

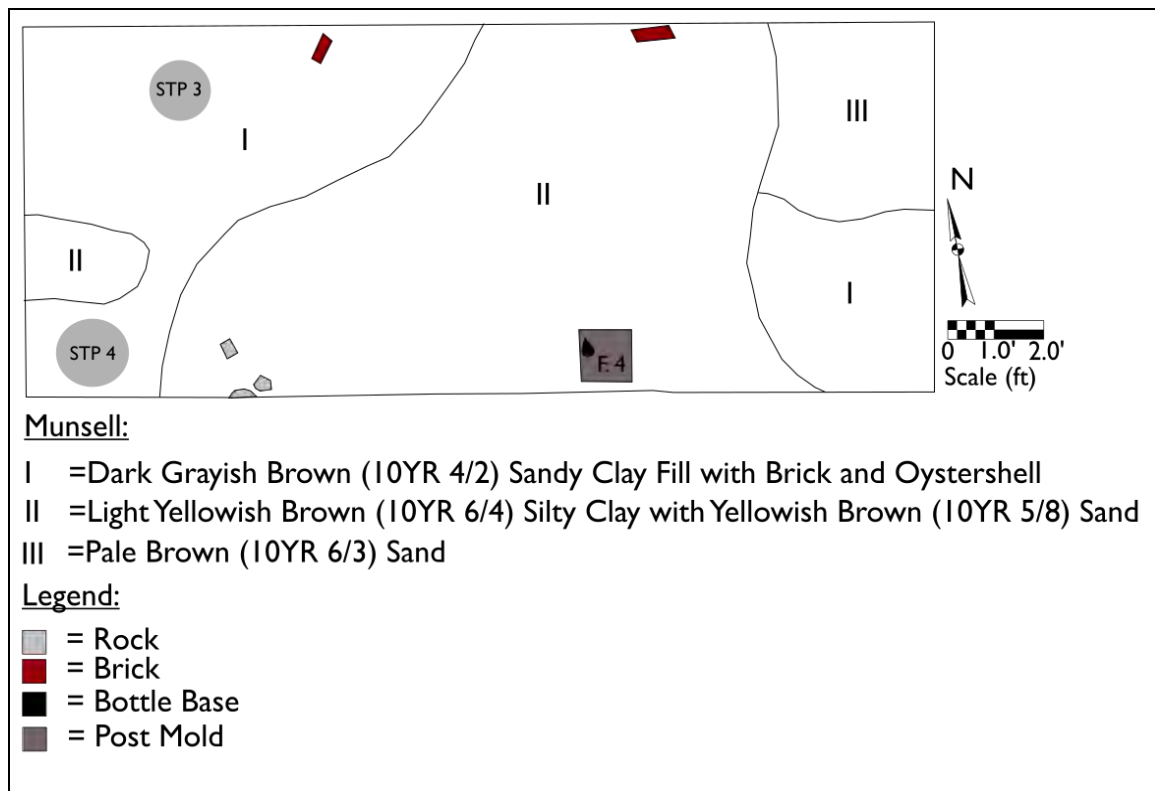


Figure 32: Plan View of Trench 4 Showing Post Feature (Feature 4).



Photo 17: Overview of Trench 4, Facing West.

### *Trench 5*

Trench 5 was excavated to determine if subsurface features associated with 1302 King Street were present in the open portions of the lot behind the extant building. As with previous trenches, the excavation of Trench 5 was limited by buried utilities. Trench 5 measured 22 feet by 9 feet (6.7 m by 2.7 m) and ran east-west behind the extant buildings, adjacent to the alley (see Figure 21, p. 38; Photo 17, p. 56).

Soil depth was fairly consistent at 1.8 feet (0.5 m) as the majority of the trench contained a brick floor and foundation wall (Feature 5) associated with the former paint shop seen on the 1885 Sanborn map (see Figure 22, p. 39; Figure 33; Photo 18, p. 58). Soils within the trench

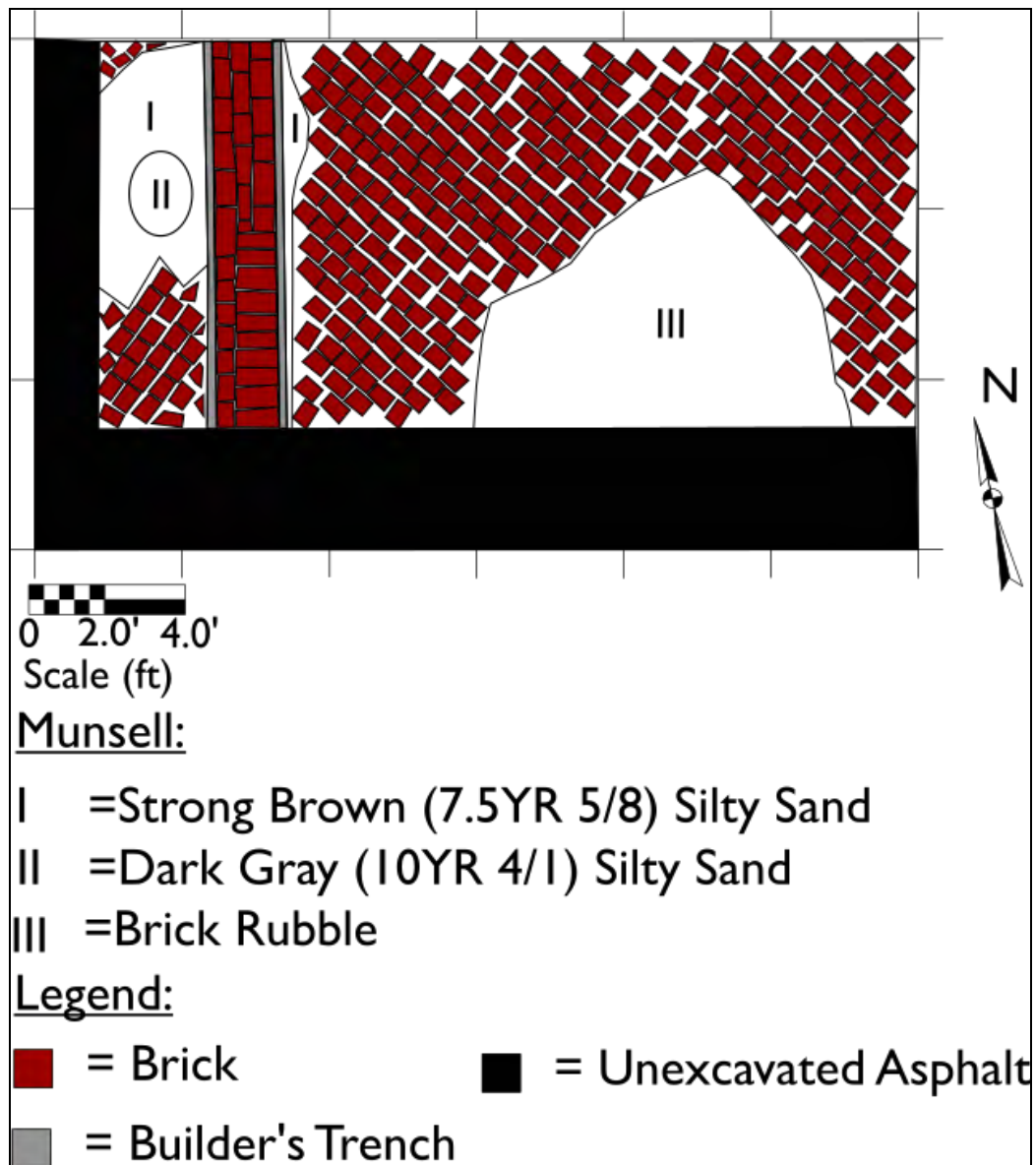


Figure 33: Planview of Building Remains (Feature 5) Associated with Former Paint Shop in Trench 5.



Photo 18: Overview of Trench 5, Facing West.

consisted of one layer of pavement which overlaid a layer of brick rubble with a brown (10YR 4/3) sand. Beneath this was a reddish yellow (7.5YR 6/8) sandy clay mixed with a strong brown (7.5YR 5/8) sandy clay fill that overlaid a dark grayish brown (10YR 4/2) sand mixed with decomposed mortar (Figure 34; Photo 19, p. 59). Three artifacts were recovered

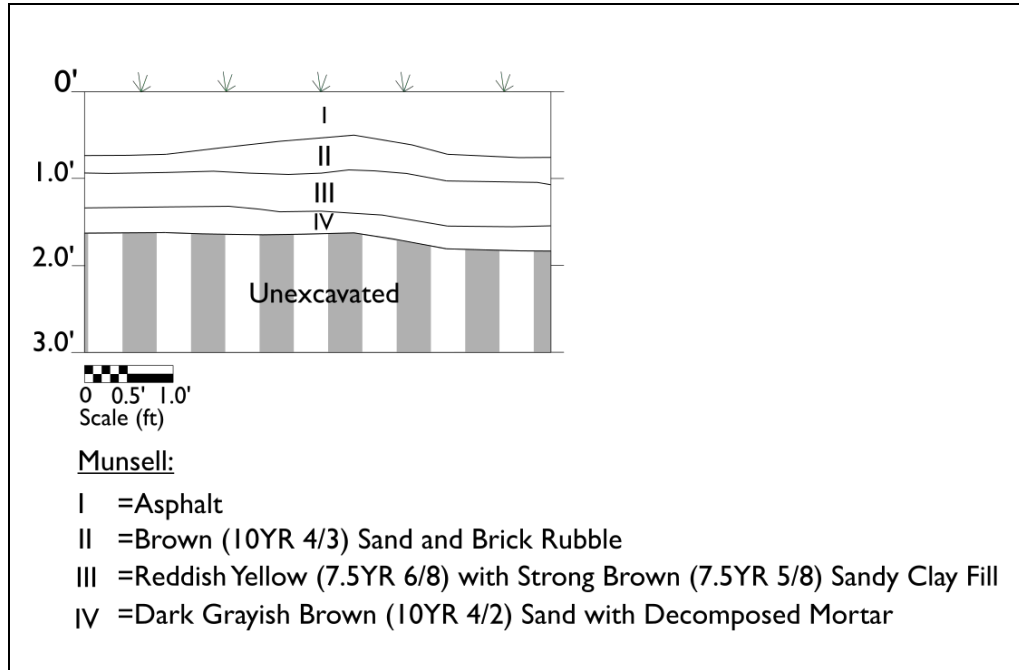


Figure 34: Profile of North Wall of Trench 5.



Photo 19: Profile of North Wall of Trench 5, Facing West.

during the excavation of this trench and include another Robert Portner Brewing Company bottle (1910–1916) (Madden and Hardison 2002), an 1865 Indian Head penny, and a complete Prosser button.

As previously stated, a brick floor, partial foundation, and associated builder's trench (Feature 5) was uncovered during excavation of Trench 5 and identification of this feature resulted in the determination of this lot as site 44AX0246. Site discussions and eligibility recommendations can be found in the following section.

### ***Trench 6***

Trench 6 was excavated to determine if subsurface features, specifically privies or cisterns, associated with 1312 King Street were present in the open portions of the lot. Unlike other trenches, this excavation area was not limited by buried utilities; however, the extant building, formerly the auto lot office, prohibited the excavation of a long trench through the southern portion of 1312 King Street. Trench 6 measured 15 feet by 6 feet (4.5 m by 1.8 m) and ran east-west from the southeast corner of the lot at 1312 King Street (see Figure 21, p. 38; Photo 20).



Photo 20: Overview of Location of Trench 6, Facing West.

The depth of Trench 6 was fairly consistent at 1.8 feet (0.5 m) and soils within the trench consisted of a one layer of pavement over a dark grayish brown (10YR 4/2) sandy clay fill which overlaid a dark yellowish brown (10YR 4/4) clay sand fill (Figure 35; Photo 21). No features or artifacts were identified in this trench (Photo 22, p. 62).

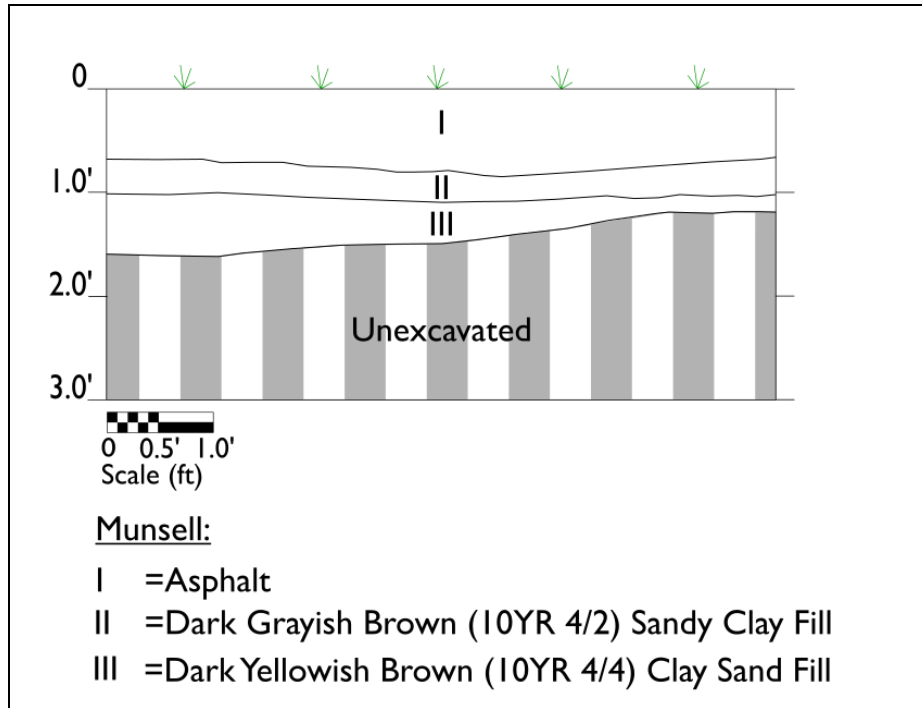


Figure 35: Profile of West Wall of Trench 6.



Photo 21: Profile of West Wall of Trench 6, Facing West.



Photo 22: Overview of Trench 6, Facing East.

### ***Newly Identified Archaeological Sites***

Two archaeological sites were identified within the project area as a result of this study (see Figure 21, p. 38; Figure 36, p. 63). The boundaries for these sites were determined by the historic occupation of the lot and in consultation with the City of Alexandria archaeologists. Additionally, while only a portion of the lot was investigated archaeologically, the entire lot was included in the site boundary.



Figure 36: Location of Sites 44AX0245 and 44AX0246 on the USGS Alexandria, Virginia, 7.5-Minute Digital Raster Graphic Mosaic (Esri 2020b).

### *Site 44AX0245*

Site 44AX0245 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site located at 1312 King Street, in a parking lot associated with a former auto sales dealer. This site encompasses 0.16 acres (0.06 ha), sitting at 15 feet (4.5 m) above mean sea level (AMSL) and encompasses the entirety of 1312 King Street (see Figure 36, p. 63; Photo 23). One extant building is currently located within the site boundaries; however, it is not associated with the archaeological findings which identify this site and was not subjected to an architectural survey. The site was identified during archaeological trenching conducted to determine the presence or absence of archaeological features associated with the no longer extant early-nineteenth- through early-twentieth-century buildings once located on the lot (see Figure 22, p. 39; Figure 37, p. 65).



Photo 23: Overview of Site 44AX0245, Facing Southeast.

Site 44AX0245 was identified via the excavation of Trenches 1, 2, and 3 which contained brick foundation remains (Features 1 and 2) and a brick work pad (Feature 3) associated with the occupation of 1312 King Street. Trench 1 contained the partial remains of a brick outbuilding located in the southwest corner of the lot. This building measures 15.5 feet by 10 feet (4.7 m by 3 m) and was likely used as a workshop or shed, as it had no definitive archaeological signature suggesting its use as a privy, cistern, or smokehouse (Photo 24, p. 66; Figure 38, p. 67). This building foundation was two courses wide and laid in a common bond. It extended to a depth of at least 1.5 feet (0.4 m) below pavement and likely had a wood or dirt floor.

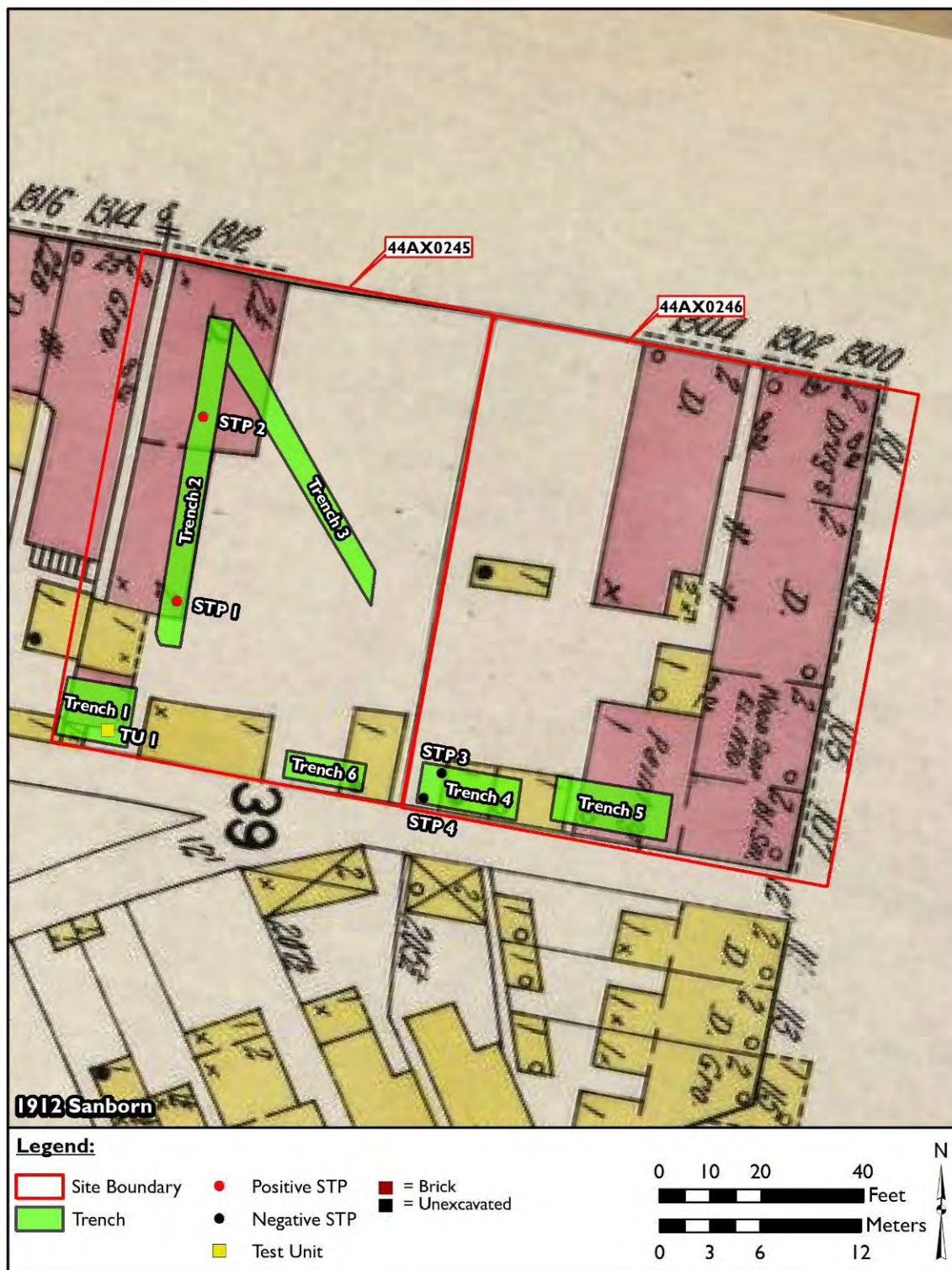


Figure 37: 1912 Sanborn Map Showing Buildings Identified in Trenches 1, 2, and 3 (Sanborn Fire Insurance Company 1912).



Photo 24: Overview of Foundation Located in Southwest Corner of 1312 King Street. Foundation represents outbuilding as seen on 1885 Sanborn Map.

Trenches 2 and 3 revealed the largest concentration of brick features, all associated with the former buildings once located on the lot (see Figure 38, p. 67). Specifically, the foundations exposed during this investigation represent the back wall of the front building at 1312 King Street and the back wall of the brick addition at 1312 King Street. Based on the archival research conducted as part of this work, the building at 1312 King Street was constructed in 1829 by Jacob Douglas and rented in 1830 to Richard Barton (ATR 1829, 1830). Barton ran a grocery and liquor store in the building for a few years before Quintin Barker took over, operating a grocery and coopery there until 1843. The building was let as a residence and store for a variety of businesses into the 1860s, and served as a residence and boarding house in the decades prior to its demolition in the early-twentieth century.

This work also revealed that the front building had a full basement that was divided by brick walls, creating interior rooms. The basement at 1312 King Street also contained a relieving arch which likely held the weight of a brick chimney above, as well as a drain which helped shed water (Photo 25–Photo 27, pp. 68–69). Given the size and location of the relieving arch it is possible that the room above (the first floor) had a large hearth for cooking, thus needing extra support for the intense weight. All exposed bricks from the foundation were white suggesting the basement was either painted white or whitewashed for aesthetic purposes, to brighten the space to make it easier to see, or to help limit mold growth. There was also a concentration of coal on the floor indicating the building’s heat source.

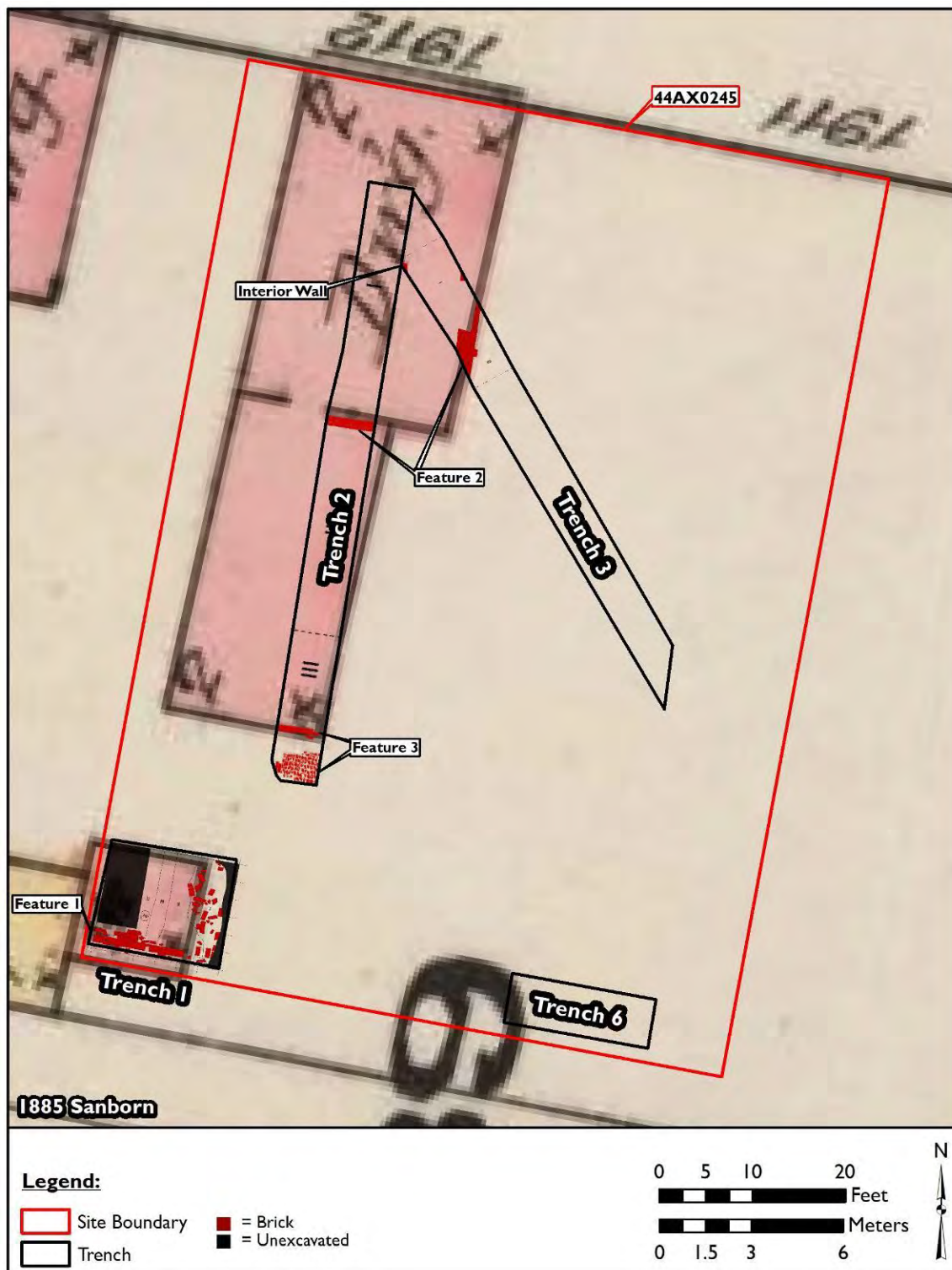


Figure 38: 1885 Sanborn Map Showing Archaeological Features Encountered During Current Investigations (Sanborn Fire Insurance Company 1885).



Photo 25: View of Exposed Foundation Wall with Drain in View, Facing South.



Photo 26: Overview of Exterior Wall and Relieving Arch, Facing Southeast.



Photo 27: Detail of Interior of Relieving Arch, Facing South.

In addition to the basement foundation and relieving arch, the current investigations also uncovered the back wall of the brick addition as well as a brick pad (see Figure 38, p. 67; Photo 28). The foundation wall of the addition was two courses wide and, like the other foundations examined during this work, was laid in common bond. Additionally, testing in this location revealed the brick addition had no basement. The brick pad was dry laid with mostly partial bricks and bats and extended across the width of the trench where it was recorded.



Photo 28: Overview of Back Wall of Brick Addition Foundation and Brick Pad, Facing East.

Artifacts found within the fill of the basement included a portion of a machine-made bottle, a rosary (specifically the crucifix and a section of the antiphon), a grape shot from a Naval cannon, a .54 caliber Minié ball, three marbles, and an aqua condiment bottle (Photo 29, p. 71). A post-1914 date has been assigned to the bottle fragment as it is clearly embossed 'Min. Cont. 6fl oz' and, according to the Gould Act of 1913, all bottles manufactured after 1914 were required to have a volume designation (Lockhart 2010:334).

The rosary has the name J.W. Comeau inscribed on the back (Photo 30, p. 71). Rosaries are used in Catholicism as a form of meditative prayer, and each rosary contains three parts: the introduction or the antiphon, the five decades, and the conclusion. The introduction consists of the cross and the four beads following it, which represent the Apostles' Creed, one Our Father, and three Hail Marys for the three divine virtues of Faith, Hope and Charity. The next part is the five decades (10 Hail Marys said in a row), and the conclusion is the closing prayers.

Initially it was assumed that Comeau must have resided at 1312 King Street for the rosary to have been deposited within the basement fill, but research on Mr. Comeau suggests that he lived across the street. A newspaper ad from 1919 infers that he lived at 1303 King Street, now part of Pacers Running, and was offering his services for painting and papering. He possibly worked at the Paint Shop located at 1304 King Street (Figure 39, p. 72).



Photo 29: Sample of Artifacts Recovered from Site 44AX0245. From top left clockwise: Slate pencil fragment, .52 caliber Minié ball, iron grape shot, Chero-Cola bottle fragment, and two marbles.



Photo 30: Portion of Rosary with J.W. Comeau Inscribed on Back.



Figure 39: 1919 Advertisement (*Alexandria Gazette* 1919a).

The brick pad, located just outside the brick addition, likely served as a work pad or base layer for back porch. The density of personal items increased in this location with one slate pencil fragment, three buttons, two marbles, and a Bakelite comb being recovered, primarily atop the brick pad. This apparent cluster is not surprising as this area may have been a preferred location for play and gatherings.

The purpose of this study was to identify the presence of intact archaeological deposits, primarily those associated with the early occupation of the project area. Site 44AX0245 is considered significant because it has the potential to contribute to the greater understanding of the early-nineteenth century urban built environment of Alexandria by showcasing not only the construction styles of middling merchant dwellings but also the spatial organization of a large side yard not believed to be a common feature of houses at the western fringe of the city. According to Virginia Cultural Resource Information System (VCRIS) records, only 73 archaeological sites contemporaneous with site 44AX0245 have been recorded, with only one being listed (44AX0048/Lee-Fendell House) in the NRHP. Additionally, only two sites have been determined not eligible (44AX0214 and 44AX0224) with the deciding eligibility factor being lack of integrity of the features and lack of significance of the late-nineteenth century component of the site. The general lack of formally investigated sites of this nature within 2 miles (3.2 km) of the project area further bolsters the potential eligibility of site 44AX0245.

#### *Site 44AX0246*

Site 44AX0246 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site located at 1304 King Street. This site encompasses 0.13 acres (0.06 ha), sitting at 15 feet (4.5 m) AMSL and encompasses the entirety of 1304 King Street (see Figure 36, p. 63). Two extant buildings are currently located within the site boundaries. The building fronting King Street has been recorded with the Virginia Department of Historic Resources (DHR) as 100-5050 and has not been evaluated. An architectural survey of these buildings was not part of this scope of work. The purpose of the investigations, as with site 44AX0245, was to determine the presence or absence of archaeological features potentially present behind the extant building on the lot. While the archaeological investigations only occurred in the open area behind the extant building, the

entirety of the lot was assigned as site 44AX0246 as they are considered one resource (Photo 31).



Photo 31: Overview of Site 44AX0246, Facing Northeast.

Site 44AX0246 was identified via the excavation of Trenches 4 and 5 which contained a square driven post (Feature 4), brick foundation remains, and a brick floor (Feature 5) associated with the occupation of 1304 King Street which was constructed for Ann Peyton sometime between 1800 and 1805 before she sold the property to John McKinney (Eig et al. 2018:5).

Trench 4 contained one feature associated with the no-longer-extant buildings, a square post likely associated with the wooden frame shed attached to the brick ‘Paint Shop,’ as seen on the 1896 Sanborn Map (Figure 40, p. 74; Photo 32, p. 75). This post likely represents one of the structural posts associated with the building. It was approximately 1-foot square (0.09 m) and was composed of a very dark grayish brown (10YR 3/2) silty sand. A machine-made bottle base with visible Owen’s suction scar was observed within the matrix but was not collected.



Figure 40: 1896 Sanborn Map Showing Archaeological Features Associated with Site 44AX0246 Encountered During Current Investigations (Sanborn Fire Insurance Company 1896).



Photo 32: View of Remains of Structural Post (Feature 4) Associated with the Wooden Frame Shed, Facing South.

Trench 5, directly east of Trench 4, contained the partial building remains of the ‘Paint Shop’ as well as a portion of the wooden frame shed located in Trench 4. Based on overlays, the Paint Shop likely measured 20 by 30 feet (6 by 9 m) and was of brick construction (see Figure 40, p. 74; Photo 33, p. 76). The archaeology confirmed this by revealing a two-course brick foundation laid with mud mortar. A small builder’s trench was also present measuring 0.1 feet (0.03 m) in width (see Figure 33, p. 57). As with the other foundations seen during the current investigation, this building was also laid in a common bond. The brick floor within the paint shop was mostly laid with brick bats and fragments (Photo 34, p. 77). This construction style suggests that this floor was strictly utilitarian and no discernable pattern was seen. This is not surprising as the floor of a paint shop would be subjected to repeated chemical spills.

While no artifacts found within sealed early-nineteenth century deposits were encountered in site 44AX0246, later artifacts indicative of the occupation of the site were identified. Three bottles were retained for their diagnostic attributes and include one cobalt Bromo Seltzer bottle (1905–1916), an embossed beer bottle marked “Robert Portner Brewing Co” (1870–1916), and a second Robert Portner Brewing Company bottle (1910–1916) (Madden and Hardison 2002). Additional, artifacts include one stage 3 quartz biface fragment, an 1865 Indian Head penny, and a 4-hole Prosser button (Photo 35–Photo 36, pp. 77–78).



Photo 33: Overview of Foundation and Brick Floor Associated with Former Paint Shop, Facing East.



Photo 34: Detail of Brick Floor Inside Former Paint Shop.



Photo 35: Robert Portner Bottle Recovered From Site 44AX0246.



Photo 36: 1865 Penny Recovered From Site 44AX0246.

The purpose of this study was to determine the presence of intact archaeological deposits, primarily those associated with the early occupation of the project area. Site 44AX0246 is considered significant as it has the potential to contribute to the greater understanding of the early-nineteenth century urban built environment of Alexandria by showcasing not only the construction styles of the buildings but also the unique layout of this particular site.

## **RESULTS OF THE INTENSIVE-LEVEL ARCHAEOLOGICAL TESTING AT SITE 44AX0245**

Dovetail conducted intensive-level testing within a portion of site 44AX0245 at 1310–1312 King Street (see Figure 36, p. 63). This lot is slated for development; additional archaeological investigations were conducted at the request of the City of Alexandria based on a review of the Phase IB results. The goals of the archaeological investigations at this site were to mechanically expose the basement at 44AX0245 to further examine the construction methods of the feature, to ensure that no additional features were present, and to explore the area east of the basement for potential side yard or garden space features. These areas were designated as Task 2 and 3 in the RMP drafted by Alexandria Archaeology (Figure 41, p. 80; Appendix D, p. 147).

The following section highlights the results of the intensive-level archaeological testing. The archaeological results include a summary of the features that were excavated with a more detailed examination of the brick basement and all the sub-features associated with its construction and occupation. This is followed by an analysis of the brick recovered from the basement and associated features augmented by a full masonry analysis which offers insight into how the bricks were made and which time periods they represent. The final section of this document provides an overall analysis of the identified features and how they compare to similar features documented in the City of Alexandria.

Site 44AX0245 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site located at 1310–1312 King Street. This site was first identified by Dovetail during their 2020 Phase IB study and, as a result of that work, further investigations were recommended (see Figure 38, p. 67). The site totals 0.16 acres (0.06 ha), sitting at 15 feet (4.5 m) AMSL and encompasses the entirety of 1310–1312 King Street. The intensive-level testing at this site largely consisted of the mechanical excavation of the brick basement associated with the former 1820 dwelling once located on the lot, however, during the course of this work additional features were identified and, as such, will be discussed in the following section.

A total of nine additional features were uncovered during the formal archaeological investigations at site 44AX0245 (Figure 42 and Figure 43, pp. 81–82). Because feature numbering was conducted on the entire project area during the Phase IB work, the feature numbers at this site are not consecutive. The feature identified at site 44AX0245 primarily include the basement (Feature 2), identified during the Phase I, and associated sub-features (Table 5, p. 83). During construction of the lot, an additional two features (both wells) were uncovered and were labeled as Features 35 and 36. Besides the basement, the most notable features identified during the work at site 44AX0245 were the well/cistern (Feature 16), the elaborate drain system (Feature 32), and the barrel well (Feature 34). Excavation strategy was dictated by lack of deposits related to the period of significance (1820s) and repeated building use, safety issues, time allotted for the project, and groundwater. Feature 17, a ladder post in the basement, was excavated as well as a portion of Feature 16, the

well/cistern. Feature 33 was removed in its entirety by the backhoe and examined on the ground surface due to the unstable nature of the basement walls.



Figure 41: Locations Examined During the Intensive-Level Archaeological Testing at Site 44AX0245 on Aerial Imagery (VGIN 2015).



Figure 42: Archaeological Features Uncovered During Intensive-Level Testing at Site 44AX0245 (VGIN 2015). See Figure 44 for more detailed plan view of Feature 2 and associated archaeological features.

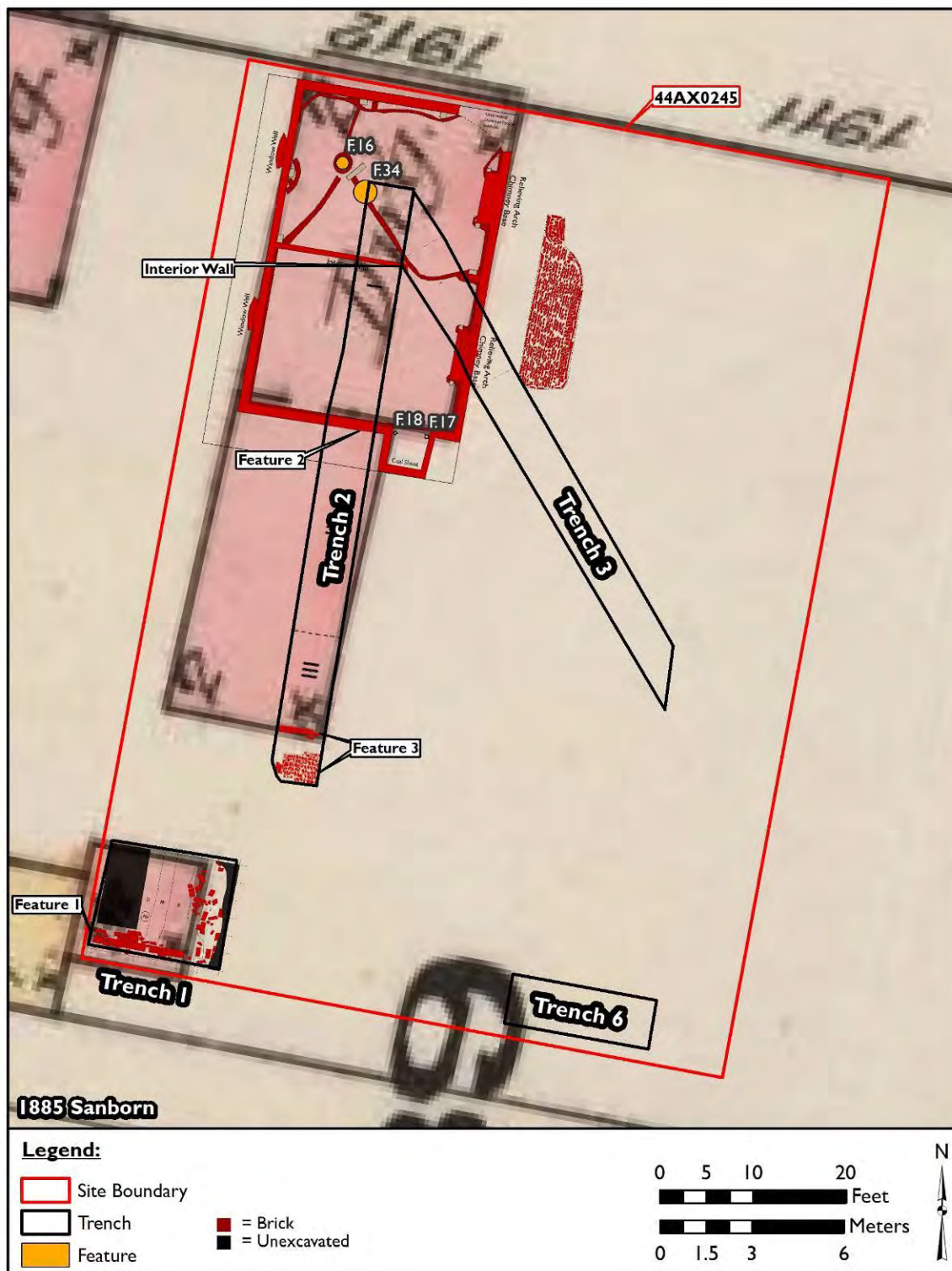


Figure 43: Archaeological Features Uncovered During the Phase IB and Intensive-Level Testing at Site 44AX0245 on 1885 Sanborn Map (Sanborn Fire Insurance Company 1885). Features 1–3 were identified during the Phase IB.

Table 5: Features Identified During Intensive Archaeological Investigations at Site 44AX0245. Note: Features 1– 3, are not listed below as they were identified during the Phase IB effort.

Feature Number	Site	Description	Artifacts	Base of Excavation (in feet)	Munsell	Size (in feet)
Feature 16a	44AX0245	Well/Cistern	N	4.0	10YR 5/4 yellowish brown with 10YR 3/2 very dark grayish brown sandy clay with charcoal and brick flecking	4 x 4
Feature 16b	44AX0245	Builder's Trench	Y	1.4	10YR 6/3 sand	0.3–1.1 wide
Feature 17	44AX0245	Ladder Post in Bulkhead	Y	0.1	10YR 4/3 brown sandy loam	0.7 x 0.5
Feature 18	44AX0245	Ladder Post in Bulkhead	N	N/A	10YR 4/3 brown sandy loam	0.5 x 0.4
Feature 32	44AX0245	Brick Patio	N	N/A	Brick	17 x 4.5
Feature 33	44AX0245	Drains in Basement	N	N/A	Brick	8.75 wide
Feature 34	44AX0245	Barrel Well	N	3.8	10YR 6/3 sand	4.9 x 4.9
Feature 35	44AX0245	Well	N	7	N/A	N/A
Feature 36	44AX0245	Well	N	13	N/A	N/A

## *Feature 2, The Basement*

Feature 2 represents the archaeological remains of the 1820–1920s two-story brick dwelling once located on the lot. This feature presented as a two-room brick basement laid in a five-to-one common bond with several other architectural elements and sub-features. The basement itself measured 35.2 feet (10.7 m) north-south by 25.3 feet (7.7 m) east-west and extended to a depth of approximately 7 feet (2.1 m) below ground surface (bgs) (Figure 44, p. 85; Photo 37–Photo 40, pp. 86–88). The fill within the basement consisted of two layers of pavement which overlaid fill composed of brick rubble and degraded mortar. Beneath this was a thick layer of dark yellowish brown (10YR 4/6) sandy clay fill. This layer sat atop a very dark grayish brown (10YR 3/2) coal deposit (see Figure 26, p. 46). No artifacts were recovered from this feature during these investigations, however, during the initial testing, the rubble layer was the only artifact-bearing stratum in this feature. See pages 44–53 for information on artifacts recovered during these investigations that dated from the mid-nineteenth through early-twentieth century.

Originally constructed between 1819 and 1820, the roughly 25-by-35-foot (7.6 m-by-10.6 m) basement below John Lanham's store and dwelling area was divided into two similarly sized rooms divided by a central brick wall. At the center of the east elevation in each room was a relieving arch that historically supported two chimney stacks above. In the center of each room's west wall, two original window openings allowed natural light into the space but were later infilled. Two bulkhead entrances were located near the east corners of the north and south walls of the basement. At the north elevation, the bulkhead entrance was not exposed due to access issues with the backhoe. However, the bulkhead at the south elevation was fully exposed revealing two posts holes at the floor of the wall opening, likely supporting ladder access to the basement below. A cold joint lines the exterior wall on either side of this opening and features the same five-to-one brick bond as the original wall. As such, it is probable that the bulkhead walls were constructed during the same period as the 1820s dwelling.

The use of a five-to-one common bond in the construction of these walls is in keeping with area trends in masonry construction for the period, and is also seen in the circa-1814 building in Lot 1 and the circa-1805 building in Lot 2 (Eig et al. 2018b:5). Another earlier example of five-to-one common-bond brick is seen in the side and rear elevations of the Vowell-Snowden-Black House at 619 Lee Street, built circa 1800 (Historic American Building Survey 1977).

Around the perimeter of the interior of the basement, a course of bricks installed sometime after initial basement construction were set into the dirt floor against the exterior walls, likely to help with drainage. Also around the perimeter of the interior wall was a dark stain near the base of the wall that could indicate a floating wood floor; however, common artifacts related to such flooring were not uncovered during the excavation (e.g. flooring nails, intact flooring). In the northern room, 10 cedar posts were also set against the foundation walls at relatively regular intervals, and may have been used to structurally shore up failing floor joists or sill plates in that area. In the southern basement room, one cedar post remains extant at the southeast corner, though others were likely once present.

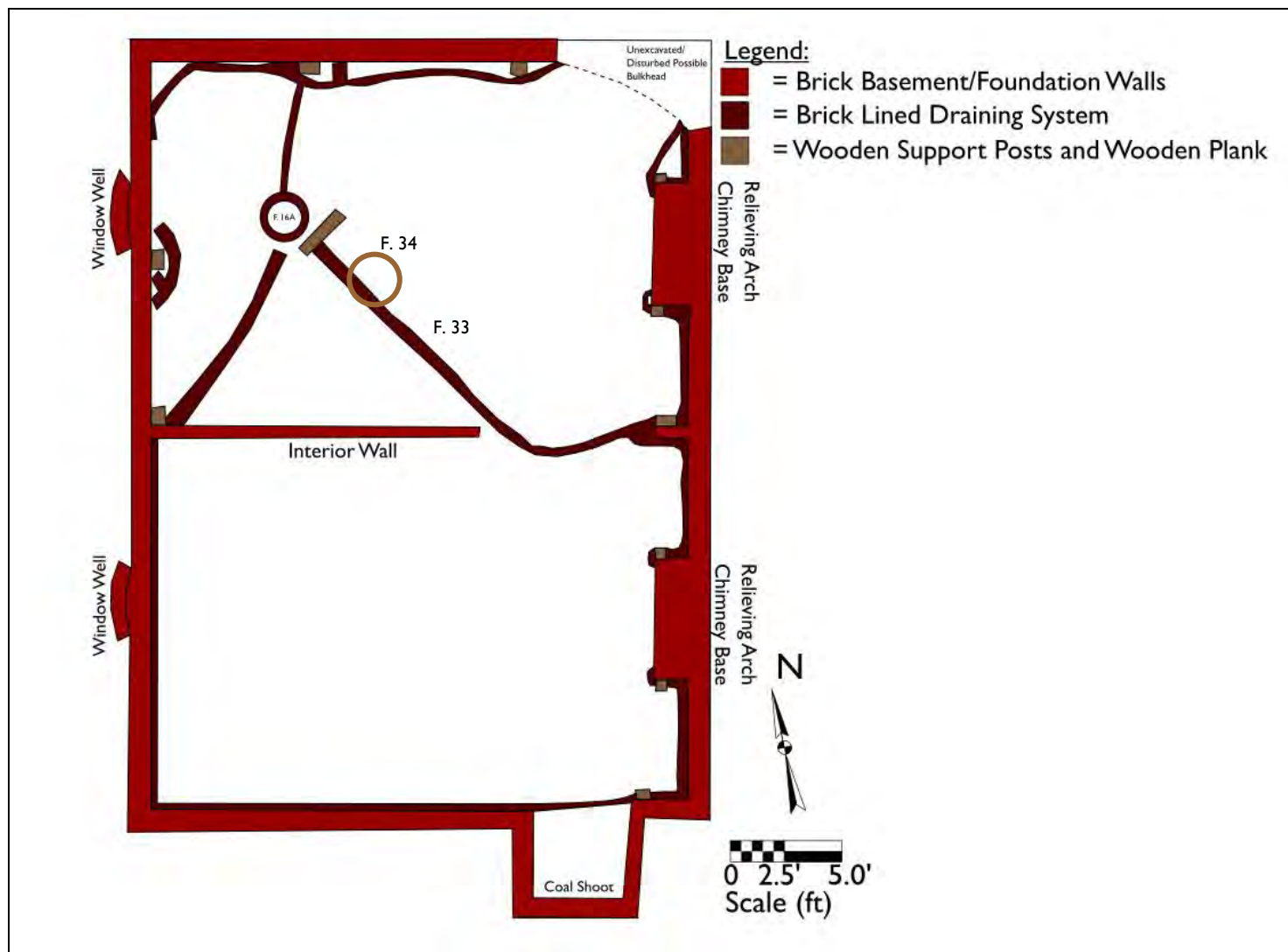


Figure 44: Plan View of Feature 2 and Associated Archaeological Features and Architectural Elements.



Photo 37: Overview of Feature 2 Showing the Relieving Arches, Interior Wall, Coal Shoot, Portion of Brick Drain, and Brick Well, Facing Southeast.



Photo 38: Detail of Western Wall of Feature 2 Showing Window Well and Portion of Interior Wall, Facing West.



Photo 39: Detail of Cedar Support Post Adjacent to Interior Wall, Facing Southwest.

Additional elements in the basement include a brick well that was later used as a cistern in the northern room, an elaborate drain system to pull water away from the foundation, a barrel well, and post molds related to a ladder for access to the basement through the coal shoot.

To aid in a comprehensive discussion of this elaborate feature and all of the associated sub-features, the sub-features will be discussed individually followed by an interpretation and postulated evolution of how each feature relates to the basement itself.



Photo 40: Detail of Cedar Support Posts, Segment of Interior Wall, and Brick Drain, Facing East.

*Feature 16a and Feature 16b, The Well/Cistern*

Feature 16a was identified as a well/cistern. This featured measured 4 feet (1.2 m) in diameter and was composed of hand-made, dry-laid bricks with an exterior wood lining. Feature 16a extended to a depth of 8 feet (2.4 m) below the floor of the basement with the fill being composed of a yellowish brown sandy clay (10YR 5/4) mottled with a very dark grayish brown (10YR 3/2) sandy clay. No artifacts were noted or recovered in the interior of the well as the matrix appeared to be void of cultural material.

Feature 16a was initially bisected on its east-west axis and hand excavated to a depth of 4 feet (1.2 m). In an effort to gather more information on the construction, temporal affiliation, and use of this feature, the bisect line was extended to capture the builder's trench (Feature 16b) surrounding the well.



Photo 41: Overview of Feature 16a within Feature 2, Facing South. Note: A third drain extending from the northern portion of the feature was uncovered during excavation of this feature and is not shown here.

The builder's trench associated with the well (Feature 16b) was composed of a pale brown (10YR 6/3) sand with only one artifact recovered, a fragment of ironstone terminus post quem (TPQ 1840) (Figure 45 and Figure 46, p. 90; Photo 42, p. 91). This portion of the feature was only partially excavated as removal of the feature soils revealed that the drain system did, in fact, have an output into the well/cistern, confirming the suspicions that, while this feature was initially constructed as a well, it was repurposed to serve as a cistern, an underground shaft feature for storing rain water (Photo 43, p. 91). This was further supported by the mix of bricks used to repurpose Feature 16. While variance of brick manufacture is discussed in greater detail in the following masonry analysis section, it is worth mentioning that the composition of the bricks in this feature displayed evidence of being made during two different time periods. It is believed that the bricks originally used to construct the well date to the early-nineteenth century while the bricks used to modify the well into a cistern and construct the drain system were made in the late-nineteenth century.

Upon the completion of the excavation of the builder's trench (Feature 16b), Feature 16a was mechanically excavated on its east-west axis (Photo 44, p. 92). The bisect line was altered due to access and safety issues within the basement. The bisect of Feature 16a revealed a fully brick lined well shaft with exterior wood lining extending to a depth of approximately 8 feet (2.4 m) below the basement floor. Additionally, at this depth the water table was reached and no further excavation was conducted.

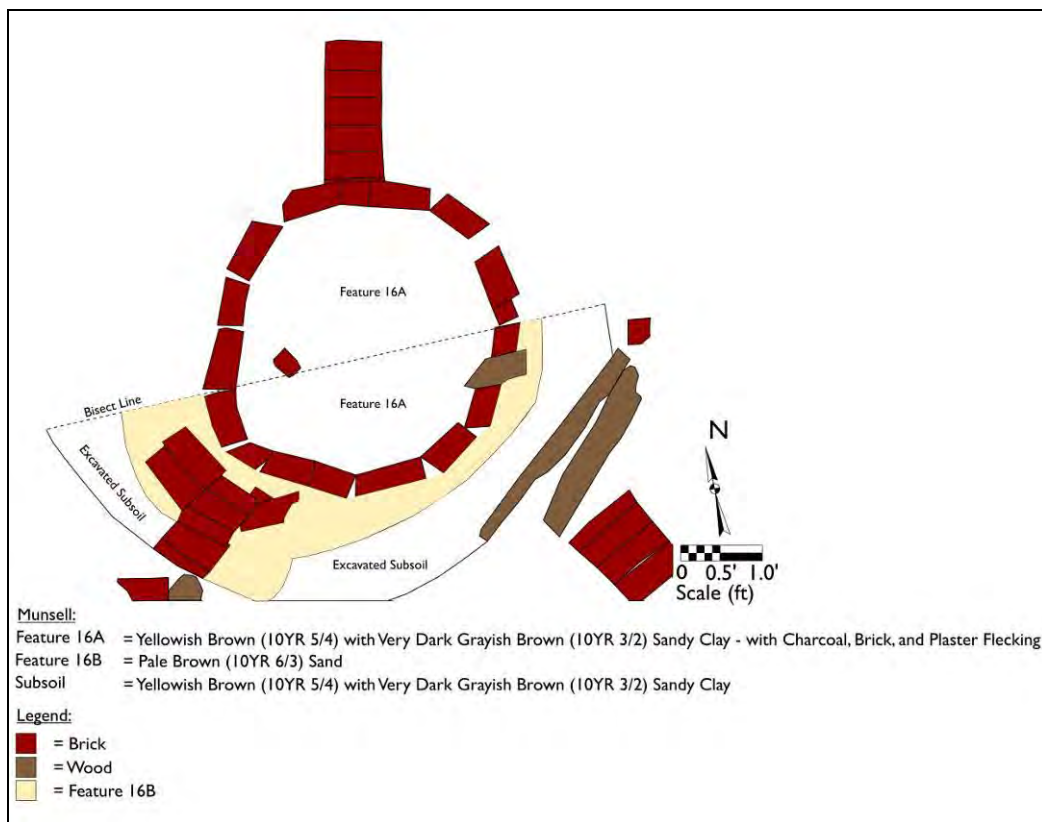


Figure 45: Plan View of Feature 16a and 16b.

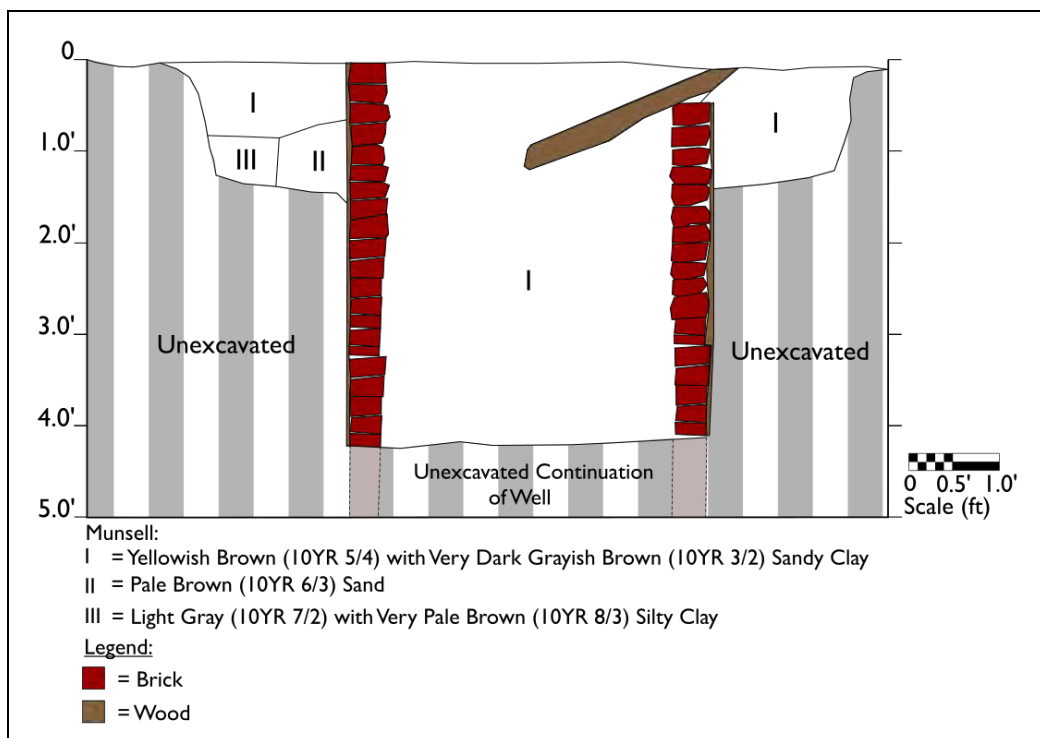


Figure 46: Profile of Feature 16a and 16b.



Photo 42: Completed Bisect of Features 16a and 16b, Facing North.



Photo 43: Detail of Drain Output into Feature 16a, Facing Southwest.



Photo 44: Overview of Feature 16a, the Well After Mechanical Bisection, Facing West.

#### *Feature 34, The Barrel Well*

Feature 34, a barrel well, was identified during the mechanical removal of soil during the excavation of Feature 16a. This feature was located directly adjacent to Feature 16a and was obscured by the brick drain system within the basement floor. The builder's trench associated with this feature was filled with brick fragments giving the feature a red halo effect (Photo 45 and Photo 46, p. 93).

Due to the nature of the project, this feature was excavated in a single scoop by the backhoe and examined on the ground surface for artifacts and shape to aid in determining function (Photo 47 and Photo 48, p. 94). In total, Feature 34 measured approximately 4.9 feet (1.4 m) wide and was 3.8 feet (1.1 m) deep. The barrel itself measured between 1.7 feet (0.5 m) and 2.5 feet (0.7) due to the tapering nature of the barrel. No other artifacts were noted within the matrix of the feature. Given the expedited excavation of this feature a definite determination is not possible, however Feature 34 displays characteristics of a stacked barrel well.



Photo 45: Overview of Feature 34, Facing Northeast.



Photo 46: Feature 34 Partially Excavated, Facing East.



Photo 47: Upper Portion of Feature 34 Excavated by Backhoe. Note the impressions in the soil left by the barrel staves.



Photo 48: Barrel Staves Recovered from Feature 34.

### *Feature 17, a Ladder Post*

Feature 17 represents a ladder/post mold within site 44AX0245 within the coal shoot in the southeast corner of the excavated basement. This feature measured approximately 0.4 feet (0.12 m) by 0.6 feet (0.18), and falls in line with Feature 18, which measured 0.3 (0.09) by 0.4 (0.12 m), at the bottom of the coal shoot, further alluding to it being the post molds for a ladder. Feature 17 was bisected on an east-west axis and the northern half was removed. With only the very bottom of the feature remaining, less than 0.1 feet (0.03 m) was able to be excavated. The soil within Feature 17 was a brown (10YR 4/3) sandy loam and excavation was ceased when sterile soil (10YR 5/4 yellowish brown clay) was reached. A total of two artifacts were found, including polychrome-painted pearlware and window glass, providing a TPQ of 1795.

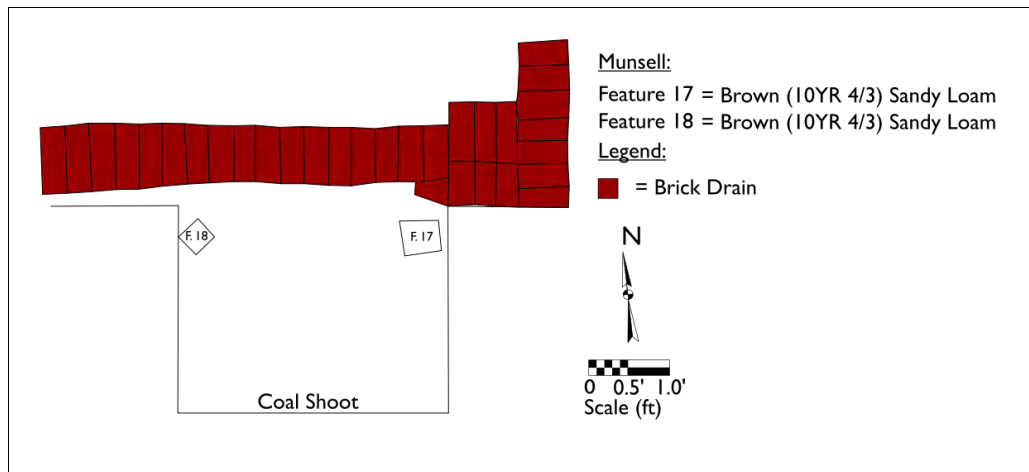


Figure 47: Plan View of Features 17 and 18.

### *Masonry Analysis*

In *Building Construction Before Mechanization*, John Fitchen (1999:16) wrote:

In the past there have been countless writings on the aesthetic basis of traditional styles, the distinctions between the sublime and the beautiful, the so-called laws of proportions, the expressiveness of ornamentation, and the principals of composition generally. These are unquestionably valid considerations... The exposition of technical processes, on the other hand, requires a different kind of perception, training, and observation—one that is no less precise and highly disciplined, but pragmatic and factual as well.

Bricks from five contexts were retained during the King Street project for analysis. They were retained as they represented distinct archaeological contexts. Each sample was analyzed for numerous attributes to understand the building and feature chronology of the site as well as extant conditions at the time that each brick was manufactured. Together, this data shares an abundance of information on the history of this site.

This section includes first a brief description of brick making to develop a context for the manufacturing process. This is then followed by an analysis of the brick samples from the current project.

## *Making Brick*

Two basic types of brick were collected from features at King Street: handmade brick and fire brick. Although no brick that is normally catalogued as machine-made brick was collected, fire brick is a subset of the larger machine production category. As such, the manufacturing process of all three will be briefly discussed below followed by an analysis of their use within the King Street features.

Bricks were commonplace in Alexandria in the eighteenth and nineteenth century, but the process of making bricks by hand was laborious and time consuming, thus the product was expensive if purchased and time-consuming if made on site. Pre-industrial brickmaking was a seven-step process. The first step, often called “winning,” was to obtain the raw clay. The clay could be mined in several ways, including underground collection, hydraulic extraction, dredging, and, the most prevalent method, the open pit, or surface, collection (Gurke 1989:5). Once the clay was extracted from the ground, it needed to be weathered for at least one year. Weathering entailed leaving the clay out in the open for several seasons so it would become more elastic due to repeated thawing and freezing (McGrath 1979:88). This process also washed out all the salts from the raw clay to prevent excess shrinkage during drying (Gurke 1989:7). Once the clay had been weathered, temper was added to make the clay more stable and act as a coagulant. Temper was often sand, but it could also be oyster shell, ash, chalk, stone, or grog (ground-up brick, pottery, or some other form of baked clay) (Gurke 1989:12–13). Temper was mixed into the clay through a variety of methods; “Typically, the muscular power of animals, men and boys was the only source of energy used in small brickyards,” (Garvin 1994:21) and each tempering method required intensive physical labor.

After the clay had been weathered and the temper was added, the mixture was ready to be molded. There were numerous methods of molding bricks. Each technique gave the brick a unique appearance and varying construction qualities. The most prominent material was wood (McGrath 1979:89). More expensive molds were made of metal (copper or iron) or pottery. Once the mold was selected, the second decision included identifying the lubricant to use in the mold prior to the insertion of the clay. The two most popular methods were water-struck lubricant and sand-struck lubricant. Sand as a lubricant was cheap and easy to use, but left a very gritty texture on the exterior of the brick (Garvin 1994:21). Water as a lubricant gave the bricks a shiny look. It is equally as cost-effective as sand, but it is much more difficult to extract the formed brick from the mold. Other lubricants include soap, lard, and oil. While bricks used on a site often used the same type of mold, numerous versions of the selected mold were often utilized to expedite the process.

The fifth step in brick manufacturing was drying. Each molded brick was laid out to dry for two to three weeks and then they were fired (Gurke 1989:26). Firing began with water-smoking at a low temperature (250 to 350 degree) to remove any residual water from the bricks. This was followed by a significant temperature increase (1,500 to 2,000 degrees) to vitrify the clay into hard bricks (Gurke 1989:28; McGrath 1979:40). Portions of the bricks closest to the heat source would partially turn to glass. The vitrification process, and the natural orange of most clays, results in a mottled grey-green-black color with a very shiny appearance. The bricks located furthest from the heat source were often a blanched color, usually referred to as “salmon brick,” and were much softer than the vitrified bricks (Elliott

1992:35; Garvin 1994:26). The final step in brick production was the sorting and grading of the brick (Gurke 1989:98–100). Once the bricks had been sorted, the bricklaying would begin.

Because the process of making handmade bricks was extensive, efforts to create a machine to manufacture brick began early. While the earliest patent for a brick-making machine was filed in 1792, the first successful products were not rendered until 1833 and it was not until the 1870s that machine made bricks appeared with any regularity (McKee 1973:44). Machine brickmaking gained popularity in the United States after the Philadelphia Centennial Exposition of 1876 (McCabe 1876:730). Like many inventions showcased at these international exhibits, their use spread quickly. Not only would manufacturing bricks with a machine speed up the process, but the ensuing brick was much more durable and less absorbent as machines could press the clay into the mold with much greater force and thus create a denser product (McKee 1973:45).

Brick-making machines involved a series of dies, rollers, and saws. The raw clay was extracted as described above and then placed in a hopper. Temper was added to the matrix to stabilize the base and create better cohesion. The temper for machine production tended to be smaller than that used for hand-made bricks due to the density of the final product. As such, sand and coal dust were preferred over shell, gravel, or grog (i.e., McKee 1973:47). Once mixed, the clay was passed through either a horizontal pug mill or a vertical mixer, which both churned the matrix and helped to remove air pockets and increase elasticity (Figure 48, p. 98). The clay was then pushed through a die to shape them into a long rectangle that was then mechanically cut into individual bricks. If a brick was to be marked with either a stamped name or an embossed logo in the frog (center flat plain of the top of the brick), a plate was added to the die prior to molding. Once the bricks were cut, they were laid out to dry.

In addition to facilitating the production of building brick, the invention of the brick-making machine enabled the manufacturing of different types of brick. Whereas bricks before the machine were hand pressed and thus had a similar low density, machines could greatly compress the clay matrix and allow for heavier bricks with different properties (Harbison–Walker Refractories 1992). Second to the general red clay brick, one of the most prevalent early machine bricks was the “fire brick.” Also known as a refractory brick or insulating brick, the fire brick was designed to withstand great heat (Sheffield Pottery 2020). As such, it has a much denser matrix than a standard brick and most had a grog temper, which assured both stability and additional heat resistance. Some also included cinder in the body.

Within the fire brick family, machines could produce two types of products, either an extremely dense and large red-colored brick that was used in industrial settings where high temperatures were expected or what is often referred to as a “soft fire brick,” also known as an insulating fire brick (Sheffield Pottery 2020). The soft fire bricks were yellow in color, slightly smaller and lighter than the industrial fire brick, and easier to transport given their lighter size and weight. They still retained the excellent ability to resist heat; as such, these soft fire bricks were often used in more domestic settings, such as within home hearths or at small-scale industrial shops.

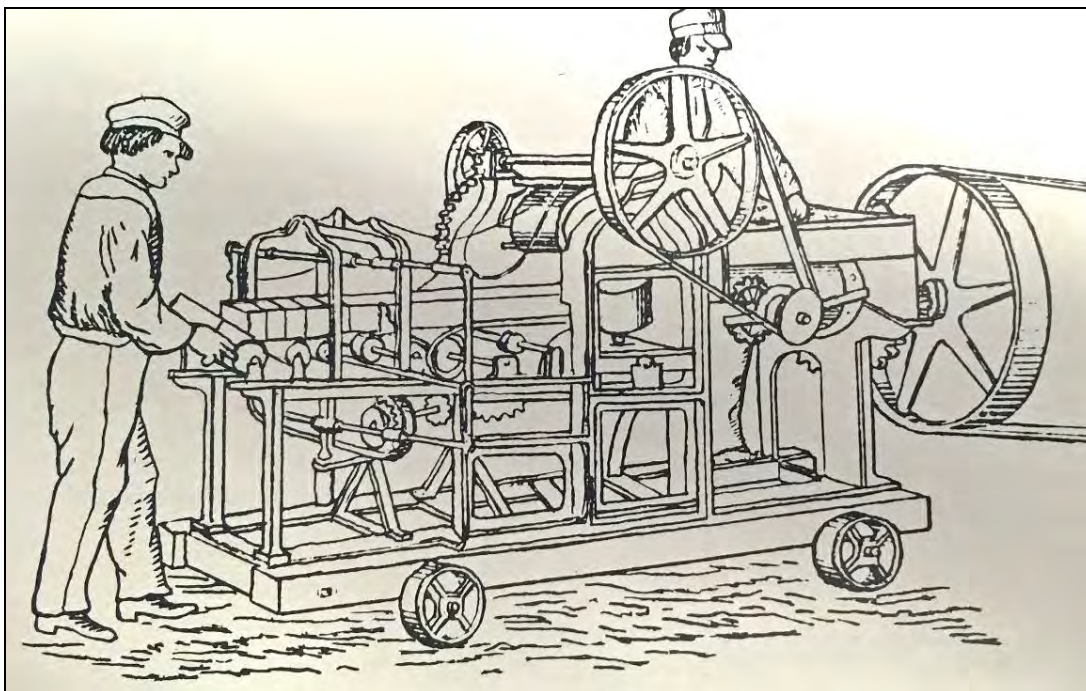


Figure 48: Nineteenth-Century Horizontal Brick-Making Machine (McKee 1973:45).

### *Bricks at King Street*

Bricks were collected from five contexts during the King Street excavation (Table 6, p. 99). Each was analyzed for a host of features to understand how it was made and where it was used including brick manufacture type, temper, shape, mold, decoration, mortar, and any other key attributes that may be notable. The goal was to utilize the technical process and details on manufacture to elucidate information on construction at the site (Fitchen 1999).

Two brick samples were retained from the main foundation (Feature 2). Both were handmade using sand temper. A rectangular-shaped wood mold was used to form the bricks. Linear mold marks were noted along the stretcher plane that illustrate that the mold had a narrow void between the base plate and the side pieces, which is unusual as most have a solid box mold with no voids to limit areas of structural instability and visual impediments to the brick. This same poor attention to detail during the manufacturing process was noted both within the internal matrix and on the brick's face. The clay matrix exhibited numerous gaps in the material, suggesting that they were poorly packed, and the face is riddled with small pits and an uneven texture (Photo 49, p. 100). Such a condition is sometimes seen when there is rain at a critical moment during the brick's drying period and the surface is not restruck. The use of bricks with cosmetic flaws is common in foundations and other brick features that will not be visible. The poor clay packing would not have necessarily led to notable structural integrity issues. The bricks also have remnants of shell-tempered mud mortar on two sides, pointing to the fastener type for this feature.

Associated with the main house foundation (Feature 2) is an element that has been interpreted as a coal shoot. One brick was kept as a sample from this feature. It is a

Table 6: Summary of Bricks Retained for Analysis. Bricks in blue have similarities in their composition, as do bricks in red.

#	Feature	Quantity	Type	Temper	Shape	Mold	Decoration/ Mortar	Other Features
2	Foundation	2	Handmade	Sand	Rectangular	Wood with space between bottom and side slats	Mud mortar with shell temper in patches	Top and sides appear pitted; possibly exposed to elements while drying; poorly packed (voids in matrix); measure 8 x 4.5 x 2 inches and 8.5 x 4 x 2.5 inches
2	Coal Shoot Rubble	1	Fire	Cinder and Sand	Rectangular	Metal	Embossing in the frog "Toronto" with two flanking raised vertical lines	Wire channels within both headers and on the face opposite the embossing; measures 9.25 x 3.75 x 3 inches
16	Cistern Period	2	Handmade	Sand	Rectangular	Wood	None	Wood struck on top to remove excess clay; wood striations visible on smoothed surface; poorly packed (voids in matrix); whole brick measures 8.75 x 4 x 2.5; bat measures 8 x 4 x 2.5 inches
16	Well Period	2	Handmade	Sand	Rectangular	Wood	None	Top appears pitted; possibly exposed to elements while drying; more fine than foundation brick but similar treatment; whole brick measures 8.75 x 4.25 x 2.5; bat measures 7 x 4 x 2.5 inches
33	Drain	3	Handmade	Sand	Rectangular	Wood	None	Wood struck on top to remove excess clay; wood striations visible on smoothed surface; poorly packed (voids in matrix); all three measure 8.75 x 4 x 2.5 inches



Photo 49: Brick from Feature 2, the Foundation, Showing the Linear Mold Line That Suggests a Void in the Mold Itself (Yellow Arrow). Also note the presence of shell-tempered mud mortar.

rectangular fire brick with cinder and sand temper. Yellow/salmon in color, the brick mirrors the size of many fire bricks in that it is slightly longer than a handmade brick or general machine-made brick, but not as wide. Wire channels have been molded into the headers and the rear plane, suggesting that this brick was manufactured in the twentieth century. The most notable visual element is the word “TORONTO” embossed in the frog, flanked by two raised vertical lines (Photo 50).



Photo 50: Fire Brick from Feature 2.

Feature 16a is a brick well that was later repurposed as a cistern and a total of four bricks was kept for analysis. Two of the bricks retained from Feature 16a/b exhibit similar characteristics as those found in the foundation. They are handmade with sand temper and formed in rectangular wooden molds; the mold was solid with no voids. The surface features a similar pitting as found on the foundation brick, suggesting exposure to rain or another condition that altered the strike mark to leave an undulating surface (Photo 51). This also suggests these bricks are contemporaneous and indicate the well and foundation were constructed around the same time period.



Photo 51: Feature 16a (Well Period) Brick Example Showing the Pitting on the Surface that was Exposed During the Molding Process.

The remaining two bricks from Feature 16a are believed to be from the cistern period of this feature and are handmade with sand temper and formed rectangular wood molds. Unlike the bricks from the foundation, the mold used for these bricks was solid and contained no voids, thus leaving a uniform appearance on all sides. When the brick was being produced, the top of the brick was struck with a fine-grained board or brush, wherein the tool was dragged across the top surface to remove the extra clay protruding out of the top of the mold and leaving narrow strike marks (Photo 52, p. 102). While the appearance of these bricks is cosmetically more refined than those found in the foundation, they both appear to have the same compaction issues wherein the matrix was not packed properly into the mold, thus leaving clay folds and voids in the massing.

The final feature included in this analysis is Feature 33, interpreted as a drain, from which three bricks were kept for this study. All three were handmade with sand temper, formed in a rectangular wooden mold. Like the bricks found in Feature 13, these artifacts had a smoother surface than that witnessed on other examples, highlighting a solid mold with the use of fine-

grained wood or a brush to strike the excess clay from the surface during manufacturing. While these bricks appeared to not have flaws noted in other bricks from the site, the analysis did reveal similar voids in the structural matrix seen on other examples, illustrating poor packing of the raw material into the mold (Photo 53).



Photo 52: Brick from Feature 16a (Cistern Period) Showing the Faint Linear Strike Marks on the Surface Showing the Removal of Excess Clay During Manufacturing.

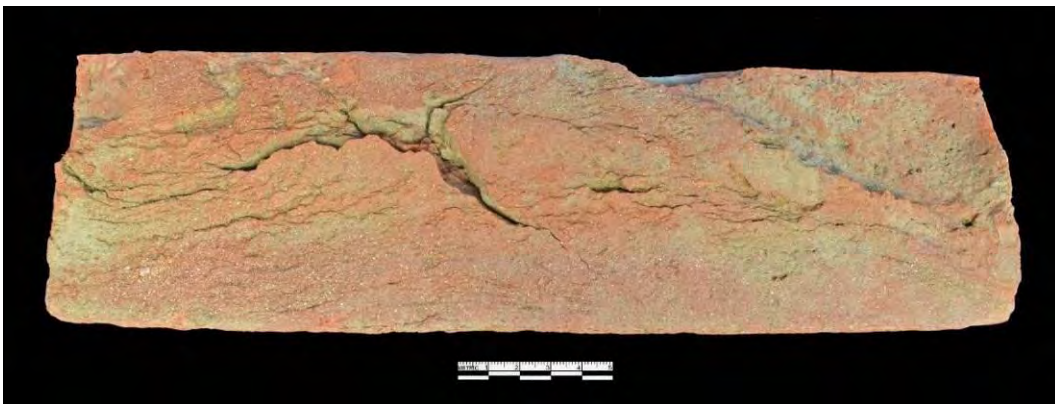


Photo 53: Stretcher of Brick from Feature 33, the Drain, Showing Voids in Clay Created During Packing.

When analyzed together, the results of the brick study can help shed light on the formation and chronology of the represented features. As noted in Table 6 (p. 99), the bricks from the main foundation (Feature 2) and the well (Feature 16a; the well period) exhibit many similar characteristics. They are made of similar clay, have the same temper, and are roughly the same size. Most notably, both have the unique surface pitting that suggests an error in manufacturing wherein the original solid strike was marred, perhaps by exposure to rain. Although the foundation bricks suggest there was a void in the mold used for their

manufacture, each brick-making site utilized countless molds, thus the same batch could have different mold marks. The presence of the pitting and other similarities suggests that they were made at the same time, which further suggests that the Feature 16a (the well period) may be coterminous with the foundation.

Also exhibiting similar features are the bricks from the Feature 16a (the cistern period) and the drain (Feature 33). They are handmade using the same clay bound with sand temper. Both also show signs of a similar wood mold being used in the manufacturing process and exhibit matching strike marks on the surface. In addition, the same packing method appears to have been used for the matrix in all examples from these two features—a process that left voids. These conditions resulted in bricks that were visually similar and without cosmetic issues; the voids were minimal and did not impact the structural stability of the brick.

Lastly, the fire brick used for the coal shoot is a clear indication of later modifications to the building. Made of clay with cinder and sand temper, the fire brick has a different color and density than the other bricks found on the site and it was produced to withstand high temperatures. This product was selected for the heat-producing coal and fire area to help withstand higher temperatures from hot coals.

### ***Summary and Interpretations of Excavations at Site 44AX0245***

The excavations conducted at site 44AX0245 revealed a layered and complex use of the space, specifically the basement of the building once located on the parcel. Constructed in 1820 by John Landon, the building first served as a store and dwelling. When the brick building was originally constructed as two stories in height with a side-passage plan with a full basement below.

While the features found at site 44AX0245 offer little information on the actual residents of the site, they do provide data on the built environment of early-nineteenth century Alexandria as well as how the lot was modified over the years and how the occupants adjusted their home and business to meet their needs. The barrel well was identified in the northern portion of the home's full basement. Shortly thereafter, as is typical of wells in basements according to Shephard (1988), a brick-lined well was installed in the basement floor just west of the barrel well. Around 20 years later, a brick drain was incorporated into the entire basement, presumably to draw water way from the walls of the foundation and to keep the overall basement dry.

The barrel well (Feature 34) was likely constructed during the earliest years of site occupation. This is based on the fact that the later brick drain was constructed over Feature 34 (the barrel well) as well as the recovery of a fragment of ironstone from the builder's trench associated with the brick well. Ironstone is a refined earthenware introduced in the United States in 1840, suggesting a slightly later construction period for the brick well (MAC Lab 2015). Additionally, the masonry analysis suggests that the bricks from the basement and the bricks from Feature 16a (the brick well) are of similar construction and time period. While the fragment of ironstone suggests a post-1840 construction of Feature 16a (the builder's trench associated with the brick well), it is likely that there was either a surplus of

bricks from the construction of the basement or bricks from some other brick structure were reused to build the well.

The brick well (Feature 16a) and associated builder's trench (16b) discovered in the basement at site 44AX0245 appears to be of typical early-nineteenth-century urban construction according to Shephard (1988:66) where the construction of wells in Alexandria are described as having few exceptions [as] stretcher laid brick forming a circular shaft with no mortar between the bricks" (Shephard 1988:1–2). Shephard goes on to describe how the exterior of some wells had a wooden lining encircling the bricks, with the average measurements approximately 4 feet (1.2 m) in diameter and 15 feet deep (4.5 m) (1986:1–2). Except for the depth, this description perfectly describes the composition of Feature 16a, the well. While the exact purpose of the wooden lining is unknown, it may have been used to support the walls of the well until all bricks had been laid. However, Shephard suggests that the slats or lining could have been installed with the purpose to keep ground water from seeping in the well at shallow depths so the well could draw from deeper deposits where contaminates would be less likely (Shephard 1988:11).

Barrel wells were fairly easy to construct. Once the well shaft was excavated, the barrels could be dropped and stacked on opposing ends (Figure 49). However, the excavations did not expose the well in its entirety so it is unclear if Feature 34 was a barrel well like the one pictured below. Figure 49 shows one method used for barrel well construction.

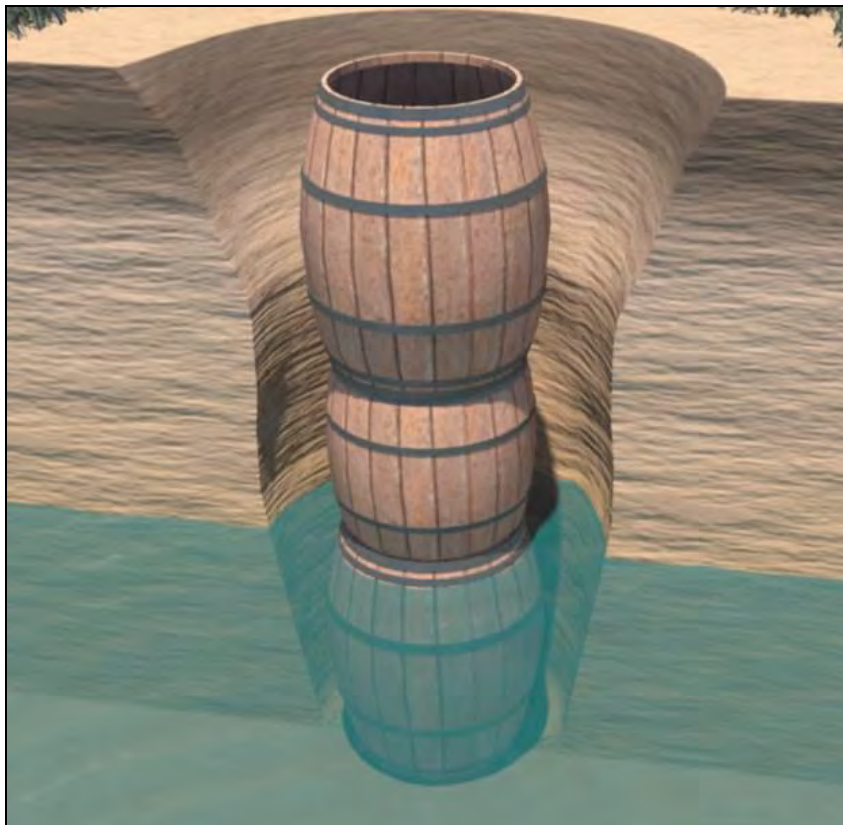


Figure 49: Schematic of a Barrel Well From New Castle County, Delaware (Crane et al. 2016).

Typically, the base of these wells was laid with sand, which served as a means of water filtration. This of course did not prevent bacteria from entering the water source but did help clean the ground water seeping into the well. Additionally, the slats in the barrels would allow for seepage of water into the well. According to Cuddy et al. (2006:10–18), barrel wells may have been constructed as a temporary water source until a more formal brick-lined well could be constructed. This presumption fits with the proposed chronology of the wells in the basement, Feature 2.

As previously mentioned, at some point during the occupation of the building a drainage system was needed to pull water away from the foundation. To facilitate this, a brick drain was installed around the entirety of the basement floor with off shoots to dump into the existing brick well. At that point, the well was slightly modified to accommodate the draining water. This was evidenced by the variance of bricks in both the well and the drain. This was especially important during the store occupation of the building, as goods such as sugar, gunpowder, and spirits were likely stored in the basement. It is also believed that this basement had an elevated wooden floor, making the drain even more imperative to the proper function of the basement.

Wells in basements in urban settings were quite common in America, with many city residents preferring to use water from a hand-dug well rather than the water provided by the city through sewer and water systems (Ogle 1999:339). The residents in the City of Alexandria during the early-nineteenth century likely felt the same as wells or cisterns in basements were quite prevalent. For more information on water supply in urban settings see Ogle (1999). As of Shepard's 1988 study of wells, privies, and cisterns in Alexandria, a total of 78 wells and cisterns were recorded in Alexandria. This publication is widely used when examining wells and cisterns in Alexandria and is a useful comparative tool. To date, a total of 93 wells has been recorded in Alexandria according to VCRIS records. The majority of these wells date to the nineteenth century and are primarily associated with domestic sites, although a few are related to commercial, military, or hospital sites.

Decades later, around the 1850s, a brick ell addition was added to the back of the dwelling, believed to have contained a kitchen and servant room as noted in advertisements. The same advertisements note a smokehouse, possibly the same structure seen in the 1885 Sanborn map in the southwest corner of the lot that comprises site 44AX0245 (Alexandria Gazette 1871b; Sanborn Fire Insurance Company 1885). However, archaeological testing of the remains of this building did not illustrate any evidence of its use as a smokehouse, and it may have served as a storage shed; its exact purpose remains unclear. By the mid-nineteenth century the brick building was primarily used as a home for several families until the late 1920s when it was demolished.

In addition to the building and outbuilding, the property also included a side yard. Advertisements from the 1870s describe this side yard as bordering the street. William Gregory and the agents of his daughter and subsequent owner, Elizabeth Ashby, often included names of previous tenants and occasionally described the property as having a large house with kitchen and servants' room, smokehouse, and side yard "bordering the street" (Alexandria Gazette 1871b, 1877). As part of the initial phase of work for this project, questions emerged about the use and size of this side yard, what had initially been Dundas'

lot, later noted as a “wagon lot” in the late 1820s. This yard was later noted as a garden with the residence at 1312 King Street (Alexandria Gazette 1871b, 1877).

In sum, site 44AX0245 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site located at 1312 King Street. The results of the Phase IB survey coupled with the archaeological findings from the intensive-level testing confirmed the presence of intact archaeological features related to this occupation. Site 44AX0245 has the potential to contribute additional data on the early-nineteenth-century built environment of Alexandria and the presence of intact architectural and archaeological features at the site makes this site significant.

## **RESULTS OF THE INTENSIVE-LEVEL ARCHAEOLOGICAL TESTING AT SITE 44AX0246**

Dovetail conducted intensive-level testing within a portions of site 44AX0246 at 1304 King Street (see Figure 36, p. 63). This lot is slated for development and additional archaeological investigations were conducted based on the Phase IB survey. The goals of this work were to explore the northern area of the site not examined during the Phase IB limited trenching and to look for additional features associated with the site (Figure 50, p. 108). Potential features could include post holes/molds denoting divisions of space or shaft features such as wells or privies. This area was designated as Task 1 in the RMP drafted by Alexandria Archaeology (see Figure 50, p. 108; Appendix D, p. 147).

The following section first highlights the site-specific history for site 44AX0246 followed by the results of the intensive-level archaeological testing. The archaeological results include a summary of the features that were excavated and a summary of the archaeological findings and how they may relate to the layered history of the lot.

As previously stated, site 44AX0246 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site at 1304 King Street. This site was first identified by Dovetail during their Phase IB effort and, as a result of that work, further investigations were recommended. This site encompasses 0.13 acres (0.06 ha), sitting at 15 feet (4.5 m) AMSL and encompasses the entirety of 1304 King Street.

A total of 23 features, all post-related elements, was identified at site 44AX0246 during the intensive investigations; only two of which features were selected as a sample for formal excavation. These features, Feature 11 and 15, were bisected in an effort to glean more data on the potential use of the lot, specifically how it functioned as a ‘garden space’ (Figure 51 and Figure 52, pp. 109–110; Table 7, p. 111).



Figure 50: Locations Examined During the Intensive-Level Archaeological Testing at Site 44AX0246 on Aerial Imagery (VGIN 2015).



Figure 51: Archaeological Features Uncovered During Intensive-Level Testing at Site 44AX0246 (VGIN 2015).

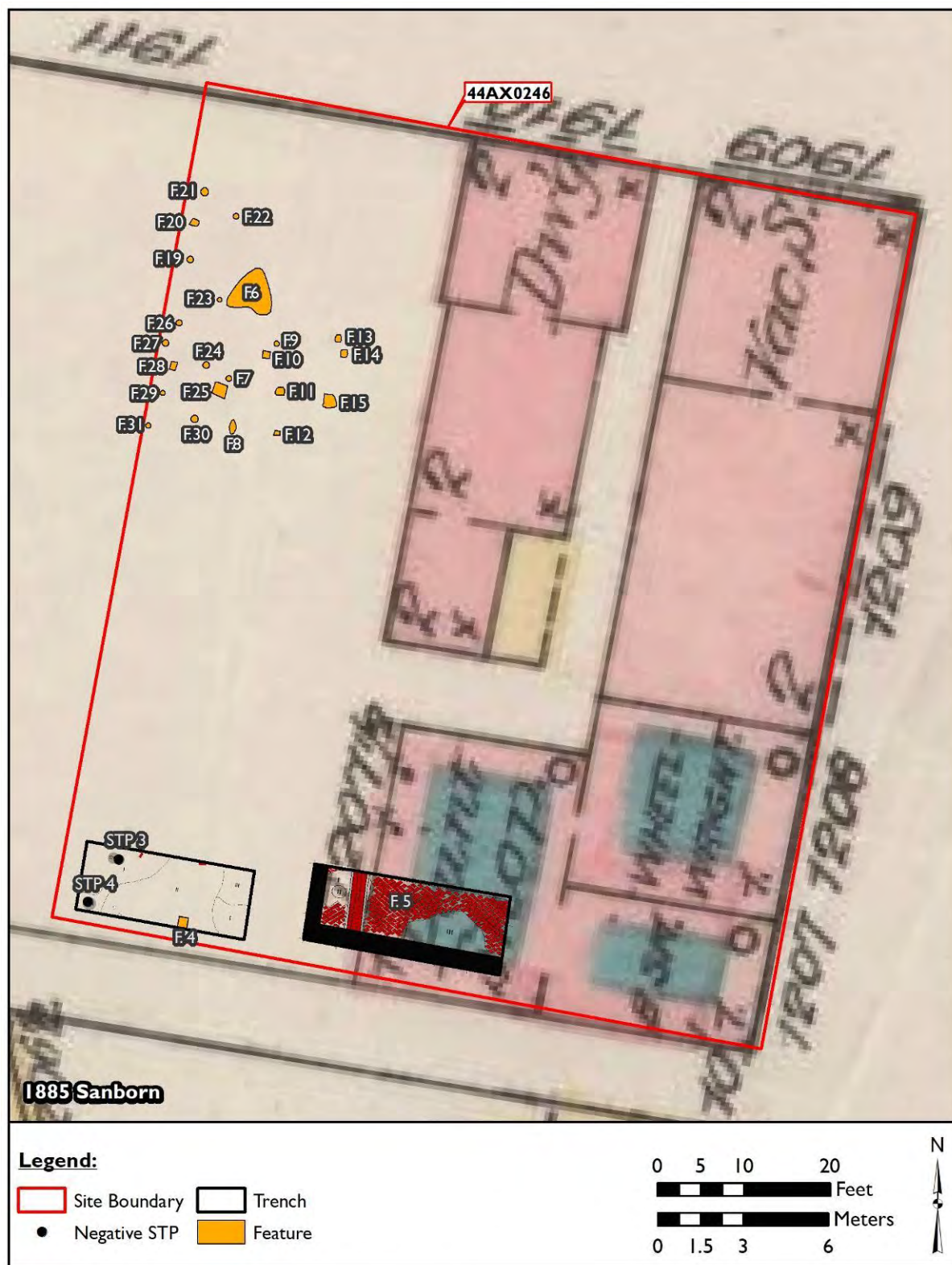


Figure 52: Archaeological Features Uncovered During the Phase IB and Intensive-Level Testing at Site 44AX0246 on 1885 Sanborn Map (Sanborn Fire Insurance Company 1885).

Table 7: Features Identified During Intensive Archaeological Investigations at Site 44AX0246.

Feature Number	Site	Description	Artifacts	Base of Excavation (in feet)	Munsell	Size (in feet)
Feature 6	44AX0246	Oyster Shell Deposit	N	STP 5–1.7'	7.5YR 5/4 brown Clay Sand with 50% Oyster Shell	4.7' x 5.5'
Feature 7	44AX0246	Post Hole	N	n/a	10YR 3/3 dark brown sandy loam	0.7' x 0.6'
Feature 8	44AX0246	Post Hole	N	n/a	10YR 4/1 dark gray sandy clay loam	1.15' x 0.95'
Feature 9	44AX0246	Post Hole	brick in situ	n/a	10YR 5/2 grayish brown sandy loam	0.6' x 0.6'
Feature 10	44AX0246	Post Hole	brick fragments	n/a	10YR 4/1 dark gray sandy clay loam	0.9 x 1.0'
Feature 11	44AX0246	Post Hole	Y	1.5	10YR 3/1 very dark gray sandy loam	1.4' x 1.6'
Feature 12	44AX0246	Post Hole	N	n/a	10YR 5/6 yellowish brown with 10YR 4/2 dark grayish brown sand	0.5' x 0.8'
Feature 13	44AX0246	Post Hole	N	n/a	10YR 5/6 yellowish brown with 10YR 4/2 dark grayish brown sand	0.7' x 0.6'
Feature 14	44AX0246	Post Hole	N	n/a	10YR 5/6 yellowish brown with 10YR 4/2 dark grayish brown sand	0.9' x 1.0'
Feature 15	44AX0246	Post Hole	Y	1.3	10YR 5/6 yellowish brown with 10YR 4/2 dark grayish brown sand	1.5' x 1.55'
Feature 19	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.4' x 0.3'
Feature 20	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.4' x 0.5'
Feature 21	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.4' x 0.5'
Feature 22	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.4' x 0.4'
Feature 23	44AX0246	Fence Post	N	n/a	10YR 5/1 gray sandy clay	0.3' x 0.3'
Feature 24	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.5' x 0.4'
Feature 25	44AX0246	Fence Post	N	n/a	10YR 4/3 brown sandy clay	0.8' x 0.8'
Feature 26	44AX0246	Fence Post	N	n/a	10YR 3/1 very dark gray sandy clay	0.4' x 0.35'
Feature 27	44AX0246	Fence Post	N	n/a	10YR 2/1 black asphalt fill	0.4' x 0.4'
Feature 28	44AX0246	Fence Post	N	n/a	10YR 3/1 very dark gray sandy clay	0.5' x 0.4'
Feature 29	44AX0246	Fence Post	N	n/a	10YR 3/1 very dark gray sandy clay	0.3' x 0.3'
Feature 30	44AX0246	Fence Post	N	n/a	10YR 4/1 dark gray sandy clay	0.55' x 0.4'
Feature 31	44AX0246	Fence Post	N	n/a	10YR 3/1 very dark gray sandy clay	0.3' x 0.3'

### *Feature 11*

Feature 11 represents a post mold within site 44AX0246. This feature measured 1.6 feet (0.5 m) by 1.4 feet (0.4 m), was straight-walled with a slightly rounded base of excavation, square in nature, and fell in line with Features 9, 10, 11, and 12, suggesting a possible fence line. Feature 11 was bisected on a north-south axis and the western half was removed. The soil within Feature 11 was a very dark gray sandy loam (10YR 3/1) with two large brick fragments and charcoal flecking throughout, which extended to a depth of 0.8 feet (0.2 m) bgs (Figure 53). Excavation was ceased when sterile soil (dark yellowish-brown clay [10YR 4/4]) was reached. A total of 23 artifacts was recovered from Feature 11, including window glass, creamware, pearlware, whiteware, ironstone, hard paste porcelain, clear and aqua vessel glass, indeterminate iron, and animal bone, providing a TPQ of 1762.

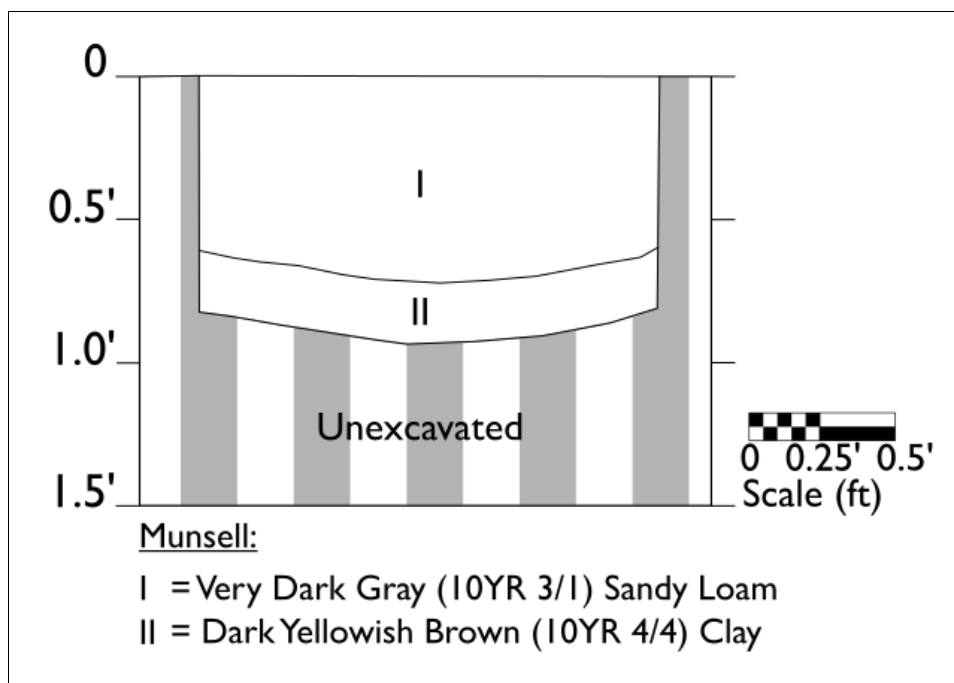


Figure 53: Western Profile of Feature 11.

### *Feature 15*

Feature 15 represents a post mold within site 44AX0246. This feature measured 1.5 feet (0.4 m) by 1.5 feet (0.4 m), was straight walled with a slightly rounded base of excavation, square in nature, and fell in line with Features 13, 14, and 15, suggesting a possible fence line. Feature 15 was bisected on a north-south axis and the eastern half was removed, including the large rock present in the northeast corner of the feature. A 0.4-foot (0.4-m) long piece of wood was found within the bisected wall, possibly leftover from the post itself. The soil within Feature 15 was a dark grayish brown (10YR 4/2) sandy clay loam, which extended to 0.7 feet (0.2 m) bgs (Figure 54, p. 113). Excavation was ceased when sterile soil (dark olive brown clay [2.5Y 3/3]) was reached. A total of 33 artifacts were recovered from Feature 15, including a parasol tip, cut nails, window glass, creamware, whiteware, hard paste porcelain,

American stoneware, redware, clear vessel glass, unidentifiable iron, and animal bone, providing a TPQ of 1820.

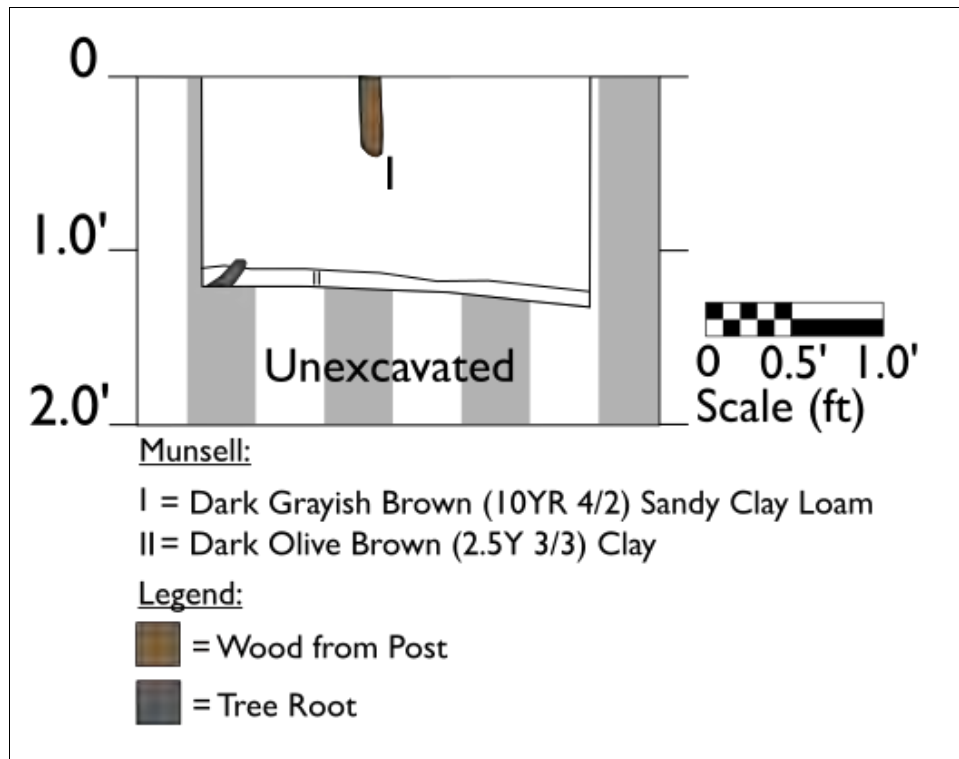


Figure 54: Western Profile of Feature 15.

## Summary and Interpretations of Excavations at Site 44AX0246

The intensive-level excavations conducted at site 44AX0246 revealed numerous post features related to the use of the lot over nearly a 200-year span. While no shaft features or pits were identified, the identified posts are suggestive of continued use of the open space. While there appeared to be two sets of posts in a possible alignment, no obvious patterning was identified but some of these posts could represent the no-longer-extant remains of smaller ancillary buildings related to when the lot was used or occupied by a tinner, the wagon shop, or simply posts related to the domestic occupation of the site. Such posts could be associated with clothes lines, small animal pens, sheds, or fence lines to denote divisions of space.

However, as previously stated, the posts identified during the intensive-level archaeological testing did not reveal any obvious patterning where broad assumptions could be made on clear division of space in the lot or the space's domestic use. While an outbuilding was observed on early-twentieth century Sanborn Fire Insurance Company maps (see Figure 37, p. 65), which shows a one-story frame building with an asphalt roof, no definitive evidence of this building was located.

In addition, the features uncovered during the Phase IB effort, a square driven post (Feature 4), brick foundation remains, and a brick floor (Feature 5), further illustrate the lots use as a domestic and commercial space. These building remains were associated with the occupation

of 1304 King Street during the earliest years of occupation by Ann Peyton sometime between 1800 and 1805 before she sold the property to John McKinney (Eig et al. 2018:5).

In sum, site 44AX0246 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site and is located at 1304 King Street in Alexandria, Virginia. The archaeological investigations conducted during the Phase IB and subsequent intensive-level archaeological testing reveal numerous features such as brick floors and foundations and post molds related to the occupation of the property. Site 44AX0246 has the potential to contribute additional data on the early-nineteenth-century built environment of Alexandria and the presence of intact architectural and archaeological features at the site and, as such is considered significant.

## SUMMARY

On behalf of Holladay, Dovetail conducted archival research and archaeological trenching across the approximately 0.35-acre (0.14-ha) 1300–1312 King Street project area located in the Old Town section of Alexandria, Virginia. The project area currently contains the buildings addressed at 1300–1302 and 1304 King Street and the parking lots and a small building at 1306–1312 King Street. While no archaeological trenching was conducted in the open area behind 1300–1302 King Street due to buried utilities, it remains a part of the overall project area.

As part of the Phase IB investigations, Dovetail excavated six trenches, one test unit, and six STPs across the parking lot associated with 1304–1312 King Street in an effort to identify buried foundations and features associated with the nineteenth century occupation of the lot. The trenches varied in size as each one was deliberately placed to focus on a specific area based on the prior Phase IA study. The trenching resulted in the identification of several features including the foundation for the two-story brick building located at 1310–1312 King Street, a brick pad associated with 1310–1312 King Street, a one-story brick outbuilding in the back of the lot associated with 1310–1312 King Street, and the foundation and interior of the paint shop located at 1304 King Street.

The Phase IB investigations resulted in the identification of two archaeological sites: 44AX0245 (1310–1312 King Street) and 44AX0246 (1304 King Street) which represent early-nineteenth- through early-twentieth-century domestic and other possible uses of the properties. Given the intact nature of the architectural features across the project area, the potential for both sites to contribute additional data on the early-nineteenth-century built environment of Alexandria, and the overall lack of potentially eligible sites of this nature within 2 miles (3.2 km) of the project area makes these sites significant.

Upon completion of the Phase IB work, Alexandria city archaeologists requested additional archaeological excavations in specific locations not fully examined during the Phase IB study or locations that had the potential to offer additional data on the use and built environment of the lot. One of the objectives was to determine if there were any clear divisions of space that could be seen archaeologically.

As part of this intensive-level archaeological investigations, Alexandria archaeologist drafted a Resource Management Plan (RMP) detailing the goals of these intensive-level investigations. The stated goals were to: one, examine the western portion of 1304 King Street (44AX0246), a section not excavated during the archaeological trenches, through mechanical excavation to look for subsurface features; two, mechanically strip an approximate 50-foot by 80-foot (15.2-m by 24.3-m) area in the believed side yard of the lot within site 44AX0245 to ensure no significant features such as wells were present; and three, mechanically excavate the basement associated with 1300 King Street and complete measured drawings and photographs of the feature.

The excavations conducted at site 44AX0245 revealed a layered and complex use of the space, specifically the basement of the building once located on the parcel. Constructed in

1820 by John Landon, the building first served as a store and dwelling. Archaeological features provide data on the built environment of early-nineteenth century Alexandria as well as how the lot was modified over the years and how the occupants adjusted their home and business to meet their needs. A barrel well was identified in the northern portion of the home's full basement. Shortly thereafter, a brick-lined well was installed in the basement floor just west of the barrel well. Around 20 years later, a brick drain was incorporated into the entire basement, presumably to draw water way from the walls of the foundation and to keep the overall basement dry. Decades later, around the 1850s, a brick addition was added to the back of the dwelling, believed to have contained a kitchen and servant room as noted in advertisements. The same advertisements note a smokehouse, possibly the same structure seen in a 1885 Sanborn map. However, archaeological testing of the remains of this building did not illustrate any evidence of its use as a smokehouse, and it may have served as a storage shed; its exact purpose remains unclear. By the mid-nineteenth century the brick building was primarily used as a home for several families until the late 1920s when it was demolished.

Posts identified during excavation of site 44AX0246 suggest continued use of the open space over the 200-year occupation of the site, though no obvious patterning was identified. Some posts may represent no-longer-extant remains of smaller ancillary buildings related to when the lot was used or occupied by a tinner, the wagon shop, or a domestic structure. Such posts could be associated with clothes lines, small animal pens, sheds, or fence lines to denote divisions of space. Features uncovered during the Phase IB effort, including a square driven post (Feature 4), brick foundation remains, and a brick floor (Feature 5), further illustrate the lots use as a domestic and commercial space. These building remains were associated with the occupation of 1304 King Street during the earliest years of occupation by Ann Peyton sometime between 1800 and 1805 before she sold the property to John McKinney (Eig et al. 2018:5).

The results of the intensive-level archaeological investigations further illustrated that sites 44AX0245 and 44AX0246 are significant and have the potential to contribute additional data on the early-nineteenth-century built environment of Alexandria.

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## **APPENDIX A: ARTIFACT CATALOG**

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Site #	Prov. Type	Prov. Name	Strat	Level	Count	Object	Part	Material	Color	Ware	Exterior Decoration	Interior Decoration	Manufacture Tech.	Comments
44AX0245	Backhoe Trench	Trench 2	General Provenience		1	Crucifix	Almost Complete	White Metal					Machine-made	Partial Crucifix with Jesus Missing, Inscribed name on the back "J I C Eomeau"
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Grape Shot	Complete	Iron						
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		2	Bone	Indeterminate	Bone						
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Pencil	Fragment	Slate						
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Marble	Complete	Clay	White/Green					
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Button, 4-Hole	Complete	Prosser	White				Pressed	17.04mm
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Button, 4-Hole	Complete	Prosser	White				Pressed	14.0mm
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Button, 2-Hole	Complete	Mother of Pearl						13.06mm
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Comb	Almost Complete	Bakelite	Black				Machine-made	
44AX0245	Backhoe Trench	Trench 2 South	General Provenience		1	Marble	Complete	Clay	White					
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Bullet	Complete	Lead						
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Comb	Almost Complete	Rubber	Black				Machine-made	
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Bottle	Almost Complete	Glass	Aqua				Machine-made	
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Bottle	Body Fragment	Glass	Clear				Indeterminate	
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Marble	Complete	Clay	Tan					
44AX0245	Backhoe Trench	Trench 3	General Provenience		1	Marble	Complete	Clay	Gray					
44AX0245	STP	STP 1	I	1	9	Bone	Fragment	Bone						
44AX0245	STP	STP 1	I	1	1	Bone	Vertebra	Bone						
44AX0245	STP	STP 1	I	1	1	Tooth	Incisor	Bone						
44AX0245	STP	STP 1	I	1	1	Window Glass	Fragment	Glass	Aqua					
44AX0245	STP	STP 1	I	1	1	Hollowware	Rim Fragment	Refined Earthenware	Yellow/Blue	Whiteware	Painted			
44AX0245	STP	STP 1	I	1	2	Hollowware	Body Fragment	Stoneware	Gray/Blue	American Stoneware	Painted			
44AX0245	STP	STP 1	I	1	1	Hollowware	Base Fragment	Stoneware	Gray	American Stoneware	None Present			
44AX0245	STP	STP 1	I	1	1	Teaware, General	Rim Fragment	Refined Earthenware		Pearlware	None Present	None Present		

Site #	Prov. Type	Prov. Name	Strat	Level	Count	Object	Part	Material	Color	Ware	Exterior Decoration	Interior Decoration	Manufacture Tech.	Comments
44AX0245	STP	STP 1	I	1	1	Flatware	Rim Fragment	Refined Earthenware	Blue	Pearlware	None Present	Edged		
44AX0245	STP	STP 1	I	1	1	Flatware	Body Fragment	Refined Earthenware		Pearlware	None Present	None Present		
44AX0245	STP	STP 1	I	1	1	Flatware	Body Fragment	Refined Earthenware	Red/Blue	Whiteware	Sponged	Sponged		
44AX0245	STP	STP 1	I	1	1	Flatware	Rim Fragment	Refined Earthenware	Blue	Pearlware	None Present	Transfer Print Underglaze		
44AX0245	STP	STP 1	I	1	1	Plate	Body Fragment	Refined Earthenware	Blue	Pearlware	None Present	Painted		
44AX0245	STP	STP 1	I	1	1	Flatware	Body Fragment	Refined Earthenware	Yellow	Whiteware	Painted	None Present		
44AX0245	STP	STP 1	I	1	1	Teaware, General	Rim Fragment	Refined Earthenware	Yellow	Whiteware	Painted			
44AX0245	STP	STP 1	I	1	1	Tableware, General	Rim Fragment	Glass					Indeterminate	
44AX0245	STP	STP 1	I	1	1	Ring	Almost Complete	Copper Alloy						
44AX0245	STP	STP 1	I	1	5	Nail	Complete	Iron					Cut, Indeterminate Head	
44AX0245	STP	STP 1	I	1	4	Nail	Shaft	Iron					Cut, No head	
44AX0245	STP	STP 1	I	1	1	Indeterminate	Fragment	Slate						
44AX0245	STP	STP 1	I	1	3	Smoking Pipe	Pipe Stem	Clay	White					Burned
44AX0245	STP	STP 1	I	1	1	Button, 4-Hole	Complete	Horn	Brown		Incised		Machine-made	14.9 mm
44AX0245	STP	STP 2	V	1	4	Hollowware	Body Fragment	Stoneware		American Stoneware	None Present	Incised		
44AX0245	STP	STP 2	V	1	1	Hollowware	Body Fragment	Stoneware	Blue	American Stoneware	Painted			
44AX0245	STP	STP 2	V	1	1	Flatware	Body Fragment	Refined Earthenware	Blue	Pearlware	None Present	Painted		
44AX0245	STP	STP 2	V	1	1	Hollowware	Rim/Body Fragment	Refined Earthenware	Blue	Pearlware	Painted			
44AX0245	STP	Trench 2 STP 1	II	1	1	Window Glass	Fragment	Glass	Aqua					
44AX0245	STP	Trench 2 STP 1	II	1	1	Flatware	Rim Fragment	Coarse Earthenware	Yellow	Redware	Glaze Missing	Slip Decorated		
44AX0245	STP	Trench 2 STP 1	II	1	1	Flatware	Body Fragment	Refined Earthenware		Pearlware	Fluted			
44AX0245	STP	Trench 2 STP 1	II	1	1	Hollowware	Body Fragment	Coarse Earthenware		Redware	Manganese Lead Glaze	Manganese Lead Glaze		
44AX0245	STP	Trench 2 STP 1	II	1	1	Hollowware	Rim Fragment	Coarse Earthenware	Black	Redware	Iron Glaze	Iron Glaze		
44AX0245	STP	Trench 2 STP 1	II	1	1	Bottle	Body Fragment	Glass	Clear				Indeterminate	
44AX0245	STP	Trench 2	II	1	1	Indeterminate	Body Fragment	Glass	Clear					

Site #	Prov. Type	Prov. Name	Strat	Level	Count	Object	Part	Material	Color	Ware	Exterior Decoration	Interior Decoration	Manufacture Tech.	Comments
		STP 1												
		Trench 2												
44AX0245	STP	STP 1	II	1	2	Bone	Indeterminate	Bone						
44AX0245	Test Unit	TU 1	I	1	1	Bone	Incisor	Bone						
44AX0245	Test Unit	TU 1	I	1	2	Bone	Indeterminate	Bone						
44AX0245	Test Unit	TU 1	I	1	5	Window Glass	Fragment	Glass	Aqua					
44AX0245	Test Unit	TU 1	I	1	2	Hollowware	Body Fragment	Coarse Earthenware		Redware	Glaze Missing			
44AX0245	Test Unit	TU 1	I	1	3	Figurine	Body Fragment	Porcelain	Blue/Pink	Porcelain	Incised		Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Hollowware	Rim Fragment	Refined Earthenware		Creamware	None Present	None Present		
44AX0245	Test Unit	TU 1	I	1	1	Flatware	Body Fragment	Refined Earthenware		Creamware	None Present	None Present		
44AX0245	Test Unit	TU 1	I	1	1	Hollowware	Rim Fragment	Coarse Earthenware		Redware	Manganese Lead Glaze	Manganese Lead Glaze		
44AX0245	Test Unit	TU 1	I	1	1	Teaware, General	Rim Fragment	Porcelain	Green/Gold	Porcelain	None Present	Gilding		
44AX0245	Test Unit	TU 1	I	1	1	Flatware	Body Fragment	Refined Earthenware		Pearlware	None Present	None Present		
44AX0245	Test Unit	TU 1	I	1	1	Hollowware	Body Fragment	Coarse Earthenware		Redware	Unglazed	Lead Glazed		
44AX0245	Test Unit	TU 1	I	1	1	Hollowware	Body Fragment	Refined Earthenware	Blue/Pink	Whiteware	Embossed	Slip Decorated		
44AX0245	Test Unit	TU 1	I	1	1	Hollowware	Body Fragment	Glass	Teal		Embossed		Indeterminate	
44AX0245	Test Unit	TU 1	I	1	8	Bottle	Body Fragment	Glass	Olive				Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Bottle	Base Fragment	Glass	Black				Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Bottle	Base Fragment	Glass	Clear				Molded	
44AX0245	Test Unit	TU 1	I	1	1	Bottle	Body Fragment	Glass	Clear				Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Bottle	Body Fragment	Glass	Brown				Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Bottle	Body Fragment	Glass	Brown, Light		Embossed		Indeterminate	"DR"
44AX0245	Test Unit	TU 1	I	1	6	Bottle	Body Fragment	Glass	Aqua				Indeterminate	
44AX0245	Test Unit	TU 1	I	1	1	Nail	Complete	Iron					Ungalvanized Wire	
44AX0245	Test Unit	TU 1	I	1	1	Nail	Indeterminate	Iron					Indeterminate	
44AX0245	Test Unit	TU 1	I	1	2	Nail	Complete	Iron					Cut, Indeterminate Head	
44AX0245	Test Unit	TU 1	I	1	1	Coal	Fragment	Coal						
44AX0245	Test Unit	TU 1	I	1	1	Indeterminate	Fragment	Rubber	Black					
44AX0246	Backhoe Trench	Trench 4	General Provenience		1	Bottle	Complete	Glass	Aqua		Embossed		Machine-made	
44AX0246	Backhoe Trench	Trench 4	General Provenience		1	Bottle	Complete	Glass	Cobalt		Embossed		Mouth Blown, General	
44AX0246	Backhoe Trench	Trench 4	General Provenience		1	Biface, Stage 3	Fragment	Quartzite						Broken
44AX0246	Backhoe Trench	Trench 5	General Provenience		1	Bottle	Complete	Glass	Brown		Embossed		Machine-made	

Site #	Prov. Type	Prov. Name	Strat	Level	Count	Object	Part	Material	Color	Ware	Exterior Decoration	Interior Decoration	Manufacture Tech.	Comments
44AX0246	Backhoe Trench	Trench 5	General Provenience		1	Coin	Complete	Copper Alloy					Stamped	
44AX0246	Backhoe Trench	Trench 5	General Provenience		1	Button, 4-Hole	Complete	Prosser	White				Pressed	
44AX245	Feature	2	I	1	1	Bottle	Complete	Glass	Aqua		Embossed		Cup Mold	"Return to / L Stabler & Co / Alexandria / VA" With metal Hutchinson stopper
44AX245	Feature	16	I	1	1	Tableware, General	Body Fragment	Refined Earthenware		Ironstone	None Present	None Present		
44AX245	Feature	17 North Half	I	1	1	Window Glass	Fragment	Glass	Aqua					
44AX245	Feature	17 North Half	I	1	1	Tableware, General	Body Fragment	Refined Earthenware	Brown/Yellow	Pearlware	None Present	Painted		
44AX246	Backhoe Trench	Task 1	I	1	1	Button, Shank Back	Almost Complete	Brass					2-Piece	
44AX246	Backhoe Trench	Task 1	I	1	1	Jar/Crock	Body Fragment	Stoneware		American Stoneware	Stamped			
44AX246	Backhoe Trench	Task 1	I	1	1	Jar/Crock	Rim Fragment	Stoneware		American Stoneware	Incised	None Present		
44AX246	Backhoe Trench	Task 1	I	1	2	Plate/Platter	Rim/Base/Body Fragment	Refined Earthenware		Ironstone	None Present	Scalloped		
44AX246	Backhoe Trench	Task 1	I	1	1	Indeterminate	Shoulder	Refined Earthenware	Blue	Pearlware	Negative Transferprint			
44AX246	Backhoe Trench	Task 1	I	1	1	Plate	Rim Fragment	Refined Earthenware	Green	Pearlware	Edged			
44AX246	Backhoe Trench	Task 1	I	1	1	Plate	Rim Fragment	Refined Earthenware	Blue	Whiteware	Painted	None Present		
44AX246	Backhoe Trench	Task 1	I	1	1	Jar/Crock	Body Fragment	Stoneware	Blue	American Stoneware	Painted			
44AX246	Backhoe Trench	Task 1	I	1	1	Jar/Crock	Body Fragment	Stoneware		American Stoneware				
44AX246	Backhoe Trench	Task 1	I	1	1	Bottle	Base Fragment	Glass	Teal				Glass Tipped Pontil	
44AX246	Backhoe Trench	Task 1	I	1	1	Bottle	Base Fragment	Glass	Aqua				Cup Mold	
44AX246	Backhoe Trench	Task 1	I	1	1	Bottle	Base Fragment	Glass	Aqua		Embossed		Glass Tipped Pontil	
44AX246	Backhoe Trench	Task 1	I	1	1	Coin	Complete	Copper Alloy						
44AX246	Backhoe Trench	Task 1	I	1	2	Smoking Pipe	Pipe Stem	White Ball Clay						
44AX246	Backhoe Trench	Task 1	I	1	1	Marble	Complete	Glass	White/Green					
44AX246	Feature	11	I	1	5	Window Glass	Fragment	Glass	Aqua					
44AX246	Feature	11	I	1	1	Tableware,	Body Fragment	Refined		Creamware	None Present	None Present		

Site #	Prov. Type	Prov. Name	Strat	Level	Count	Object	Part	Material	Color	Ware	Exterior Decoration	Interior Decoration	Manufacture Tech.	Comments
						General		Earthenware						
44AX246	Feature	11	I	1	1	Tableware, General	Body Fragment	Refined Earthenware	Blue/Green	Pearlware	Painted	Painted		
44AX246	Feature	11	I	1	1	Tableware, General	Body Fragment	Refined Earthenware		Whiteware	None Present	None Present		
44AX246	Feature	11	I	1	3	Tableware, General	Body Fragment	Refined Earthenware		Pearlware	None Present	None Present		
44AX246	Feature	11	I	1	1	Tableware, General	Rim Fragment	Refined Earthenware		Ironstone	None Present	None Present		
44AX246	Feature	11	I	1	2	Tableware, General	Body Fragment	Porcelain		Hard Paste	None Present	None Present		
44AX246	Feature	11	I	1	1	Tableware, General	Body Fragment	Refined Earthenware	Blue	Pearlware	Painted			Large Brush
44AX246	Feature	11	I	1	1	Tableware, General	Body Fragment	Refined Earthenware	Blue	Whiteware	Painted	Glaze Missing		China Glaze
44AX246	Feature	11	I	1	1	Vessel, hollow	Body Fragment	Glass	Clear				Indeterminate	
44AX246	Feature	11	I	1	1	Vessel, hollow	Body Fragment	Glass	Aqua		Embossed		Indeterminate	
44AX246	Feature	11	I	1	1	Vessel, hollow	Body Fragment	Glass	Aqua				Indeterminate	
44AX246	Feature	11	I	1	3	Indeterminate	Indeterminate	Iron					Indeterminate	
44AX246	Feature	11	I	1	1	Bone	Indeterminate	Bone						Mammal, Indeterminate
44AX246	Feature	15	I	1	10	Window Glass	Fragment	Glass	Aqua					
44AX246	Feature	15	I	1	4	Nail	Shaft	Iron					Cut, No head	
44AX246	Feature	15	I	1	2	Nail	Head and Shaft	Iron					Cut, Indeterminate Head	
44AX246	Feature	15	I	1	3	Tableware, General	Body Fragment	Refined Earthenware		Creamware	None Present	None Present		
44AX246	Feature	15	I	1	1	Tableware, General	Foot Rim/Foot Ring	Refined Earthenware		Creamware	None Present	None Present		
44AX246	Feature	15	I	1	1	Tableware, General	Body Fragment	Refined Earthenware		Whiteware	None Present	Glaze Missing		
44AX246	Feature	15	I	1	1	Tableware, General	Body Fragment	Porcelain		Hard Paste	None Present	None Present		
44AX246	Feature	15	I	1	1	Handle	Fragment	Stoneware		American Stoneware	None Present	None Present		
44AX246	Feature	15	I	1	1	Hollowware	Body Fragment	Coarse Earthenware		Redware	Unglazed	Unglazed		Underfired
44AX246	Feature	15	I	1	1	Hollowware	Body Fragment	Coarse Earthenware		Redware	Black Lead Glaze	Unglazed		Underfired
44AX246	Feature	15	I	1	2	Vessel, hollow	Body Fragment	Glass	Clear					
44AX246	Feature	15	I	1	2	Indeterminate	Indeterminate	Iron						
44AX246	Feature	15	I	1	1	Bone	Indeterminate	Bone						
44AX246	Feature	15	I	1	1	Bone	Rib	Bone						
44AX246	Feature	15	I	1	1	Parasol Part	Fragment	Copper Alloy					Machine-made	
44AX246	Feature	15	I	1	1	Smoking Pipe	Pipe Stem	White Ball Clay						

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## **APPENDIX B: STP CATALOG**

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Trench	STP	Level	Start Depth (ft.)	End Depth (ft.)	Soil Description	Comments
Trench 2	1	I	0	0.5	10YR 3/3 dark brown sandy silt	starts about 1' below asphalt next to foundation wall
Trench 2	1	II	0.5	0.9	10YR 4/3 brown sandy silt clay	
Trench 2	2	I	0	3.8	10YR 4/6 dark yellowish brown sandy clay	starts about 3' below Asphalt in basement fill next to foundation wall
Trench 2	2	II	3.8	4.5	10YR 3/2 very dark grayish brown coal fill	
Trench 2	2	III	4.5	5	Drain, Brick	
Trench 4	3	I	0	0.8	10YR 4/2 dark grayish brown sandy clay	
Trench 4	3	II	0.8	1.2	10YR 6/4 light yellowish brown sandy clay	starts about 2.2' below asphalt
Trench 4	4	I	0	0.9	10YR 4/2 dark grayish brown sandy clay	
Trench 4	4	II	0.9	1.3	10YR 6/4 light yellowish brown sandy clay	

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## **APPENDIX C: ARCHIVAL TABLE**

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Table 8: Overview of Historic Owners, Occupants, Contents, and Use of Project Area Lots from Various Local Records. Items highlighted in blue indicate the probable construction or demolition of a building on the property.

Year/ Record	Lot 1	Lot 2	Lot 3		
Address	1300 King & Payne	1302–1304 King	1306–1308 King	1310 King	1312 King (historically overlapped with a portion of 1314 King)
<b>1801 Tax</b>	Widow Peyton \$650 [appears as total value of Ann Eliza Peyton's property with no indication of its location or size. Extant brick building at 1304 dates between 1800 & 1805; Ann Peyton sold this property to John McKinney in 1805]		Francis Peyton \$8,250 [appears as total value of F. Peyton's property with no indication of location, size, or number of lots/buildings]		
<b>1806 Tax</b>	John McKinney House & Lot [H & L], 70 feet, Corner King & Payne, self (\$2,000, stories)				
<b>1807 Tax</b>	John McKinney H & L 70 [feet], King & Payne, self (\$2,500)			James H. Dundas, Lot 48 [feet], vacant (\$400)	
<b>1813 Tax</b>	Benjamin Baden, Lot 24 [feet], Payne & King, vacant (\$700)	John McKinney, H & Lots, King to Commerce, "Lupton lots" (\$3,000)	William H. Dundas, 24.8 [feet], vacant (\$300)	Jas H. Dundas, Lot 49.4 [feet], vacant (\$600) [1302–1310 all to David Lupton, 2 stories (referring to McKinney's building)]	
<b>1814 Tax</b>	Benj Baden, to David Lupton (\$1,800) [extant building at 1300 erected]	John McKinney, H & L, to David Lupton (2 lots, \$3,000) [46' roughly?]	Wm H. Dundas, 24.8 [feet], vacant (\$300)	Jas H. Dundas, Lot 49.4 [feet], vacant (\$600)	
<b>1815 Tax</b>	Bernard Bryan, H & L, King & Payne, vacant (\$1,800)	John McKinney, H & L, to Mrs. Lupton (\$3,000, 2 stories)	Wm H. Dundas, 2 Lots 49.4 [feet], to Lupton (\$800)	John McCobb, Lot 24.8 [feet], King, to Lupton (\$400)	F. Peyton, Lot 24.8', King, to Lupton (\$400)
<b>1816 Tax</b>	Bernard Bryan, H & L, King & Payne, to Benj Plummer (\$1,800, 4-story)	John McKinney, H & L, to Plummer (\$3,000, 2 stories)	W.H. Dundas, 2 Lots 49', vacant (\$800)	John McCobb, Lot 24, King (\$400)	F. Peyton, H & L, King, vacant (\$400)
<b>1817 Tax</b>	Bernard Bryan, H & L, King & Payne, to Benj Plummer (\$1,800, 4-story)	James S. Scott, H & L, King, to Plummer (\$3,000)	W.H. Dundas, 2 Lots, 49' vacant (\$800)	John McCobb, Lot 24.8', King, to Lupton (\$400)	F. Peyton, H & L, King, to Robert A. Mills (\$1,000, 2 stories) [brick building at 1314 erected]
<b>1818 Tax</b>	Bernard Bryan, H & L, King & Payne, to S. Harper (\$1,800, 2 stories)	Jas S. Scott, H & L, King, to John Somers (\$3,000, 2 stories)	W.H. Dundas, 2 Lots, 49' vacant (\$800)	John Lanham, Lot, King, vacant (\$400)	F. Peyton, H & L, King, to Wm Phillips (\$1,000, 2 stories)

Year/ Record	Lot 1	Lot 2	Lot 3		
<b>1819 Tax</b>	Bernard Bryan, H & L, King & Payne, to Thomas Swann Jr. (\$1,800, 2 stories)	Jas S. Scott, H & L, King, to Wm & H. Somers (\$3,000, 3-story)	W.H. Dundas, 2 Lots, vacant (\$800)	John Lanham, Lot, King, vacant (\$400)	F. Peyton, H & L, King, to Jeremiah Fugate (\$1,000, 2 stories)
<b>1820 Tax</b>	Wm Herbert Jr., H & L, King & Payne, to Thos Swann Jr. (\$1,800, 1 story)	Jas S. Scott, H & L, King, vacant (\$3,000)	W.H. Dundas, 2 Lots, vacant (\$800)	John Lanham, Lot, "unfinished" (\$1,300) [brick building at 1310 begun]	F. Peyton, H & L, King, vacant (\$1,000)
<b>1821 Tax</b>	Wm Herbert Jr., H & L, King & alfred [typo?], empty (\$1,800)	Jas S. Scott, H & L, King, empty (\$3,000)	W.H. Dundas, 2 Lots, King, vacant (\$800)	John Lanham, H & L, self (\$2,500, 2 stories) [1310 building finished]	F. Peyton, H & L, King, James Boyd (\$1,000, 2 stories)
<b>1822 Tax</b>	Wm Herbert Jr., H & L, King & Commerce, to Wm H Avery (\$1,800, 2 stories)	Jas S. Scott, H & L, King, to Mrs. Fulsome & Mr. Tharp (\$2,500, 1 story & 1 story)	W.H. Dundas, 2 Lots, King, vacant (\$800)	John Lanham, H & L, self (\$2,500, 2 stories)	F. Peyton, H & L, King, to Caroline Butler & Mr. Jones (\$1,000, each 1 story)
<b>1823 Tax</b>	Wm Herbert Jr., H & L, King & Commerce, to Plummer (\$1,800, 2 stories)	Hugh Smith, H & L, King, vacant (\$2,500)	W.H. Dundas, 2 Lots, King, vacant (\$800)	Jacob Douglas, H & Lots, King, vacant (\$2,500)	F. Peyton, H & L, King, vacant (\$1,000)
<b>1824 Tax</b>	Wm Herbert Jr., H & L, King, Gerrard Plummer (\$1,800, 2 stories)	Hugh Smith, H & L, to John Von Reizen (\$2,500, 2 stories)	W.H. Dundas, 2 Lots, King, vacant (\$800)	John C. Mandell, H & Lots, King, Capt. Turpin (\$2,000, 2 stories)	F. Peyton, H & L, King, Nelly Goddard (\$1,000, 2 stories)
<b>1825 Tax</b>	Edward Hall, Gerard Plummer agent/H & L, King, Gerrard Plummer (\$1,800, 2 stories)	Hugh Smith, H & L, vacant (\$2,500)	W.H. Dundas, 2 Lots, King, vacant (\$800)	Jacob Douglas, H & Lots, King, vacant (\$2,000)	F. Peyton, H & L, King, Widow Boyd (\$1,000, 1 story)
<b>1826 Tax</b>	Edw Hall, H & L, to Gerard Plummer (\$1,800, 2 stories)	Hugh Smith, H & L, to Richard Gallaway (\$2,500, 2 stories)	W.H. Dundas, 2 Lots, King, vacant (\$800)	Jacob Douglas, H & Lots, King, John Wren (\$2,500, 2 stories)	F. Peyton, H & L, King, empty (\$1,000, 2 stories)
<b>1827 Tax</b>	Edw Hall, H & L, to Gerard Plummer (\$1,700, 2 stories)	Hugh Smith, H & L, to Richard Gallaway (\$2,500, 2 stories)	W.H. Dundas, 2 Lots, King, vacant (\$800)	Jacob Douglas, H & Lots, King, Thomas Chinz (\$2,600, 2 stories)	F. Peyton, H & L, King, John Rumney (\$800, 2 stories)

Year/ Record	Lot 1	Lot 2	Lot 3		
<b>1828 Tax</b>	Edw Hall, H & L, to Gerard Plummer (\$1,700, 2 stories)	Hugh Smith, H & L, to Richard Windsor (\$2,500, 2 stories)	W.H. Dundas Estate, large lot, King, vacant (\$600)	Jacob Douglas, H & Lots, King, Thos Chinz (\$2,500, 2 stories)	F. Peyton, H & L, King, unoccupied (\$800)
<b>1829 Tax</b>	Edw Hall, H & L, to Plummer (\$1,600, 2 stories)	Hugh Smith, H & L, to Winsor & Lord (\$2,500, 2 stories)	J. Dundas Est "Wagon lot" (\$600, Wm Dundas agent)	Jacob Douglas, to Thos Ching or Chinz (\$2,600, 2 stories)	F. Peyton, to Millie Page (col'd) (\$800, 1 story)
<b>1830 Tax</b>	Edw Hall, H & L, to Jared Plummer (\$1,600, 2 stories)	Hugh Smith, H & L, to Richard Winsor (\$2500, 2 stories)	John Dundas Est, Lot, vacant, \$600	Jacob Douglas, H & L, to Kurtz (\$2,600, 2 1 story) with Barton	F. Peyton, to Millie Page (col'd) (\$800, 1 story)
<b>1831 Tax</b>	Edward Hall, H & L, to Wm McCormick (\$1,600, 2 stories)	Hugh Smith, H & L, to Richard Winsor (\$2,500, 2 stories)	Jacob Douglas, Lot \$600; Jacob Douglas, H & L, to Richard C. Barton (\$2,600, 2 stories)		F. Peyton, H & L, to Quintin Barker (\$800, 2 stories)
<b>1832 Tax</b>	Edward Hall, H & L, to Mark Batts Jr. (\$1,600, 1 story)	Hugh Smith, H & L, to Richard Winsor Jr (\$2,500, 3 stories)	Jacob Douglas, \$600; Jacob Douglas, H & L, to Rich'd C. Barton & Henry Burton, \$2,600, 2 stories		F. Peyton, H & L, to Quintin Barker (\$800, 2 stories)
<b>1833 Tax</b>	Edward Hall, H & L, to Mark Batts Jr. (\$1,700, 2 stories)	Hugh Smith, H & L, to Richard Windsor Jr. (\$2,500, 2 stories)	Jacob Douglas, \$600; Jacob Douglas, H & L, to Rich'd C. Barton (\$2,600, 3 stories)		F. Peyton, H & L, vacant (\$800)
<b>1834 Tax</b>	Edward Hall, H & L, to Mark Butts (\$1,700, 2 stories "Flour Merchant")	Hugh Smith, H & L, "King & Payne" to Wesley Summers (\$2,500, 2 stories)	Jacob Douglas, Lot \$600, and H & L, to Quintin Barker, (\$2,600, 3 stories)		F. Peyton, H & L, vacant (\$800)
<b>1835 Tax</b>	Edward Hall, H & L, to Mark Butts (\$1,700, 2 stories "Flour Merchant")	Hugh Smith, H & L, "King & Payne," to H. Smoot (\$2,500, 2 stories)	Jacob Douglas, 2 H & Lots, to Quintin Barker (\$3,200, 3 stories)		F. Peyton, H & L, vacant (\$800)
<b>1836 Tax</b>	Wm D Nutt, H & L, to Mark Butts Jr. (\$1,700, 2 stories, "Flour Merchant")	Hugh Smith, H & L, King, to Hezekiah Smoot (\$2,500, 2 stories)	Jacob Douglas, H & Lot, to Quintin Barker (\$3,200, 2 stories)		F. Peyton, H & Lot to Elijah Waller (\$800)
<b>1837 Tax</b>	Wm D Nutt, H & L, to Dean (\$1,700)	Hugh Smith, H & Lots, King, to Hezekiah B. Smoot (\$2,500, 2 stories)	Jacob Douglas, H & Lots, to Quintin Barker, (\$3,200, 2 stories)		F. Peyton Est, H & L, to Henry Bright (\$800, 2 stories)

Year/ Record	Lot 1	Lot 2	Lot 3	
<b>1838 Tax</b>	Wm D Nutt, H & L, (\$1,700)	Hugh Smith, H & L, King, to Hesechia B. Smoot (\$2,500, 2 stories)	Jacob Douglas, H & Lots, to Quintin Barker, (\$3,200, 2 stories)	F. Peyton Est, H & L to Henry Bright (\$800, 2 stories)
<b>1843 Tax</b>	Wm D Nutt, H & L, "King & Pain" (\$1,700)	Hugh Smith, H & L, "King" vacant (\$2,500)	Jacob Douglas, H & Lot, self-occupied (\$3,500, 2 stories)	F. Peyton Est, H & L to Ann Zimmerman (\$800, 2 stories)
<b>1846 Tax</b>	Wm D Nutt, H & L, "King & Pain" (\$800, vacant)	Hugh Smith, H & L, King, Hester Dorsey (\$1,500, 2 stories)	Jacob Douglas, H & L, to Joseph Grigg (\$2,700, 2 stories) [1845 ad notes lot as 77'4" wide]	F. Peyton Est, H & L to Ann Zimmerman (\$500, 2 stories)
<b>1847 Tax</b>	Wm D Nutt, H & L, "King & Pain" (\$800, vacant)	Hugh Smith, H & L, King, to Wm W Tyler (\$1,400, 2 stories)	Wm Gregory, H & L, to Jos Grigg (\$2,500, 2 stories)	F. Peyton Est, H & L, to Jonathan Tippet (\$500, 2 stories)
<b>1851 Tax (Volume 1)</b>	Wm D Nutt, "King & Pain" (\$800, vacant)	Hugh Smith, H & L, King, to Richard House (\$1,200, 2 stories)	Wm Gregory, H & Lot, to Jos Grigg Sr. (\$2,300, 2 stories)	F. Peyton Est, H & L, to Jacob Zimmerman (\$450, 2 stories)
<b>1851 Tax (Volume 2)</b>	Wm D Nutt, H & L, "King & Pain" (\$850, vacant)	Hugh Smith, H & L, King, to Richard House (\$1,300, 2 stories)	Wm Gregory, H & L, to Jos Grigg Sr. (\$2,400, 2 stories)	[2-story brick house & lot adjoining house occupied by J. Grigg sold to R.N. Windsor for \$350 at F. Peyton estate auction (4/29/1850) and later sold to Wm Gregory]
<b>1852 Tax</b>	Jas Green "from Nutt," H & L, to Dedridge Smith (\$900, 2 stories, "Wheat & Fan Maker")	Hugh Smith, H & L, King, to Richard House, (\$1,300, 2 stories)	Wm Gregory, 2 H & L, to Jos Grigg Sr. & Samuel Grigg (\$2,700, 2 stories and 1 story, respectively)	
<b>1854 Tax</b>	Jas Green, King & Payne, to Wm A Sisson (\$1,100, 2 stories)	Hugh Smith, H & L, King, to Richard House (\$1,500, 2 stories)	Wm Gregory, H & 2 Lots, vacant (\$3,000) [the 1817 brick building on F. Peyton's lot demolished(?) and Landon's building left extant]	
<b>1855 Tax</b>	Jas Green, H & L, King & Payne, to A Sisson (\$1,200, 2 stories)	Hugh Smith, H & L, King, to Robt House (\$1,500, 2 stories)	Wm Gregory, H & L, to John M. Johnson (\$4,000, 2 stories)	
<b>1871 Tax</b>	Josiah Ford, 2 H & Lots, King & Payne, to Samuel Brown (\$3,500)		Wm Gregory, 326 King St, vacant (\$3,500) [recently occupied by S.H. Martin according to an 1871 advertisement]	

Year/ Record	Lot 1	Lot 2	Lot 3
<b>1873 Tax</b>	Josiah Ford, 2 H & L, SW corner King & Payne, to Peter David & J.L. Peyton (\$3,500)		Wm Gregory, H & L, 326 King, Ethel Melburn (\$3,500)
<b>1876-77 City Directory</b>	Josiah Ford & Sons (Josiah, Orlando H. & Stephen H. Ford) wheelwrights & blacksmiths, 316 King (also h to Josiah Ford)	Stephen H. Ford, h 318 King	Eli H. Janney, patentee, h 326 King [recently occupied by Major E. Janney in 1877 advertisement]
<b>1891 Tax</b>	Jas F. Carlin Est, 3 H & L, SW corner King & Payne (\$1,800), to J.B. Sampson, Joseph & Charles Reynolds, and D.R. Stansbury [J. Ford's property sold by his executors in 1880 to J. Carlin]		Mrs. E.G. Ashby, H & 2 lots, 1312 King (\$1,500), to John Turner, C. Moss, Thos Parsons, Mack Perryner[?], James Griffith, Edward Smith
<b>1895 Tax</b>	Jas F. Carlin Est, 3 H & L, SW cor King & Payne (\$1,800), to Joseph & Charles Reynolds, Walter Brawner, and D.R. Stansbury		O.G. Newgent, H & L, 1312 King (\$2,000), to George Hall
<b>1899 City Directory</b>	George Reynolds, Tinner, h 1300 King; Joseph Reynolds, freight agent, h 1302 King	Daniel Stansbury, Tinner, h 1304 King	Ernest C. Lyles, cigarmaker, h 1312 King
<b>1900 City Directory</b>	George Reynolds, Tinner, h 1300 King; Joseph Reynolds, freight agent, h 1302 King	Daniel Stansbury, Tinner, h 1304 King	Lambert Lyles, Clerk of the Market, h 1312 King
<b>1900 Census</b>	1300, Jos Reynolds "receiver of freight" with George "tinner," Joseph Jr. "grocery clerk," and Charles "Brakeman RR"	1304, John Harvey "Conductor (RR)" [D. Stansbury relocated to Columbus St by June 5,1900]	1312, Lambert Lyles, "market master" and family, 2 boarders
<b>1905 Directory</b>	Willie D. Hudson, druggist, 1300 King Street (h 713 Cameron)	Lucien F. Cheshire, clerk, h 1304 King	Henry and Julia Cheshire, carpenter, & Andrew Cheshire [Sr.], express and Andrew Cheshire, Jr., laborer, [all] h 1312 King
<b>1908 directory</b>	Willie D. Hudson, Pharmacy 1300 King, h 1300 King	Frederick Ayers, gunsmith, h 1304 King	Andrew Cheshire, Carpenter, h 1312 King
<b>1910 Tax</b>	Jas. F. Carlin Est, H & L, SW cor King & Payne, to H.D. Hudson (\$1600 (\$800 land, \$800 improv))	Jas. F. Carlin, 2 H & L, 1304-1306 King, to Fred G. Agers/Ayers & Jas H. Posey (\$1450 (\$750 land, \$700 improv))	Andrew Cheshire, 1310-1312, H & Lots (\$1,850 (\$900 land, \$950 improvement))

<b>Year/ Record</b>	<b>Lot 1</b>	<b>Lot 2</b>	<b>Lot 3</b>
<b>1910 Census</b>	1300, W Hudson "druggist" with wife & 1 boarder	1304, Frederick Ayers and family, 1 boarder	1312, Andrew Cheshire "expressman, City Wagon" (72 yrs) with son & 3 boarders
<b>1914 City Directory</b>	1300 Hudson's Pharmacy (William D. Hudson); 1302 William D. Hudson residence	Leon L. Anderson, 1304 "conductor"	Andrew J. Cheshire, h 1312 King
<b>1917 City Directory</b>	1300 Hudson's Pharmacy (William D. Hudson); 1302 William D. Hudson residence	Leon L. Anderson, 1304 "conductor"	Mollie H. Maupin (widow Oscar), h 1312 King
<b>1920 Census</b>	C.E. Williams, 1300–1302, "Merchant, own store" and family	Leon L. Anderson, 1304 "RR conductor" and family	Edward Mautin [sic] 1312, "machinist at torpedo plant" with wife, Ada, and one boarder, Wm Rollins "laborer at torpedo plant"
<b>1920 City Directory</b>	C.E. Williams, 1300–1302 King Street	Leon L. Anderson, 1304 "conductor"	E.A. Maupin, 1312 King
<b>1923 City Directory</b>	1300, B.S. Burdham; 1302, D.Worth Stanton h	Leon L. Anderson, 1304 "conductor" h	Vacant
<b>1924 City Directory</b>	1300, Baker Motor Company; 1302, Vacant	1304, L.L. Anderson	Vacant
<b>1926 City Directory</b>	1300, Howard's Barber Shop; 1302, Wm R Draper, plasterer	1304, J.R. Howard	1312, E.H. Magruder
<b>1928 City Directory</b>	1300, Howard's Barber Shop; 1302, vacant	1304, J.B. Carter	1312, vacant
<b>1930 City Directory</b>	1300, Howard's Barber Shop; 1302, Mrs. Matilda Minter	1304, vacant	<b>1308-1312 Aero Auto Co used car lot [1312 building demolished between 1928 &amp; 1930]</b>
<b>1934 City Directory</b>	1300–1302, The Copper Sein (restaurant)	1304, J.R. Howard "barber"	1310, Aero Auto Company

## **APPENDIX D: RESOURCE MANAGMENT PLAN**

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**Resource Management Plan for Archaeological Sites 44AX245 and 44AX246  
Located at 1300 to 1312 King St.  
Alexandria, Virginia**

**February 26, 2021**

This Resource Management Plan (RMP) has been prepared for two archaeological sites—44AX245 and 44AX246—located at 1300-1312 King St. in Old Town Alexandria. The following RMP outlines archaeological measures as proscribed by the Alexandria Archaeological Protection Code (Section 11-411 of the City Zoning Ordinance). All fieldwork and report production associated with the outcome of this RMP will conform to the guidelines set forth by Alexandria Archaeology.

Site 44AX246 consists of standing historic buildings at 1300–1302 and 1304 King Street and an asphalt parking lot. Site 44AX245 is adjacent on the west, and consists of 1306-1312 King St. The historic buildings at 1300-1302 and 1304 King St. will remain in place and be incorporated into the development. The goals of this RMP are threefold:

Task 1: To outline the archaeological monitoring of a 25 ft. by 80 ft. area (2,000 square ft.) on the west side of site 44AX246 [orange area on Map 1 and 2];

Task 2: To mechanically strip and record/excavate an area approximately 50 ft. by 80 ft. (3,825 square ft.) in size on the east side of site 44AX245 [blue area on Map 1 and 2]; and

Task 3: To mechanically excavate a 25 ft. by 35 ft. nineteenth century basement feature to allow for measured drawings and photographs of it [yellow area on Map 1 and 2].

## **Site Background**

44AX246: In the 1860s, the 1300 and 1304 King Street properties were purchased by Josiah Ford (c. 1825–1878), a blacksmith and wheelwright and occupied by his family and wheelwright son, Stephen, until 1891 (Alexandria City Chancery Causes 1891; U.S. Census 1870). In the first decades of the 1900s, these lots were rented to separate families and used for a mix of residential, commercial, and light-industrial space (ATR 1910; U.S. Census 1900, 1910) (Blondino and Tawney 2020; Eig et al. 2018).

44AX245: For the first several decades of the nineteenth century the lots at 1306-1312 King St. remained largely vacant. In ca. 1829 a two-story brick dwelling later addressed as 1312 King Street was constructed for Jacob Douglas and rented in 1830 to grocer Richard Barton (ATR 1829, 1830). By the fall of 1833, Barton's "Grocery and Liquor Store" had transitioned into the grocery and coopery of Quintin Barker, "where he keeps a general assortment of ware, such as TUBS, BUCKETS, CHURNS, and every article in the business, made by a first-rate



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workman” (*Genius of Liberty* 1834). Tax records indicate that Barton had relocated to this building from the extant circa-1820s brick building that is now 1322 King Street, and continued to occupy the property until 1843 (ATR n.d.). In 1841, Jacob Douglas mortgaged the three lots stretching from 1308–1312 King Street to local merchant-banker William Gregory and defaulted several years later (ACDB C3:134). Gregory advertised the house for rent regularly in local newspapers and auctioned some of its contents on occasion (*Alexandria Gazette* 1863, 1871a, 1871b; Eig et al. 2019:4). After his death in 1875, the heirs divided the estate and the property passed to his daughter, Mrs. C. L. (Elizabeth G.) Ashby (Alexandria City Chancery Causes 1884). The circa-1829 dwelling and other buildings on the lot remained in residential use until their demolition between 1921 and 1932 (Eig et al. 2019:4).

## Archaeological Tasks

### Task 1: Monitoring, 44AX246

The only archaeology to be conducted under this RMP at 1300-1304 King St. (44AX246) will be monitoring the western portion of 1304 King St. that is currently under an asphalt parking lot (see orange area on Map 1 and 2). Within this approximately 25 ft. by 80 ft. area (2,000 square feet), the Qualified Archaeological Consultant (QAC) will monitor the mechanical removal of soil layers to the depth of sterile subsoil. Subsoil is expected to be at a depth of less than 2.0 ft.

The backhoe must be outfitted with a bucket with a smooth blade (no teeth). If shaft features (wells, privies) or other large-scale features are encountered, the QAC should expose a feature in its entirety, and inform Alexandria Archaeology of the find. The QAC must then clean, photograph, and map the feature(s). Next steps, if any, will be determined in consultation with Alexandria Archaeology.

### Task 2: Side Yard Stripping, 44AX245

The QAC will oversee the mechanical stripping of a side yard area within site 44AX245 that is approximately 50 ft. by 80 ft. (3,825 square ft.) in size (blue area on Map 1 and 2). Under direction of the QAC, a backhoe outfitted with a smooth blade will remove the upper soil layers that seal the sterile layer below. According to earlier testing at the site, a yellowish-brown clay transition layer is present at a depth of approximately 6 inches below topsoil. The QAC should direct the backhoe operator to strip down to the top of this transition layer. All subsurface features should be cleaned, photographed, and mapped in plan. In consultation with Alexandria Archaeology, a determination will be made about excavation of each feature on a case-by-case basis. For those features that require testing, the QAC will bisect one half of each feature by



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natural levels with all soil screened through 1/4-inch mesh. Artifacts will be bagged by context, and a profile will be drawn for each feature.

### **Task 3: Expose Brick Basement, 44AX245**

The QAC will oversee the mechanical excavation of a 25 ft. by 35 ft. nineteenth-century basement feature to allow for measured drawings and photographs of it [yellow area on Map 1 and 2] (see Map 3). As we currently understand it, the basement has a brick floor and may consist of two episodes of filling: Fill I) A layer of dark yellowish brown sandy clay loam approximately 3 ft. in depth; and Fill II) a layer of brick rubble dating to when the building was demolished in the 1920s (Map 4). The sequence of emptying the basement is as follows:

1. The QAC will first remove the backfill from Trench 2 and Trench 3 that were excavated in November 2020 (see Map 3).

2. The QAC will assess the interior brick wall that was exposed in the earlier testing (see Map 3). The assessment of the context of the wall will determine the remainder of the mechanical excavation of the basement.

2a. If the interior brick wall is found to extend to the brick floor of the basement, then the QAC will proceed in excavating the basement as one deposition layer approximately 6 ft. in depth (both Fill I and II). The QAC will proceed to Step 3a below.

2b. If the interior brick wall is found to be resting on top of Fill I, then this will demonstrate that the basement consists of two different fill episodes. The QAC will proceed to Step 3b below.

3a. One Lift: The QAC will direct the backhoe operator to excavate all the fill in the basement as one lift (both Fills I and II together). Any intact masonry walls or other features inside the basement must remain in place for later recording. The QAC should be prepared to remove the lowest floor layer by hand in order to minimize any damage that backhoe might cause.

3b. Two Lifts: The QAC will direct the backhoe operator to excavate Fill II (the rubble layer) in its entirety, leaving Fill I intact temporarily (see Map 4). Any intact masonry walls or other features inside the basement must remain in place for recording. Once the rubble layer is entirely removed, the QAC can then begin to remove Fill I. During the removal of Fill II the QAC must collect any artifacts they observe in the layer, however the soil does not need to be screened. At the floor level, the QAC must also assess the nature of the floor context. If the



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QAC determines that there is a sealed floor layer that reflects historic activity, the QAC must consult with Alexandria Archaeology before its removal. The QAC may be required to sample excavate some of this floor layer by hand. Once the floor layer has been addressed, the QAC should complete the excavation of the basement.

4. Once the basement is emptied, the QAC must clean, photograph, and map the exposed basement. A laser transit can be employed to map each wall of the basement instead of hand drawing. The QAC shall consult with Alexandria Archaeology for this task. The objective is to carefully record the details of the basement.

### **Final Report**

One electronic draft copy of the final report will be submitted to Alexandria Archaeology for review. A full and complete background history will be required for this draft of the report. Once revisions have been made (if required) and the report approved by the City Archaeologist, four copies of it, one unbound with original graphics, will be submitted to Alexandria Archaeology. The bound reports will have the spines labeled with the name of the report, year produced, and the contractor name. All site maps and drawings must be inked or computer-generated so as to produce sharp and clear images that will result in clear photocopies or microfilms.

### **Laboratory Work and Curation**

Archaeological artifacts recovered from the project area will be cleaned, stabilized (if necessary), catalogued, labeled and packaged in accordance with the guidelines set forth in the *City of Alexandria Archaeological Standards*. At the conclusion of the project, all original photographs, negatives, slides, videotapes, field notes and forms, other field records, as well as the artifacts if they are to be donated to the City, will be delivered to Alexandria Archaeology. Archaeological collections recovered as a result of the Alexandria Archaeology Resource Protection Code must be curated at a facility which meets Federal standards for archaeological curation and collections management as described by 36CFR Part 79. The Alexandria Archaeology Storage Facility meets these standards, and the property owner is encouraged to donate the artifact collection to the City for curation. The archaeological consultant is responsible for arranging the donation of the artifacts with the owner and will deliver the artifacts to the appropriate storage facility.



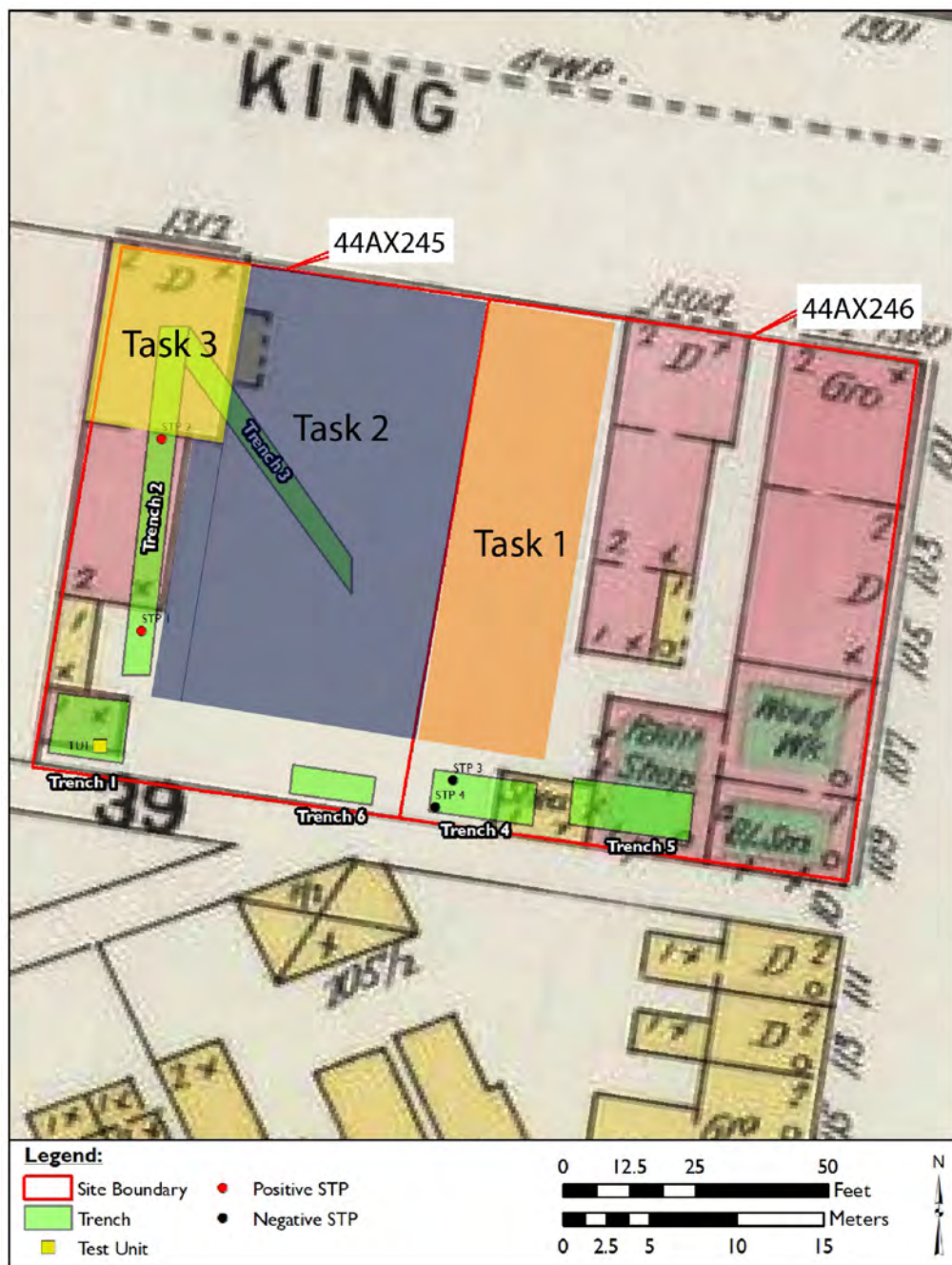
Office of Historic Alexandria/Alexandria Archaeology  
Torpedo Factory Art Center #327  
105 N. Union Street  
Alexandria, VA 22314  
Main Office: 703.746.4399



Map 1. Map of archaeology task areas at 44AX245 and 44AX246 (Aerial 2019).



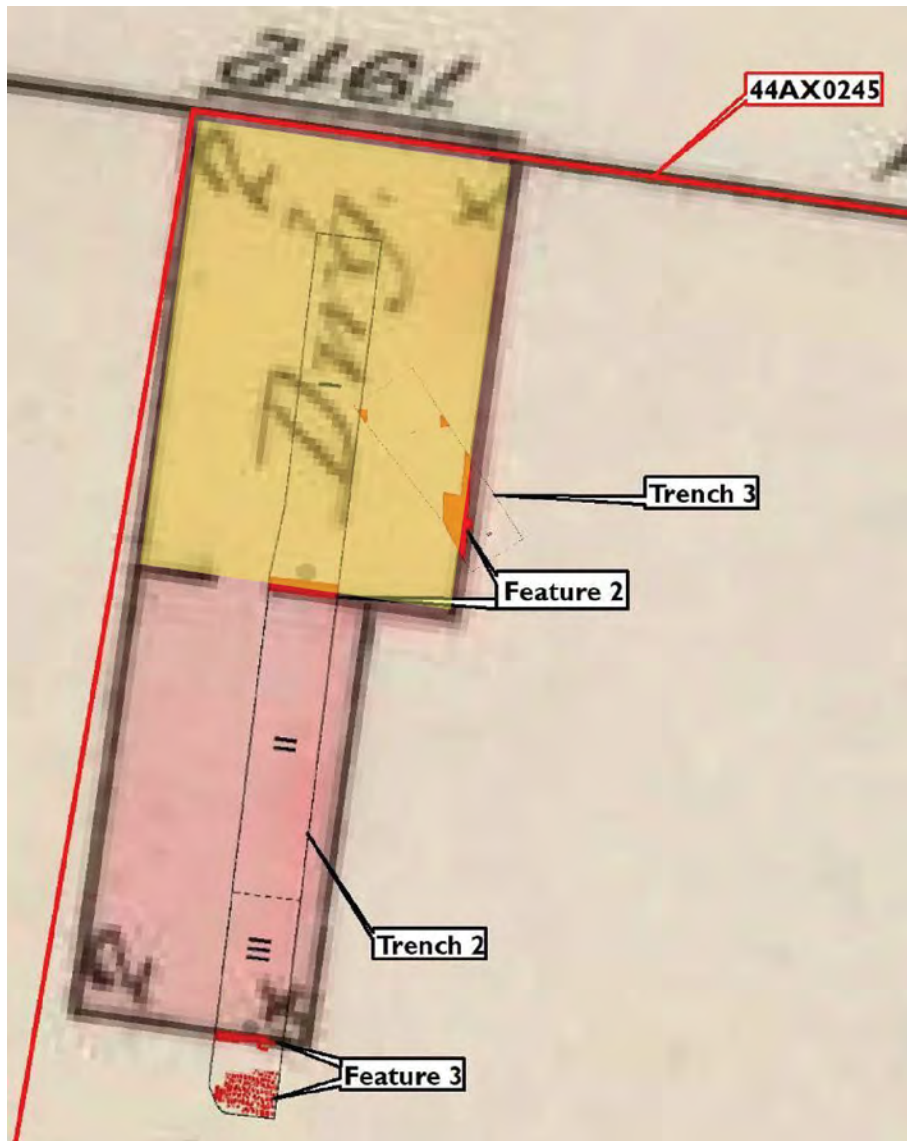
Office of Historic Alexandria/Alexandria Archaeology  
Torpedo Factory Art Center #327  
105 N. Union Street  
Alexandria, VA 22314  
Main Office: 703.746.4399



Map 2. Map of archaeology task areas at 44AX245 and 44AX246 (Sanborn 1896).



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Torpedo Factory Art Center #327  
105 N. Union Street  
Alexandria, VA 22314  
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Map 3. Map of Task Area 3, basement feature (yellow area to be excavated).



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Torpedo Factory Art Center #327  
105 N. Union Street  
Alexandria, VA 22314  
Main Office: 703.746.4399



Map 4. Map of two potential fill episodes in the basement.

## **APPENDIX E: SITE FORMS**

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## Snapshot

Date Generated: December 17, 2020

**Site Name:** No Data  
**Site Classification:** Terrestrial, open air  
**Year(s):** 1829 - 1920  
**Site Type(s):** Dwelling, single  
**Other DHR ID:** No Data  
**Temporary Designation:** Site 1

### Site Evaluation Status

Not Evaluated

## Locational Information

**USGS Quad:** ALEXANDRIA  
**County/Independent City:** Alexandria (Ind. City)  
**Physiographic Province:** Coastal Plain  
**Elevation:** 15  
**Aspect:** Facing North  
**Drainage:** Potomac  
**Slope:** 0 - 2  
**Acreage:** 0.150  
**Landform:** Urban  
**Ownership Status:** Private  
**Government Entity Name:** No Data

## Site Components

### Component 1

**Category:** Domestic  
**Site Type:** Dwelling, single  
**Cultural Affiliation:** Euro-American  
**DHR Time Period:** Antebellum Period, Civil War, Reconstruction and Growth  
**Start Year:** 1829  
**End Year:** 1920

**Comments:** Site 1 was identified via the excavation of Trenches 1, 2, and 3 which contained brick foundation remains (Features 1 and 2) and a brick work pad (Feature 3) associated with the occupation of 1312 King Street. Trench 1 contained the partial remains of a brick outbuilding located in the southwest corner of the lot. This building measures 15.5 feet by 10 feet (4.7 m by 3 m) and was likely used as a workshop or shed as it had no definitive archaeological signature suggesting its use as a privy, cistern, or smokehouse. This building foundation was two courses wide and laid in common bond. It extended to a depth of at least 1.5 feet (0.4 m) below pavement and likely had a wood or dirt floor. Trenches 2 and 3 revealed the largest concentration of brick features, all associated with the former buildings once located on the lot. Specifically, the foundations exposed during this investigation represent the back wall of the front building at 1312 King Street and the back wall of the brick addition at 1312 King Street. Based on the archival research conducted as part of this work the building at 1312 King Street was constructed in 1829 by Jacob Douglas and rented in 1830 to Richard Barton (ATR, 1829, 1830). Barton ran a grocery until 1843 and by the 1860s the property was occupied by Josiah Ford and his family. This work also revealed the front building had a full basement and was divided by brick walls, creating interior rooms. The basement at 1312 King Street also contained a relieving arch which likely held the weight of a brick chimney above, as well as a French drain which helped shed water. Given the size and location of the relieving arch it is possible the room above (the first floor) had a large hearth for cooking, thus needing extra support for the intense weight. All exposed bricks from the foundation were white suggesting the basement was painted white for either for aesthetic purposes or to brighten the space to make it easier to see. There was also a concentration of coal on the floor indicating the building's heat source. Artifacts found within the fill of the basement include a portion of a machine-made bottle, a rosary, specifically, the crucifix and a section of the antiphon, a grape shot from a Naval cannon, a .54 caliber Minié ball, three marbles, an aqua condiment bottle. A post-1914 date has been assigned to the bottle fragment as it is clearly embossed 'Min. Cont. 6fl oz' and according to the Gould Act of 1913 all bottles manufactured after 1914 were required to have a volume designation (Lockhart 2010:334). In addition to the basement foundation and relieving arch, the current investigations also uncovered the back wall of the brick addition as well as a brick pad. The foundation wall was two courses wide and like the other foundations examined during this work, was laid in a common bond. Additionally, testing in this location revealed the brick addition had no basement. The brick pad was dry laid with mostly partial bricks

and bats and extended across the width of the trench where it was recorded.  
The brick pad, located just outside the brick addition, likely served as a work pad or base layer for back porch. The density of personal items increased in this location with one slate pencil fragment, three buttons, two marbles, and a Bakelite comb being recovered, primarily atop the brick pad. This apparent cluster is not surprising as this area may have been a preferred location for play and gatherings.

## Bibliographic Information

### Bibliography:

Alexandria City Chancery Causes  
1884 William B. Gregory, Trustee v. George W. Ramsey, et al. (1884-018). Manuscript on file at Library of Virginia. Electronic document, <https://www.virginiamemory.com/collections/chancery/>, accessed October 2020.  
1891 James F. Carlin & Sons v. Executrix of Josiah Ford, et al. (1891-020). Manuscript on file at Library of Virginia. Electronic document, <https://www.virginiamemory.com/collections/chancery/>, accessed October 2020.  
Alexandria City Deed Book [ACDB]  
n.d. Deed Books, City of Alexandria, misc. years. Microfilm collection on file at the Library of Virginia, Richmond.

### Informant Data:

No Data

## CRM Events

### Event Type: Survey:Phase I

#### Project Staff/Notes:

Dovetail 2020: Dovetail conducted a Phase IA survey of the property in 2019 and included background review and documentary research to determine the history of the parcel and to evaluate its potential to contain intact soils and National Register of Historic Places (NRHP)-eligible archaeological sites (Blondino and Tawney 2020). The results of this initial assessment determined that the eastern portion of the lot had no measurable elevation change indicating that the archaeological potential for building foundations to be located below the parking lot is high. The western portion of the project area appeared to have been filled to some degree but nonetheless has the potential for archaeological deposits beneath the fill soils. As a result of Dovetail's analysis of the project area, it was recommended that Phase IB archaeological trenching of the parking lot be conducted prior to any proposed construction.

**Project Review File Number:** No Data  
**Sponsoring Organization:** No Data  
**Organization/Company:** Dovetail CRG  
**Investigator:** Kerry Gonzalez  
**Survey Date:** 10/26/2020

#### Survey Description:

Dovetail 2020: The current Phase IB-level studies involved subsurface investigations across the open portions of the project area. A total of six trenches (Trench 1–6) were excavated which exposed a total of five features (see table below). An additional test unit and four exploratory STPs were also excavated to further examine the stratigraphy and nature of the deposits located within the trenches. Trenches 1, 2, 3, and 6 were within the parking lot associated with 1310–1312 King Street and Trenches 4 and 5 were at 1304 King Street, behind the extant building, formerly the Pines of Florence Italian restaurant. Excavations within the project area revealed foundations, or partial foundations of four buildings dating from the early-nineteenth to the early-twentieth century and illustrated on historic maps. These features include the foundation for the two-story brick building located at 1310–1312 King Street, a brick pad associated with 1310–1312 King Street, a one-story brick outbuilding in the back of the lot associated with 1310–1312 King Street, and the foundation and interior of the paint shop located at 1304 King Street

Current Land Use	Date of Use	Comments
Parking lot	12/4/2020 12:00:00 AM	Site is currently under parking lot associated with 1310-1312 King Street.
<b>Threats to Resource:</b>		Demolition, Development
<b>Site Conditions:</b>		Subsurface Integrity
<b>Survey Strategies:</b>		Historic Map Projection, Subsurface Testing
<b>Specimens Collected:</b>		Yes
<b>Specimens Observed, Not Collected:</b>		No

#### Artifacts Summary and Diagnostics:

Dovetail 2020: Artifacts found within the fill of the basement include a portion of a machine-made bottle, a rosary, specifically, the crucifix and a section of the antiphon, a grape shot from a Naval cannon, a .54 caliber Minié ball, three marbles, an aqua condiment bottle. A post-1914 date has been assigned to the bottle fragment as it is clearly embossed 'Min. Cont. 6fl oz' and according to the Gould Act of 1913 all bottles manufactured after 1914 were required to have a volume designation (Lockhart 2010:334).

#### Summary of Specimens Observed, Not Collected:

No Data

**Current Curation Repository:** Dovetail  
**Permanent Curation Repository:** City of Alexandria  
**Field Notes:** Yes  
**Field Notes Repository:** Dovetail  
**Photographic Media:** Digital  
**Survey Reports:** Yes

#### Survey Report Information:

Phase IB Archaeological Trenching of the 1300–1312 King Street Project Area in Alexandria, Virginia (Kerry Gonzalez and Danae Peckler)

**Survey Report Repository:** Dovetail  
**DHR Library Reference Number:** No Data

**Significance Statement:** Dovetail 2020: The purpose of this study was to identify the presence of intact archaeological deposits, primarily those associated with the early occupation of the project area. Given the potential for the site to contribute to the greater understanding of the early-nineteenth century urban built environment of Alexandria by showcasing not only the construction styles of middling merchant dwellings but also the spatial organization of a large side yard not believed to be a common feature of houses at the western fringe of the City, This site is recommended as potentially eligible under Criterion A. As there are currently no associations with people significant in our nation's history it is recommended not eligible under Criterion B and due to the building remains lack of a distinctive characteristics of a type, period, or method of construction, or that represent the work of a master it is also recommended not eligible

	<p>under Criterion C.</p> <p>Additionally, this site is recommended potentially eligible under Criterion D not only for its potential to yield information important to history as intact archaeological features are present but to serve as a comparative example of this type of site. According to VCRIS records only 73 archaeological sites contemporaneous with Sites 1 and 2 have been recorded, with only one being listed (44AX0048/Lee-Fendell House) on the NRHP. Additionally, only two sites have been determined not eligible (44AX0214 and 44AX0224) with the deciding eligibility factor being lack of integrity of the features and lack of significance of the late-nineteenth century component of the site. The general lack of sites of this nature within 2 miles (3.2 km) of the project area that have been formally investigated further bolster the potential eligibility of the site</p>
<b>Surveyor's Eligibility Recommendations:</b>	Recommended Potentially Eligible
<b>Surveyor's NR Criteria Recommendations, :</b>	A, D
<b>Surveyor's NR Criteria Considerations:</b>	No Data

## Snapshot

Date Generated: December 17, 2020

**Site Name:** No Data  
**Site Classification:** Terrestrial, open air  
**Year(s):** 1880 - 1920  
**Site Type(s):** Other  
**Other DHR ID:** No Data  
**Temporary Designation:** Site 2

### Site Evaluation Status

Not Evaluated

## Locational Information

**USGS Quad:** ALEXANDRIA  
**County/Independent City:** Alexandria (Ind. City)  
**Physiographic Province:** Coastal Plain  
**Elevation:** 15  
**Aspect:** Facing North  
**Drainage:** Potomac  
**Slope:** No Data  
**Acreage:** 0.180  
**Landform:** Urban  
**Ownership Status:** Private  
**Government Entity Name:** No Data

## Site Components

### Component 1

**Category:** Commerce/Trade  
**Site Type:** Other  
**Cultural Affiliation:** Euro-American  
**DHR Time Period:** Reconstruction and Growth  
**Start Year:** 1880  
**End Year:** 1920  
**Comments:**

#### Dovetail:

Site 2 represents the archaeological remains of an early-nineteenth- through early-twentieth-century commercial/domestic site and is located at 1304 King Street. While the archaeological investigations only occurred in the open area behind the extant building, the entirety of the lot was assigned Site 2 as it is considered one resource. The building fronting King Street has been recorded with the Department of Historic Resource (DHR) as 100-5050 and has not been evaluated. The purpose of the investigations, as with Site 1, was to determine the presence or absence of archaeological features potentially present behind the extant building on the lot. This site encompasses 0.13 acres (0.06 ha), sitting at 15 feet (4.5 m) above mean sea level (AMSL) and encompasses the entirety of 1304 King Street. Two extant buildings are currently located within the site boundaries. An architectural survey of these buildings was not part of this scope of work.

Site 2 was identified via the excavation of Trenches 4 and 5 which contained a square post hole (Feature 4), brick foundation remains, and a brick floor (Feature 5) associated with the occupation of 1304 King Street which was constructed for Ann Peyton sometime between 1800 and 1805 before she sold the property to John McKinney (Eig et al. 2018:5).

Trench 4 contained one feature associated with the no longer extant buildings, a square post likely associated with wooden frame shed attached to the brick 'Paint Shop' as seen on the 1896 Sanborn Map. This post likely represents one of the structural posts associated with the building. It was approximately 1-foot square (0.09 m) and was composed of a very dark grayish brown (10YR 3/2) silty sand. A machine-made bottle base with visible Owen's suction scar was observed within the matrix but was not collected. Trench 5, directly east of Trench 4, contained the partial building remains of the 'Paint Shop' as well as a portion of the shed located in Trench 4. Based on overlays, the Paint Shop likely measured 20 by 30 feet (6 by 9 m) and was of brick construction. The archaeology confirmed this by revealing a two-course brick foundation laid with mud mortar. As with the other foundations seen during the current investigation, this building was also laid in common bond. The brick floor within the paint shop was mostly laid with brick bats and fragments. This construction style suggests this floor was strictly utilitarian and no discernable pattern was seen. This is not surprising as the floor of a paint shop would be subjected to repeated chemical spills.

While no artifacts found within sealed early-nineteenth-century deposits encountered in Site 2, later artifacts

indicative of the occupation of the site were identified. Three bottles were retained for their diagnostic attributes and include one cobalt Bromo Seltzer bottle (1905–1916), an embossed beer bottle marked “Robert Portner Brewing Co” (1870–1916), and a second Robert Portner Brewing Company bottle (1910–1916). Additional, artifacts include one stage 3 quartz biface fragment, an 1865 Indian Head penny, and a 4-hole prosser button.

## Bibliographic Information

### Bibliography:

Alexandria City Chancery Causes  
1884 William B. Gregory, Trustee v. George W. Ramsey, et al. (1884-018). Manuscript on file at Library of Virginia. Electronic document, <https://www.virginiamemory.com/collections/chancery/>, accessed October 2020.  
1891 James F. Carlin & Sons v. Executrix of Josiah Ford, et al. (1891-020). Manuscript on file at Library of Virginia. Electronic document, <https://www.virginiamemory.com/collections/chancery/>, accessed October 2020.  
Alexandria City Deed Book [ACDB]  
n.d. Deed Books, City of Alexandria, misc. years. Microfilm collection on file at the Library of Virginia, Richmond.

### Informant Data:

No Data

## CRM Events

### Event Type: Survey:Phase I

#### Project Staff/Notes:

Dovetail 2020: Dovetail conducted a Phase IA survey of the property in 2019 and included background review and documentary research to determine the history of the parcel and to evaluate its potential to contain intact soils and National Register of Historic Places (NRHP)-eligible archaeological sites (Blondino and Tawney 2020). The results of this initial assessment determined that the eastern portion of the lot had no measurable elevation change indicating that the archaeological potential for building foundations to be located below the parking lot is high. The western portion of the project area appeared to have been filled to some degree but nonetheless has the potential for archaeological deposits beneath the fill soils. As a result of Dovetail's analysis of the project area, it was recommended that Phase IB archaeological trenching of the parking lot be conducted prior to any proposed construction.

**Project Review File Number:** No Data  
**Sponsoring Organization:** No Data  
**Organization/Company:** Dovetail CRG  
**Investigator:** Kerry Gonzalez  
**Survey Date:** 10/26/2020  
**Survey Description:**

Dovetail 2020: The current Phase IB-level studies involved subsurface investigations across the open portions of the project area. A total of six trenches (Trench 1–6) were excavated which exposed a total of five features (see table below). An additional test unit and four exploratory STPs were also excavated to further examine the stratigraphy and nature of the deposits located within the trenches. Trenches 1, 2, 3, and 6 were within the parking lot associated with 1310–1312 King Street and Trenches 4 and 5 were at 1304 King Street, behind the extant building, formerly the Pines of Florence Italian restaurant. Excavations within the project area revealed foundations, or partial foundations of four buildings dating from the early-nineteenth to the early-twentieth century and illustrated on historic maps. These features include the foundation for the two-story brick building located at 1310–1312 King Street, a brick pad associated with 1310–1312 King Street, a one-story brick outbuilding in the back of the lot associated with 1310–1312 King Street, and the foundation and interior of the paint shop located at 1304 King Street

Current Land Use	Date of Use	Comments
Parking lot	12/4/2020 12:00:00 AM	Dovetail 2020: Site is at 1304 King Street and includes open parking areas and extant buildings.
<b>Threats to Resource:</b>	Demolition, Development	
<b>Site Conditions:</b>	Subsurface Integrity	
<b>Survey Strategies:</b>	Historic Map Projection, Subsurface Testing	
<b>Specimens Collected:</b>	Yes	
<b>Specimens Observed, Not Collected:</b>	No	

#### Artifacts Summary and Diagnostics:

Dovetail 2020: Three bottles were retained for their diagnostic attributes and include one cobalt Bromo Seltzer bottle (1905–1916), an embossed beer bottle marked “Robert Portner Brewing Co” (1870–1916), and a second Robert Portner Brewing Company bottle (1910–1916). Additional, artifacts include one stage 3 quartz biface fragment, an 1865 Indian Head penny, and a 4-hole Prosser button.

#### Summary of Specimens Observed, Not Collected:

No Data

**Current Curation Repository:** Dovetail  
**Permanent Curation Repository:** City of Alexandria  
**Field Notes:** Yes  
**Field Notes Repository:** Dovetail  
**Photographic Media:** Digital  
**Survey Reports:** Yes

#### Survey Report Information:

Phase IB Archaeological Trenching of the 1300–1312 King Street Project Area in Alexandria, Virginia (Kerry Gonzalez and Danae Peckler)

**Survey Report Repository:** Dovetail  
**DHR Library Reference Number:** No Data

**Significance Statement:** Dovetail 2020: The purpose of this study was to determine the presence of intact archaeological deposits, primarily those associated with the early occupation of the project area. Given the potential for this site to contribute to the greater understanding of the early-nineteenth century urban built environment of Alexandria by showcasing not only the construction styles of the buildings but also the unique layout of this particular site, it is recommended as potentially eligible under Criterion A. As there are currently no associations with people significant in our nation's history it is recommended not eligible under Criterion B and due to the building remains lack of a distinctive characteristics of a type, period, or method of construction, or that represent the work of a master it is also recommended not eligible under Criterion C. Additionally, this site is recommended potentially eligible under Criterion D for its potential to yield information important in

**Surveyor's Eligibility Recommendations:**

**Surveyor's NR Criteria Recommendations, :**

**Surveyor's NR Criteria Considerations:**

history as intact archaeological features are present but also as a comparative example of early-nineteenth century commercial and domestic sites in an urban setting.

Recommended Potentially Eligible

A, D

No Data

## **APPENDIX F: HISTORICAL INFORMATION: PETER PARIS**

Throughout the first quarter of the nineteenth century, the middle of the block between 1304 and what is now 1322 King Street remained largely undeveloped; however, one of the block's earliest occupants is believed to have been a free Black "shopkeeper and oysterman" named Peter Paris (also spelled Parris) (Alexandria Tax Records [ATR] n.d.; Miller 1992:346). In 1801, Paris (also spelled Parris) purchased a 24-foot (7.6-m) 8-inch (0.2-m) by 100-foot (30-m) lot of land from John Dundas, Francis Peyton, and their wives, that began at a point 49.5 feet (15 m) east of the West Street intersection—land within the lots currently addressed as 1316 and 1318 King Street (Alexandria City Deed Book [ACDB] C:6). By 1804, local tax records reported Paris as residing thereon in what was likely a small frame dwelling valued at \$150, which he appears to have expanded or improved the following year when its value increased to \$450 (ATR 1804, 1805). Just west of Peter Paris' dwelling, Francis Peyton had erected a two-story building at the corner of King and West Street. This is likely the extant building currently addressed as 1322 King Street that was valued at \$1,500 for which Peyton assessed in 1813 (ATR 1813).

Deed records indicate that Peter Paris bought other lots at the western edge of the city in the following decade, subdividing at least two of them. This included a lot on the north side of Prince Street, west of West Street, that Paris purchased in 1806 from George Gilpin and two lots from Thomas King in 1832 on the west side of Duke Street extended, "near the stone bridge, to the head of King Street and [another] at the northeast corner of a lot sold by Francis Peyton to Elizabeth Jackson" (ACDB M:259, U2:69).

In 1812, Peter Paris and his wife, Mary, subdivided a small strip of property in the middle of the south side of the 1300 block of King Street, measuring 8-foot-by-100-foot (2.4-m by 30.4 m), selling it to another African American, Abraham Thorton, in consideration of an annual rent payment of \$12 (ACDB W:353). According to the deed's description, this narrow lot began at a point 66-feet, 1-inch (20.1-m) east of West Street, "at the northeast corner of the house now occupied by said Peter Parris" (ACDB W:353). Thorton was never assessed any tax on this property, but 1813 tax records attribute a two-story frame dwelling valued at \$160 next to Paris' lot to Mary Hayes (ATR n.d.). An elderly white widow, Mary Hayes occupied and paid taxes on this "house and lot" until 1829 (ATR n.d.; United States Federal Population Census [U.S. Census] 1820).

In the first few decades of the nineteenth century, Peter Paris was not the only African American residing in the area; however, by the 1820s, just a few free Blacks appear nearby in the local census, including a man by the name of James Hammond and another named John Pipseco (United States Federal Population Census [USFPC] 1820). By 1830, open lots and those containing small one-story dwellings, like that which Peter Paris was assessed for until 1832, were increasingly replaced by two- and three-story brick buildings constructed by absentee landlords and rented to enterprising merchants of all trades (ATR n.d.; USFPC 1830, 1840, 1850). In November 1832, Hugh Leddy purchased Paris' 24-foot-wide lot on the south side of King Street for \$330, though he continued to rent the property for another year

(ACDB T2:377; ATR n.d.). That same year, Abraham Thorton sold Mary Hayes' house and lot to Robert Adam, who promptly resold it to Hugh Leddy (ACDB T2:379). Five years later, Hugh Leddy sold both lots to Owen Leddy in March 1837 (ACDB X2:144).

Peter Paris wrote a will in June 1837 and died prior to August 9, 1837—the day it was proven in Orphans Court (Alexandria City Will Book 4:134).

In 1846, a Chancery case brought by the federal government against John Dundas' estate necessitated the assessment and division of the heirs' real estate. In this division, Eliza Dundas was awarded the annual rent due on what had been Peter Paris' lot—identified as Lot No. 34 on Plat G: "P.Parris now Leddy – Gr[ound] Rent \$15" (Arlington County Chancery Causes 1846) (Figure 55). Given the distances provided in Paris' 1801 deed and the 1846 plat for Eliza Dundas, Paris' lot fell somewhere between 1316 and 1318 King Street today (Figure 56, p. 153). In the mid-1840s, Owen Leddy sold it R. G. Violet who had two brick dwellings thereon circa 1851 (ATR n.d.).



Figure 55: Detail of Plat F Showing Lot 34, Awarded to Eliza Dundas (Arlington County Chancery Causes 1846). Image not to scale.



Figure 56: Detail of Paris' Lot as Depicted in Plat F Over Current Satellite Imagery (Arlington County Chancery Causes 1846; Google 2020). Image not to scale.

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## **APPENDIX G: PRINCIPAL INVESTIGATOR QUALIFICATIONS**

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#### YEARS EXPERIENCE

With this firm: 14

With other firms: 5

#### EDUCATION

M.A./History, 2001

B.A./History, 1999

#### REGISTRATIONS/QUALIFICATIONS

Registered Professional Archaeologist

Secretary of Interior Standards Qualified as  
Archaeologist and Historian

#### PUBLICATIONS/PRESENTATIONS/COMMITTEES

Chair/SHA Curation and Collections Committee  
(Present)

Pictures Speak for Themselves: Case Studies  
Proving the Significance and Affordability of X-  
ray for Archaeological Collections. In *New Life for  
Archaeological Collections*, edited by Rebecca  
Allen and Ben Ford (2019)

To our division hospital... men were brought until  
rooms, verandas and lawns were full": Civil War  
archaeology along the Fredericksburg riverfront.  
Paper presented at the Mid-Atlantic Archaeological  
Conference (2018)

The Historical Archaeology of Eighteenth-Century  
Tenancy at the Fall Hill Site (44SP0642). Paper  
presented at the Council for Northeast Historical  
Archaeology (2015)

"Drill, Drill, a Little More Drill": The Surfacing of  
the Soldier Through the Smoke of the Civil War.  
*The Journal of Fredericksburg History* (2011)

From Serine Woodlands to Decimated Landscapes:  
A Look at Life in the Greater Fredericksburg  
Region Before and After the Civil War. Paper  
presented at the Mid-Atlantic Archaeological  
Conference (2007)

## KERRY GONZALEZ, MA, RPA

### Lab Manager/Project Archaeologist II

#### EXPERIENCE

Ms. González has over 19 years of professional experience in the field of archaeology and collections management. As lab manager, Ms. González oversees the entire laboratory process to ensure quality control for each collection. As Project Archaeologist II, she has uses her expertise in Civil War and nineteenth century archaeology, directing excavations at numerous historic sites including military camps, battlefields, and field hospitals. In addition, Ms. González attended a seminar given by the American Battlefield Protection Program on battlefield preservation/archaeology. Most recently, Ms. González taught two workshops on the utility of x-radiography for identification of archaeological collections, namely collections with a large amount of highly corroded metals. Ms. González is passionate about collections management and serves on several committees associated with COVA, SHA, and ACRA.

#### SAMPLE PROJECTS

*Project Archaeologist II/South Mountain Battlefield Study* (Frederick and Washington Counties, Maryland). Metal detector survey of three properties within the South Mountain Battlefield conducted in conjunction with the Maryland State Highly Administration.

*Project Archaeologist I and Lab Manager/ Cedar Creek Battlefield* (Frederick County, Virginia). Phase I and II archaeological investigations on behalf of the National Park Service, consisting of metal detector survey, shovel testing, and the excavation of a total of three test units to investigate artifact concentrations and the potential for intact archaeological remains.

*Project Archaeologist and Lab Manager/ Riverfront Park (City of Fredericksburg, Virginia)*. Data recovery excavations on a portion of the regimental field hospital for the 14<sup>th</sup> Connecticut. Excavations included the recovery of human remains representing three Civil War soldiers and their possessions. Currently working with local NPS on reburial of these men.

*Project Archaeologist and Lab Manager/Spotsylvania County, Virginia)*. Archaeological study of a proposed trail within t he Spotsylvania Court House Battlefield which included archival research, metal detection, and shovel test excavation.

*Project Archaeologist and Lab Manager /Petersburg/Five Forks Battlefield Survey (Petersburg, Virginia) Phase I archaeological investigation using metal detection and shovel test excavation in advancement of installation of new utilities.*

*Project Archaeologist and Lab Manager/Stafford Landfill (Stafford County, Virginia)*. Phase I investigations of eight known sites and Phase II excavations of five sites including a winter encampment, fortifications, corduroy roads, and late-eighteenth century sandstone quarries.

*Project Archaeologist and Lab Manager/Shelton Parking Lot (Richmond National Battlefield Park, Henrico County, Virginia)*  
*Intensive archaeological identification of a proposed parking lot.*